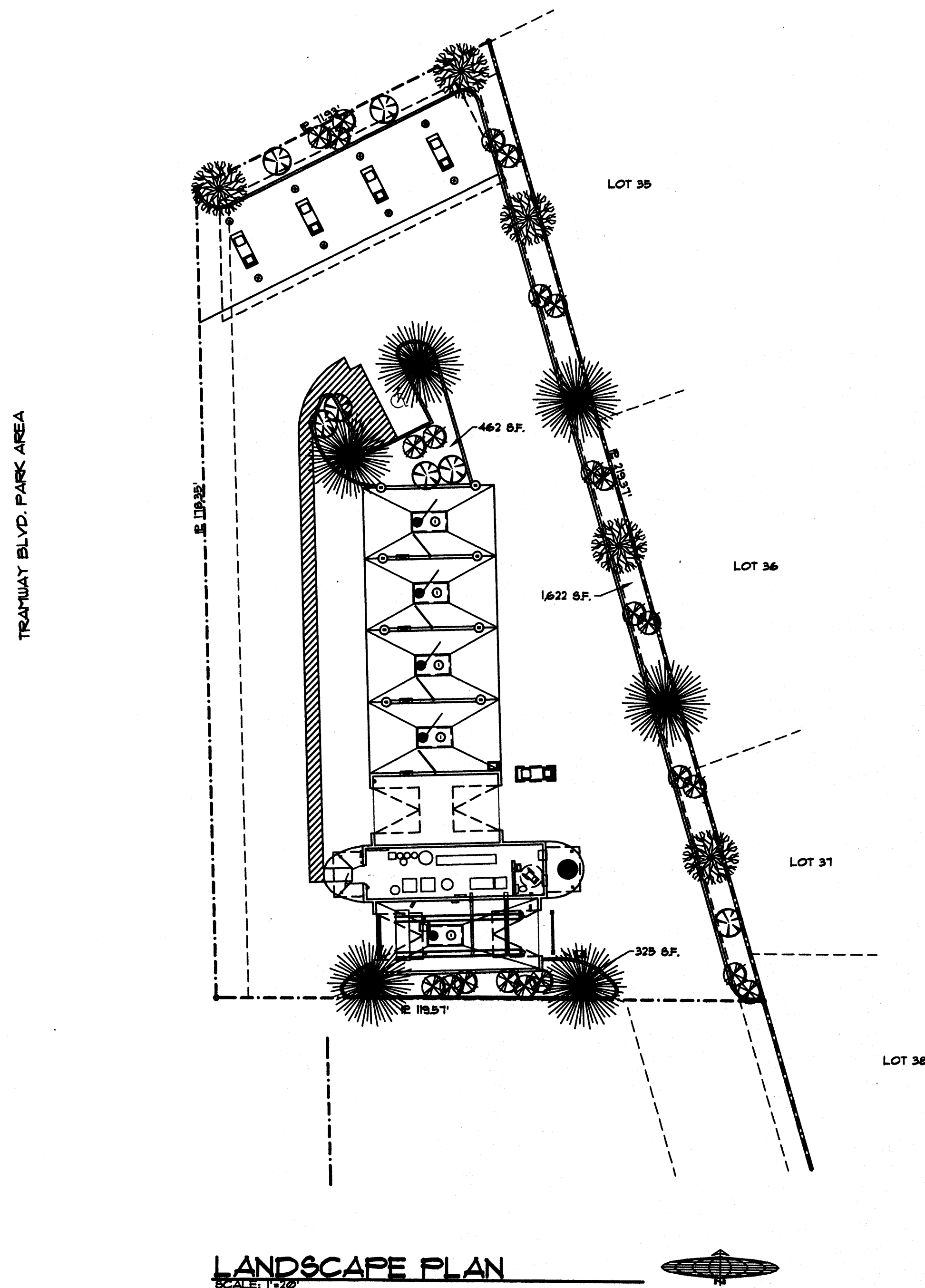


D:\Ultimate Car Wash\Tramway\Files\New\12-6-05\1 Site Planning, 1/12/2006 12:32:31 AM



NOTE





MAINTENANCE OF LANDSCAPE PROVIDED BY OWNER
PLANTINGS TO BE WATERED BY AUTO. DRIP IRRIGATION SYSTEM

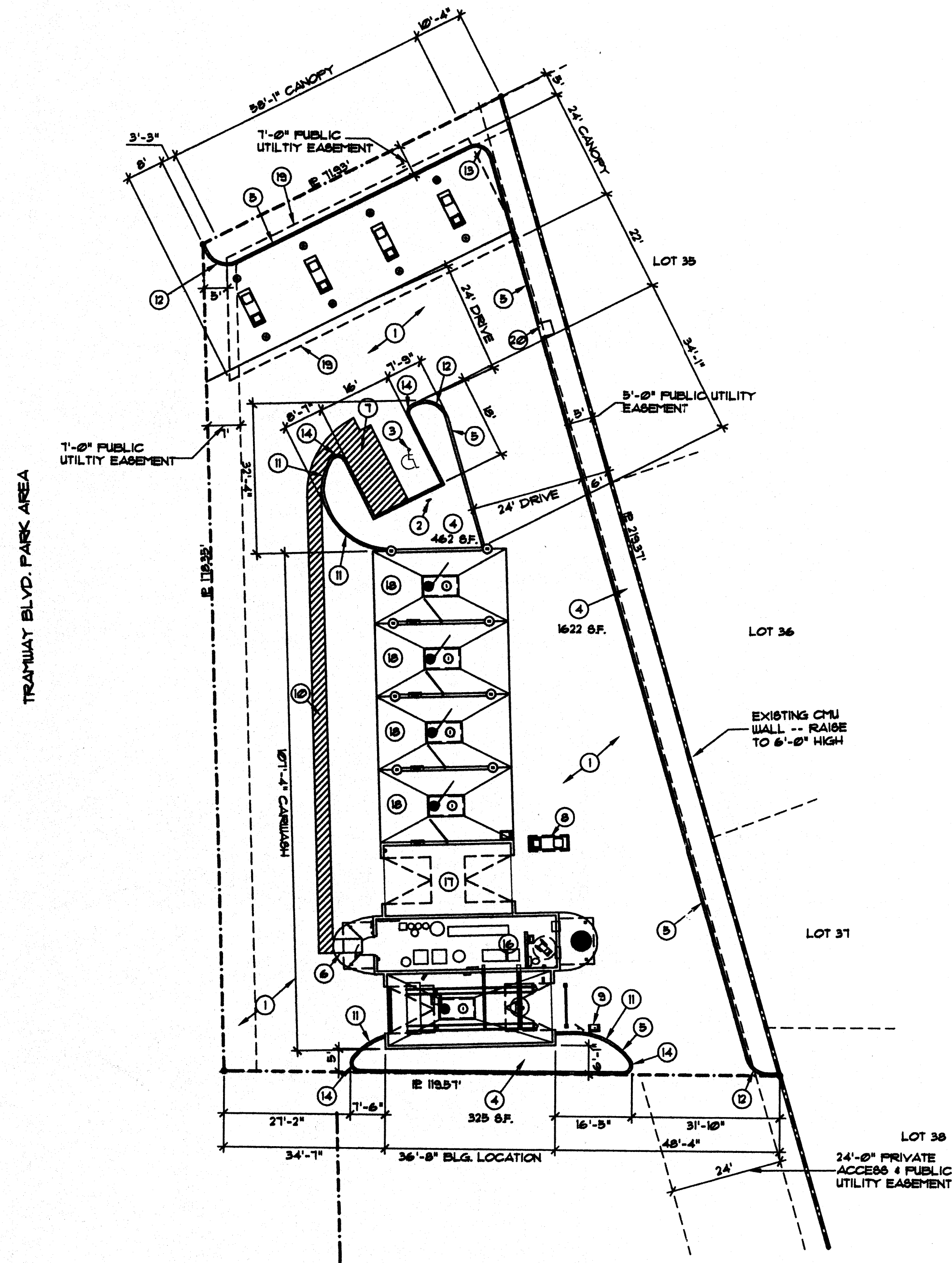
WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER

IT IS THE INTENT OF THIS PLAN TO PROVIDE MIN. 85% LIVE GROUND COVER OF LANDSCAPE AREAS AT MATURITY

LANDSCAPE AREAS TO BE MULCHED WITH SANTA ANA TAN GRAVEL AT 2"-3" DEPTH OVER FILTER FABRIC

PLANT LEGEND

SYMBOL	QTY.	BOTANICAL NAME	COMMON NAME	SIZE
	6	FRAXINUS	RAYWOOD ASH	2" CAL
	5	PINUS NIGRA	AUSTRIAN PINE	5'-6' HT.
	7	VITEX AGNUS-CASTUS	CHASTE TREE	15 GAL
	23	PEROVSKIA ATRIPLICIFOLIA	RUSSIAN SAGE	5 GAL



SITE PLAN

SCALE: 1"=20'

SITE DATA

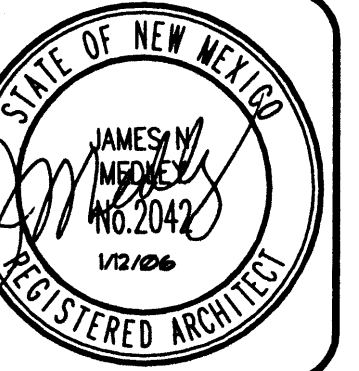
ZONE:
ZONE ATLAS PAGE:
PROPOSED USE: CARWASH

LEGAL DESCRIPTION:
LOT 40-A UNIT 1 CASA GRANDE GRANDE
ESTATES WITHIN CITY OF ALBUQUERQUE,
BERNALILLO COUNTY, NEW MEXICO.

GROSS LOT AREA	appr. 18,383 SF
LESS CARWASH	appr. 3,356 SF
NET LOT AREA	appr. 15,027 SF
REQUIRED LANDSCAPE	2,254 SF
15% OF NET LOT AREA	2,408 SF
PROVIDED LANDSCAPE	
15% OF NET LOT AREA	

Notes Specific to Sheet

1. ASPHALT PAVING. 2" ASPHALT OVER 4" COMPACTED BASE COURSE PER CITY STANDARDS.
2. 12" X 18" BLUE AND WHITE HANDICAP SIGN. (IDENTIFY VAN ACCESSIBLE SPACE WITH ADD-ON SIGN) INSTALL 24" BEHIND EDGE OF SIDEWALK CURB AND 6" ABOVE SIDEWALK TO BOTTOM OF SIGN. SEE DETAIL SHEET C2.
3. BLUE PAINTED HANDICAP SYMBOL.
4. LANDSCAPE AREA. SQUARE FOOTAGE AS NOTED.
5. 6" STANDUP CONCRETE CURB. SEE DETAIL SHEET C2.
6. HANDICAP RAMP WITH 1:12 MAXIMUM SLOPE. SLOPE APPROX 1:12 MAXIMUM. SEE DETAIL SHEET C2.
7. 3" WIDE BLUE STRIPING FOR HANDICAP PARKING.
8. ADA ACCESSIBLE VACUUM ISLAND BY EQUIPMENT SUPPLIER.
9. AUTOWASH ENTRANCE CONTROLS
10. 36" WIDE HANDICAP ACCESS PATH. BLUE PAINTED STRIPES.
11. 15'-0" RADIUS.
12. 5'-0" RADIUS.
13. 3'-0" RADIUS.
14. 2'-0" RADIUS.
15. AUTOMATIC WASH BAY.
16. EQUIPMENT ROOM.
17. EMISSIONS CHECK BAY.
18. SELF-SERVICE BAY.
19. LINE OF CANOPY ABOVE.
20. 36" X 36" X 4" THICK CONCRETE PAD FOR TIRE AIR MACHINE.



JTM MEDLEY, Architect AIA
NCAAB Certificate No. 35,895

3100 Christine N. E. Albuquerque, NM 87111
email: jmedley@jtm-medley-architect.com
Phone (505) 292-3514 Fax (505) 294-5593

Plan No.
0907/RED/3500

Date:
January 10, 2006

Drawn by:
JED

Checked by:
JED

Project:
The Ultimate Car Wash

Tramway Blvd.
Albuquerque, New Mexico

Date:

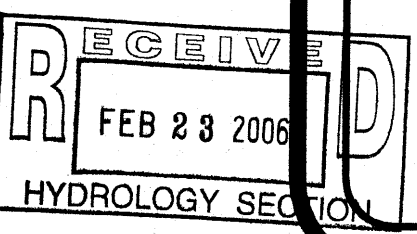
Revision / Issue

No.

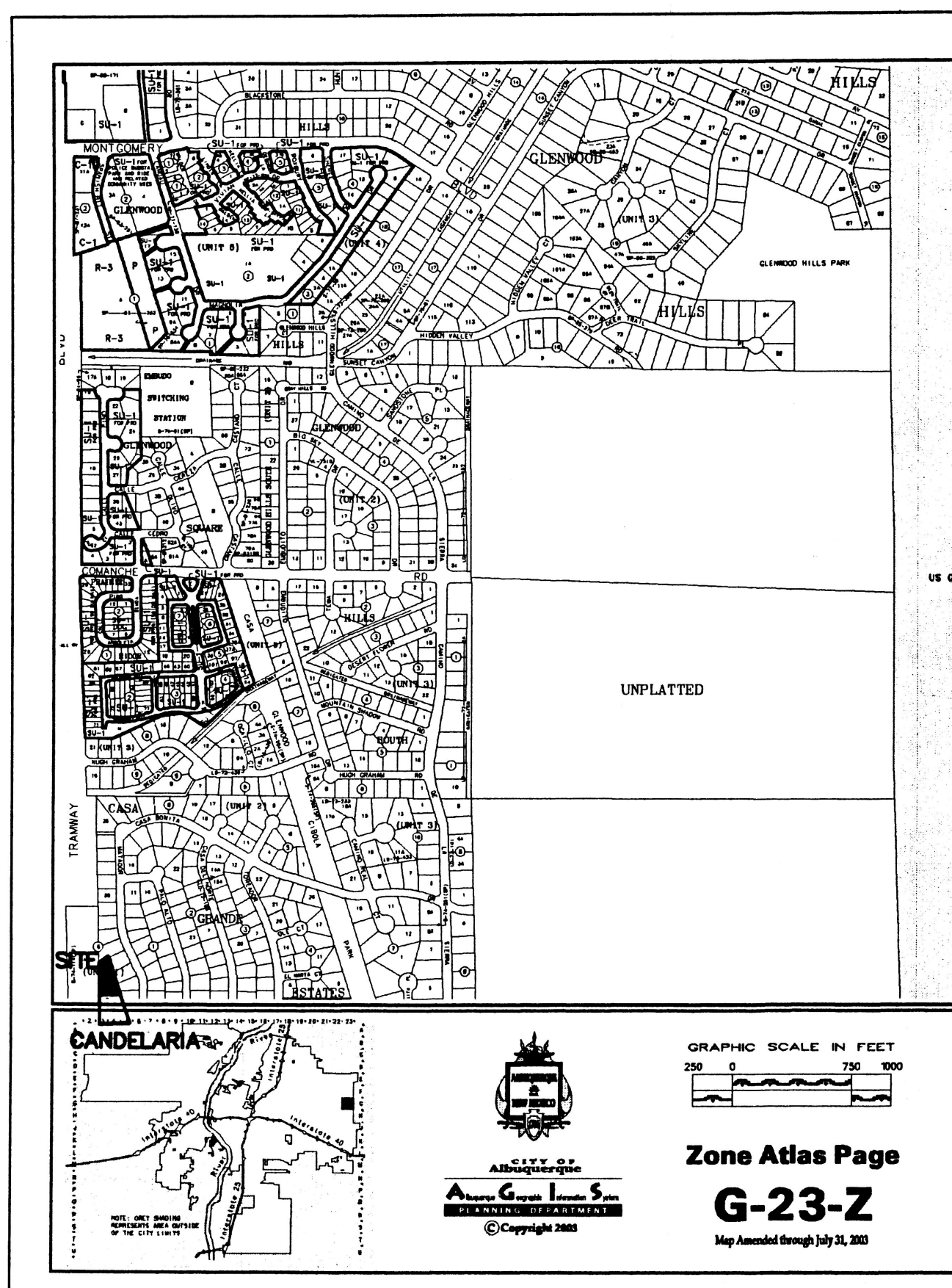
Sheet Description
SITE PLAN

Sheet:

C1



VICINITY MAP (G-23-Z)



LEGEND

- WV WATER VALVE
- WM WATER METER
- MH SANITARY SEWER MANHOLE
- SAS SANITARY SEWER DROP
- W WATER TAP
- IRR IRRIGATION CONTROL VALVE
- TS TRAFFIC SIGNAL / BOX
- PP POWER POLE
- ANCH ANCHOR
- LP LIGHT POLE
- TREE, CALIPER NOTED
- SPOT ELEVATION
UNLESS OTHERWISE INDICATED, SPOT ELEVATIONS ARE TO ASPHALT SURFACE
- EA FIRE HYDRANT
- EA EDGE OF ASPHALT
- TC TOP OF CURB / CONCRETE
- FL FLOWLINE
- BSW BACK OF SIDEWALK
- CHAIN LINK FENCE
- CONCRETE BLOCK WALL
- RR TIE LANDSC. RETAINER
- OVERHEAD POWER LINE
- 4958 EXISTING INDEX CONTOURS @ 5 FT. INTERVALS
- 4958 EXISTING CONTOURS @ 1 FT. INTERVALS
- 56 PROPOSED CONTOURS @ 1.0' INTERVALS
- 58.0 PROPOSED SPOT ELEVATION
- FLOW LINE
- PROPOSED RETAINER
- TC TOP OF CONCRETE
- FL FLOW LINE
- TSW TOP OF SIDEWALK
- RIM RIM OF MANHOLE
- TW TOP OF RETAINING WALL
- BW BOTTOM OF RETAINING WALL
- BURIED TELEPHONE LINE

NOTICE TO CONTRACTOR

PROPOSED CONTOURS AND SPOT ELEVATIONS SHOWN ARE TO FINISH SURFACES AND ARE PROVIDED FOR THE PURPOSE OF SHOWING FLOW ROUTING.

CONTRACTOR IS RESPONSIBLE FOR THE ABATEMENT OF SEDIMENT ONTO ADJOINING PUBLIC RIGHTS-OF-WAY DURING CONSTRUCTION AND FOR THE REMOVAL OF ANY SEDIMENT DEPOSITED IN PUBLIC RIGHT-OF-WAY.

CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS PRIOR TO ANY GRADING OR CONSTRUCTION.

SITE MAY BE SUBJECT TO NPDES SWPPP REQUIREMENTS. CONTRACTOR WILL BE RESPONSIBLE FOR ACQUIRING THE NECESSARY PERMITS FROM THE EPA.

ALL IMPROVEMENTS WITHIN CITY OF ALBUQUERQUE RIGHT OF WAY MUST BE CONSTRUCTED BY CITY OF ALBUQUERQUE WORK ORDER.

BENCH MARK

BENCH MARK IS ACS STA. "2-G23" ACS Aluminum disk located within center median north of intersection of Candelaria Road and Tramway Boulevard, NE ELEV. 5790.00 (NGVD 29)

DRAINAGE NOTES:

- ROOF DRAINAGE CONVEYED TO PARKING OR DRIVE SURFACES LOTS VIA GUTTER AND DOWNSPOUT. SEE ROOF PLAN FOR LOCATIONS.
- ALL ELEVATIONS GIVEN ARE TO TOP OF PROPOSED GRADE

LEGAL DESCRIPTION / FLOOD NOTE

Lot numbered Forty-A (40-A), in Block numbered Six (6), Unit 1, CASA GRANDE ESTATES, Albuquerque, Bernalillo County, New Mexico, as the same is shown and designated on said plat, filed in the office of the County Clerk of Bernalillo County, New Mexico, on August 19, 2005, in Plat Book 2005C, page 284.

The above described property is located within Zone X, Community Panel No. 350002.0129.E, dated November 19, 2003, and is located within a Special Flood Hazard Boundary indicated by FEMA Flood Insurance Rate Maps. Determination of Flood Hazard is by graphic plotting only.

DRAINAGE CONCEPT:

THE DRAINAGE CONCEPT FOR THIS SITE IS TO SURFACE DRAIN ALL RUNOFF ONTO THE PROPERTY IMMEDIATELY SOUTH OF THE SUBJECT PROPERTY. THIS RUNOFF WILL BE DISCHARGED ONTO CANDELARIA BLVD. N.E.

ONSITE HYDROLOGY

DRAINAGE DATA - CAR WASH, TRAMWAY AND CANDELARIA
THIS SITE LIES WITHIN PRECIPITATION ZONE 4

Condition	Storm Return Period (Years)	Treatment Type	Treatment Area (sq. ft.)	Excess Precip. Table A-8 (in.)	Peak Runoff Table A-9 (cfs/ac)	Runoff Volume (cu. Ft.)	Runoff Rate (cfs)
EXISTING	100	A	100%	18,413	0.80	2.20	1,227.5
		B	0	1.08	2.92	0.0	0.00
		C	0	1.46	3.73	0.0	0.00
		D	0	2.64	5.25	0.0	0.00
EXISTING	10	A	18,413	0.28	0.87	429.6	0.37
		B	0	0.46	1.45	0.0	0.00
		C	0	0.73	2.26	0.0	0.00
		D	0	1.69	3.57	0.0	0.00
DEVELOPED	100	A	0%	0	0.80	2.20	0.0
		B	9%	1,592	1.08	2.92	143.3
		C	0%	0	1.46	3.73	0.0
		D	91%	16,821	2.64	5.25	3,700.6
DEVELOPED	10	A	0	0.28	0.87	0.0	0.00
		B	1,592	0.46	1.45	61.0	0.05
		C	0	0.73	2.26	0.0	0.00
		D	18,821	1.69	3.57	2,850.6	1.54
TOTAL (EXT)	100					1,227.5	0.9
	10					429.6	0.4
TOTAL (DEV)	100					3,843.9	2.1
	10					2,711.7	1.6

OFFSITE FLOW INFORMATION

OFFSITE CONTRIBUTORY FLOW ONTO THE SITE IS NEGLEGIBLE. THIS SITE WILL DRAIN TO THE SOUTH THRU THE PROPERTY IMMEDIATELY ADJOINING CANDELARIA BLVD. N.E. A CROSS DRAINAGE EASEMENT WILL NEED TO BE OBTAINED.

Need this easement prior to building permit approval!
- if being recorded by plat, provide a copy of the approved (by DRB) preliminary plat

There needs to be at least a 6" difference between the asphalt and top of wall elevation - provide a cross section

What does this hatching indicate?

Show the adjacent - must demonstrate how flow will reach Candelaria Rd - flow must be hardlined

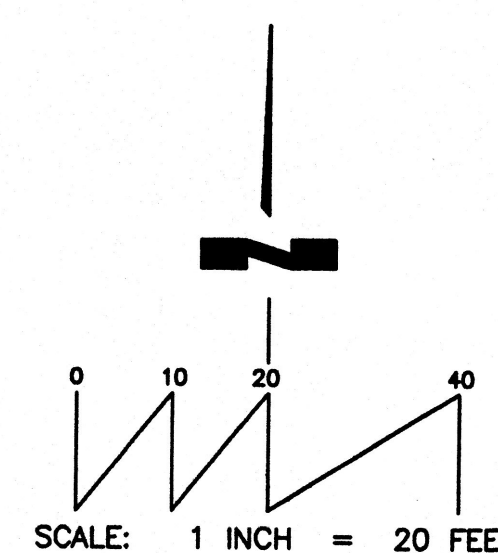
CANDELARIA ROAD N.E.
R/W VARIES

I, THOMAS D. JOHNSTON, NEW MEXICO REGISTERED PROFESSIONAL ENGINEER NO. 17158, DO HEREBY CERTIFY THAT I INSPECTED THIS SITE ON FEBRUARY 9, 2006, AND THAT, AS OF THAT DATE, THERE HAD BEEN NO RECENT ALTERATION OF GRADE OR EVIDENCE OF GRADING OPERATIONS ON THIS SITE.

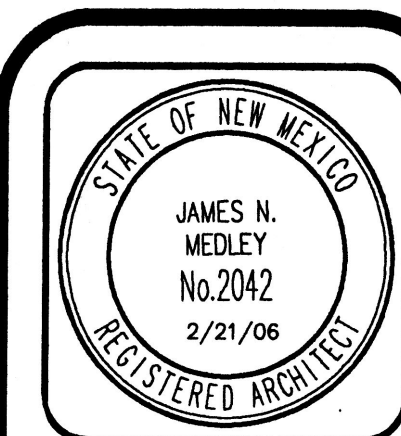
THOMAS D. JOHNSTON, NMPE NO. 17158

DRAINAGE AND GRADING PLAN
ULTIMATE CAR WASH

TJ ENGINEERING, INC.
330 LOUISIANA BLVD. NE
ALBUQUERQUE, NM 87108
(505)266-7256
Fax: (505) 255-2887



2/21/2006



JIM MEDLEY, Architect AIA
NABAB Certificate No. 55,885
3100 Christine N. E. Albuquerque, NM 87111
Phone (505) 292-3514 Fax (505) 294-5593
email: jmedley@jim-medley-architect.com

Plan No. 0507/SED25001
Date: February '06
Drawn by: SED
Checked by: MG

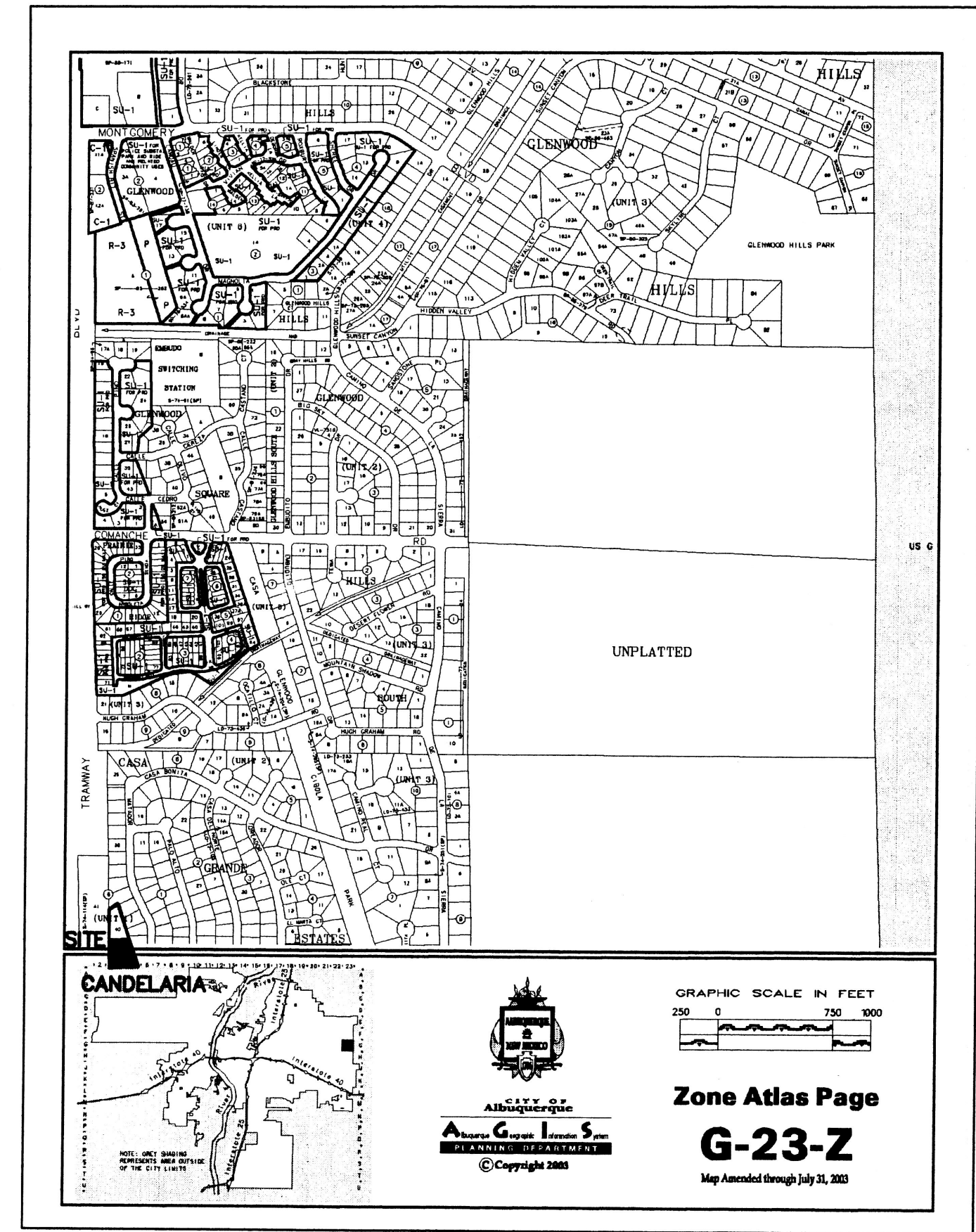
The Ultimate Car Wash
Tramway Blvd.
Albuquerque, New Mexico

Revision / Issue
No.

Sheet Description

Sheet:
FEB 23 2006
HYDROLOGY SECTION

VICINITY MAP (G-23-Z)



LEGEND

- WV WATER VALVE
- WM WATER METER
- MH SANITARY SEWER MANHOLE
- SAS SANITARY SEWER DROP
- W WATER TAP
- IRR IRRIGATION CONTROL VALVE
- TS TRAFFIC SIGNAL / BOX
- PP POWER POLE
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- SPOT ELEVATION UNLESS OTHERWISE INDICATED, SPOT ELEVATIONS ARE TO ASPHALT SURFACE
- FH FIRE HYDRANT
- EA EDGE OF ASPHALT
- TC TOP OF CURB / CONCRETE
- FL FLOWLINE
- BSW BACK OF SIDEWALK
- CHAIN LINK FENCE
- CONCRETE BLOCK WALL
- RR TIE LANDSC. RETAINER
- OVERHEAD POWER LINE
- EXISTING INDEX CONTOURS @ 5 FT. INTERVALS
- EXISTING CONTOURS @ 1 FT. INTERVALS
- 56 PROPOSED CONTOURS @ 1.0' INTERVALS
- 58.0 PROPOSED SPOT ELEVATION
- FLOW LINE
- PROPOSED RETAINER
- TC TOP OF CONCRETE
- FL FLOW LINE
- TSW TOP OF SIDEWALK
- RIM RIM OF MANHOLE
- BURIED TELEPHONE LINE

NOTICE TO CONTRACTOR

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CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS PRIOR TO ANY GRADING OR CONSTRUCTION.

SITE MAY BE SUBJECT TO NPDES SWPPP REQUIREMENTS. CONTRACTOR WILL BE RESPONSIBLE FOR ACQUIRING THE NECESSARY PERMITS FROM THE EPA.

ALL IMPROVEMENTS WITHIN CITY OF ALBUQUERQUE RIGHT OF WAY MUST BE CONSTRUCTED BY CITY OF ALBUQUERQUE WORK ORDER.

BENCH MARK

BENCH MARK IS ACS STA. "2-G23" ACS Aluminum disk located within center median north of intersection of Candelaria Road and Tramway Boulevard, NE ELEV. 5790.00 (NGVD 29)

DRAINAGE NOTES:

- ROOF DRAINAGE CONVEYED TO NORTH AND SOUTH PARKING LOTS VIA GUTTER AND DOWNSPOUT. SEE ROOF PLAN FOR LOCATIONS.
- ALL ELEVATIONS GIVEN ARE TO TOP OF PROPOSED GRADE
- ALL IMPROVEMENTS IN SAN MATEO BOULEVARD, NE MUST BE CONSTRUCTED BY CITY OF ALBUQUERQUE WORK ORDER.

LEGAL DESCRIPTION / FLOOD NOTE

Lot numbered Forty-B (40-B), in Block numbered Six (6), Unit 1, CASA GRANDE ESTATES, Albuquerque, Bernalillo County, New Mexico, as the same is shown and designated on said plot, filed in the office of the County Clerk of Bernalillo County, New Mexico, on August 19, 2005, in Plat Book 2005C, page 284.

The above described property is located within Zone X, Community Panel No. 350002-0129 E, dated November 19, 2003, and is located within a Special Flood Hazard Boundary indicated by FEMA Flood Insurance Rate Maps. Determination of Flood Hazard is by graphic plotting only.

CURRENT SITE DRAINAGE CONDITIONS

THE SITE CURRENTLY FREE DISCHARGES TO CANDELARIA BLVD. N.E. THE PROPERTY IMMEDIATELY NORTH OF THE SUBJECT PROPERTY ALSO DRAINS TO THE SOUTH ACROSS THE SITE.

ONSITE HYDROLOGY

DRAINAGE DATA - CAR LUBE SITE, TRAMWAY AND CANDELARIA

THIS SITE LIES WITHIN PRECIPITATION ZONE 4

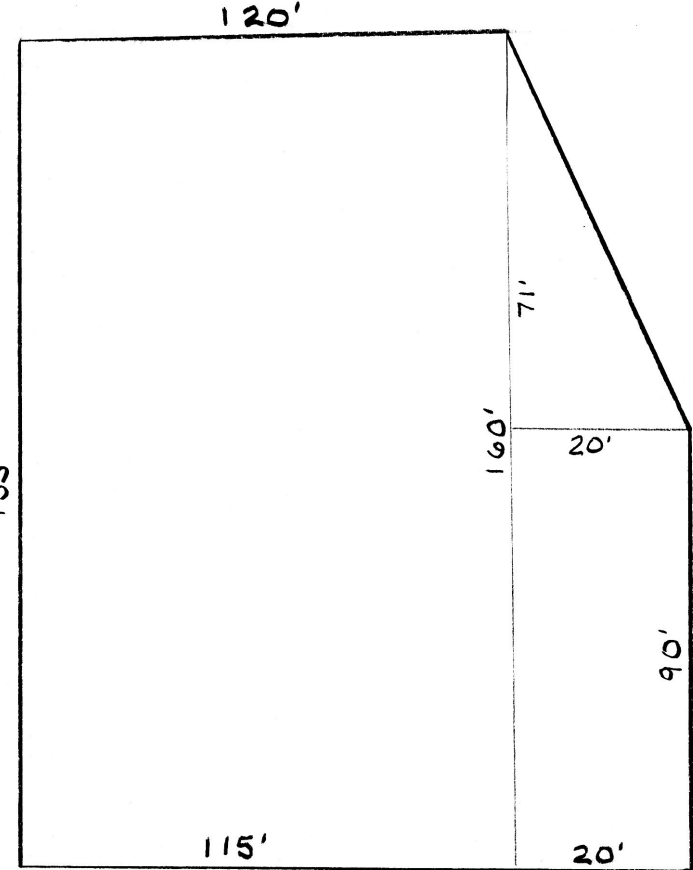
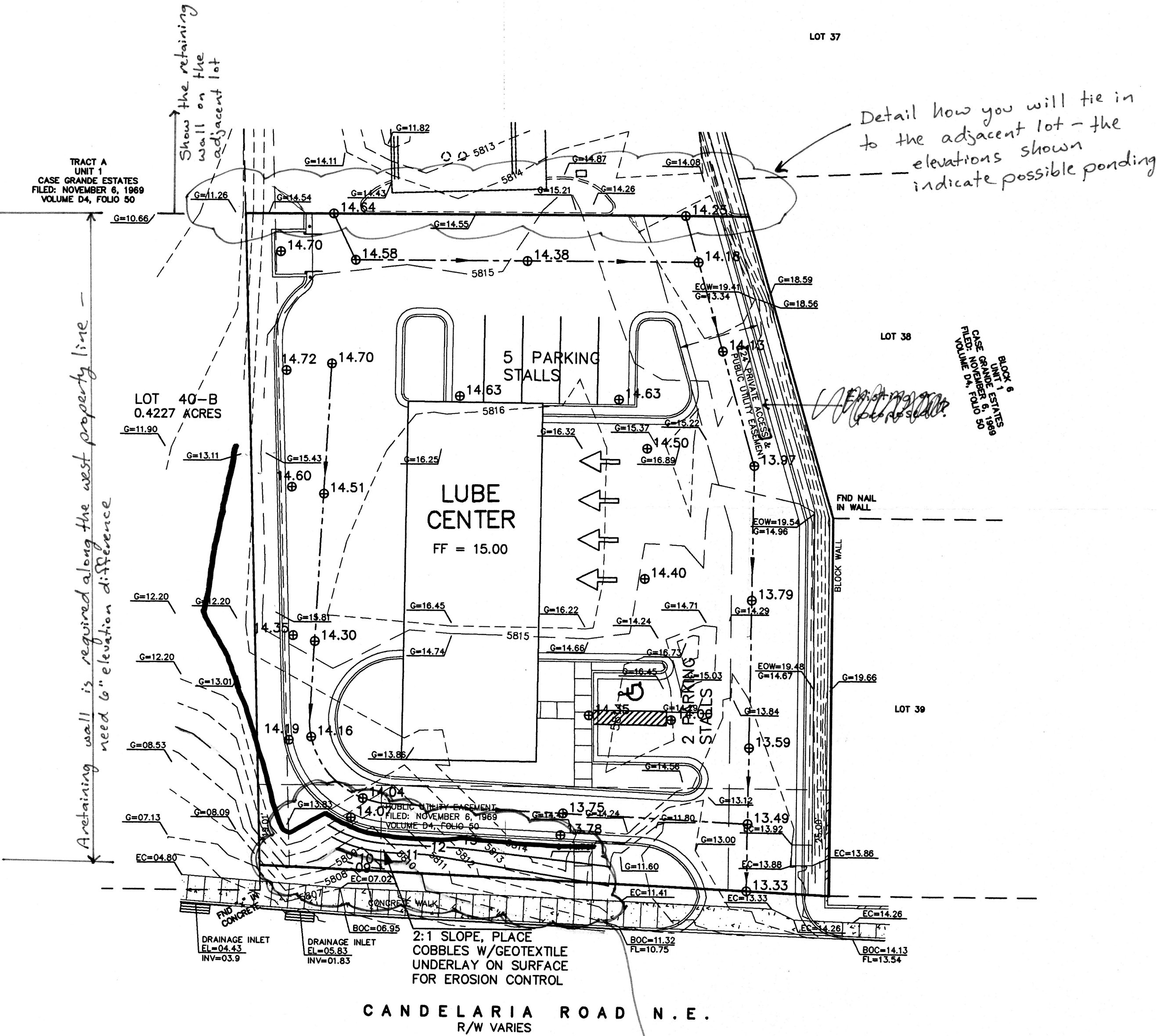
Condition	Storm Return Period (Years)	Treatment Type	Treatment Area (sq. ft.)	Excess Precip. Table A-8 (in.)	Peak Runoff Table A-9 (cfs/ac)	Runoff Volume (cu. ft.)	Runoff Rate (cfs)
EXISTING	100	A	100%	18.413	0.80	2.20	1,227.5
		B	0%	0	1.08	2.92	0.0
		C	0%	0	1.46	3.73	0.0
		D	0%	0	2.64	5.25	0.0
EXISTING	10	A	18,413	0.28	0.87	429.6	0.37
		B	0	0.46	1.45	0.0	0.00
		C	0	0.73	2.26	0.0	0.00
		D	0	1.69	3.57	0.0	0.00
DEVELOPED	100	A	0%	0	0.80	2.20	0.0
		B	217,381	1.08	2.92	343.0	0.26
		C	0%	0	1.46	3.73	0.0
		D	777,480	2.64	5.25	3,212.4	1.76
DEVELOPED	10	A	0	0.28	0.87	0.0	0.00
		B	3,811	0.46	1.45	148.1	0.13
		C	0	0.73	2.26	0.0	0.00
		D	14,602	1.69	3.57	2,056.4	1.20
TOTAL (EXT)	100					1,227.5	0.9
	10					429.6	0.4
TOTAL (DEV)	100					3,555.4	2.0
	10					2,202.5	1.3

These calcs appear to be for the lot to the north - area of this site is approx 20700 ft²

OFFSITE FLOW INFORMATION

OFFSITE CONTRIBUTORY FLOW IS LIMITED TO FLOWS COMING OFF OF THE PROPERTY IMMEDIATELY NORTH OF THE SITE. CALCULATED FLOWS OFF OF THE PROPERTY TO THE NORTH IS 2.1 CFS DURING THE 10-DAY, 100-YEAR STORM EVENT. A CROSS DRAINAGE EASEMENT WILL NEED TO BE IN PLACE FOR NORTH SITE DEVELOPMENT.

Show where the offsite flow enters the site



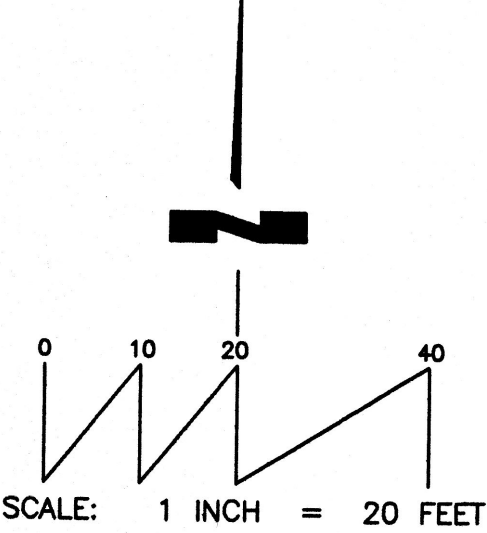
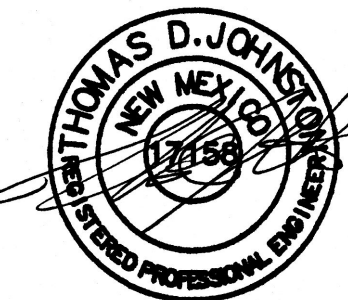
Area ≈ 20700 ft²

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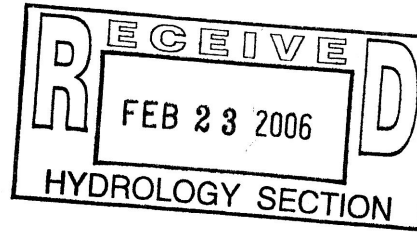
THOMAS D. JOHNSTON, NMPE NO. 17158

DRAINAGE AND GRADING PLAN

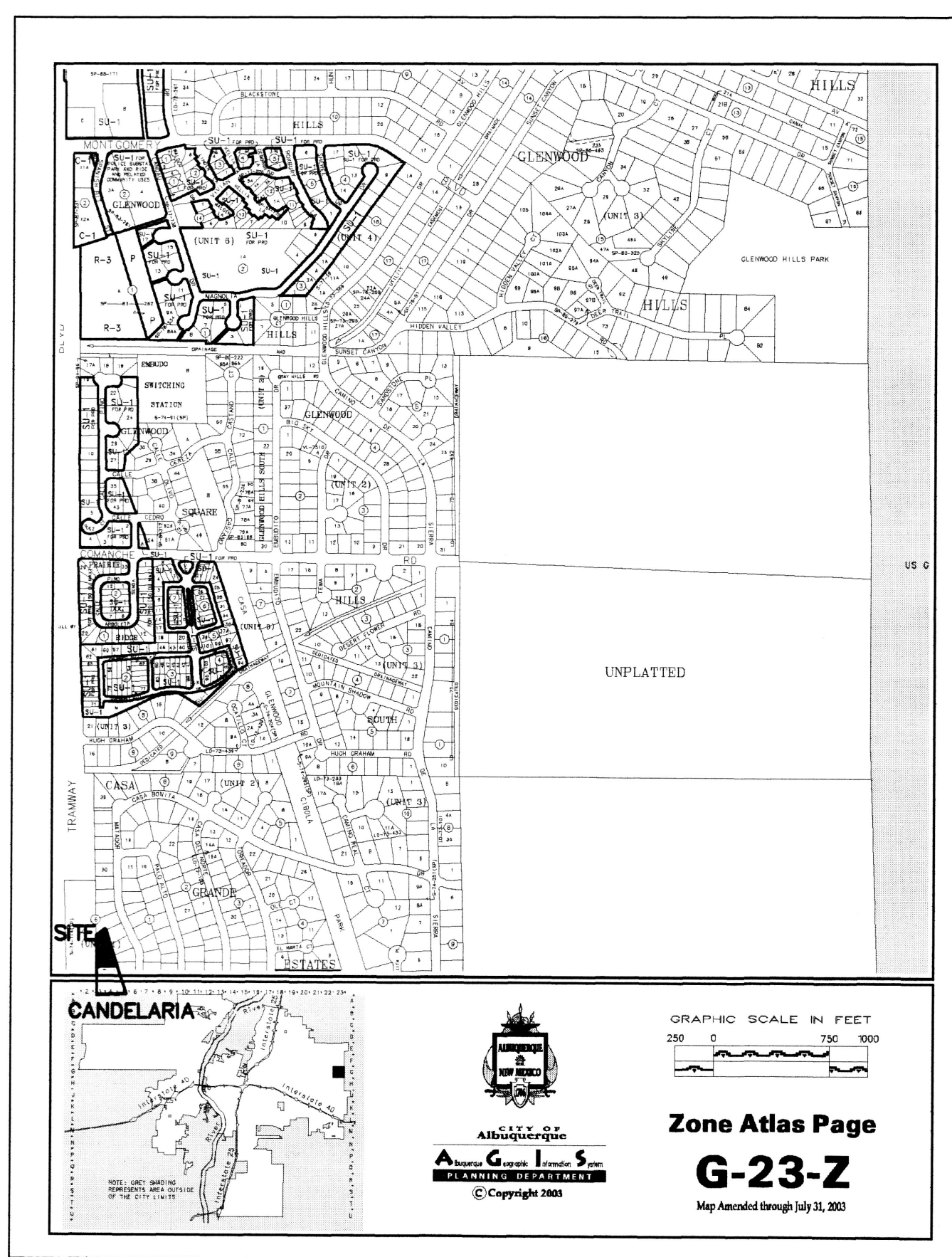
LUBE CENTER
TLC ENGINEERING, INC. (505)266-7256
330 LOUISIANA BLVD. NE, ALBUQUERQUE, NM 87108
Fax: (505) 255-2887



2/21/2006



VICINITY MAP (G-23-Z)



LEGEND

- X WV WATER VALVE
 WM WATER METER
 MH SANITARY SEWER MANHOLE
 SAS SANITARY SEWER DROP
 W WATER TAP
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 PP POWER POLE
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 FH FIRE HYDRANT
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 FLOW LINE
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 FL FLOW LINE
 TSW TOP OF SIDEWALK
 RIM RIM OF MANHOLE
 TW TOP OF RETAINING WALL
 BW BOTTOM OF RETAINING WALL
 BURIED TELEPHONE LINE

NOTICE TO CONTRACTOR

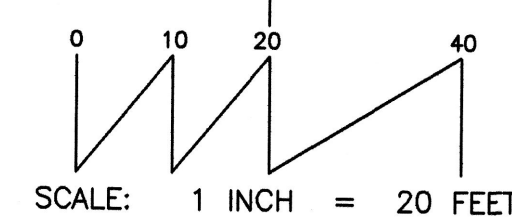
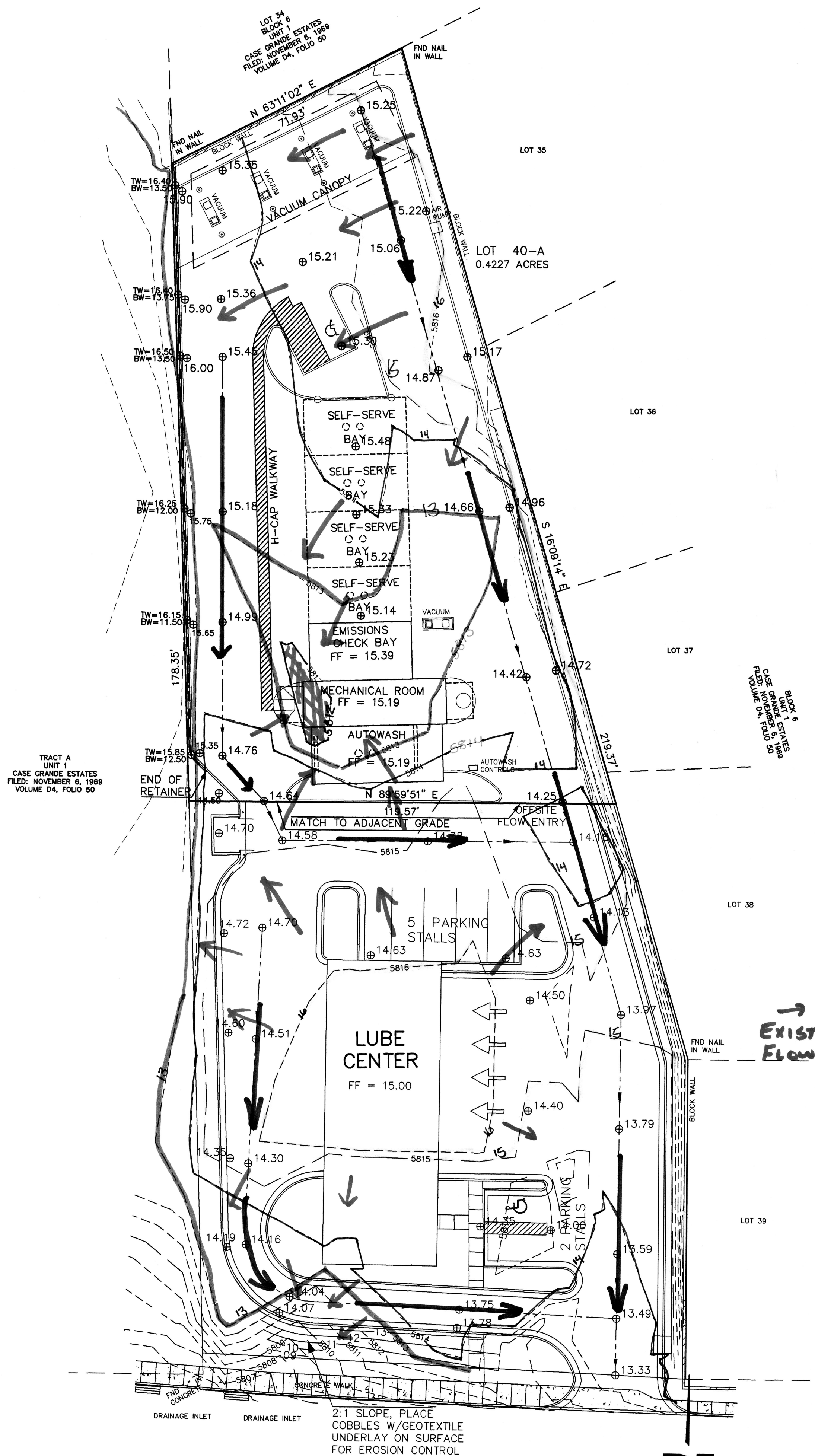
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THOMAS D. JOHNSTON, NMPE NO. 17158

DRAINAGE AND GRADING PLAN
ULTIMATE CAR WASH

(505)266-7256
 Fax: (505) 255-2887
 330 LOUISIANA BLVD. NE
 ALBUQUERQUE, NM 87108

ONSITE HYDROLOGY

DRAINAGE DATA - CAR WASH, TRAMWAY AND CANDELARIA
THIS SITE LIES WITHIN PRECIPITATION ZONE 4

Condition	Storm Return Period Table 4 (Years)	Treatment Type	Treatment Area (sq. ft.)	Excess Precip. Table A-8 (in.)	Peak Runoff Table A-9 (cfs/ac)	Runoff Volume (cu. Ft.)	Runoff Rate (cfs)
EXISTING	100	A	18,413	0.80	2.20	1,227.5	0.93
		B	0	1.08	2.92	0.0	0.00
		C	0	1.46	3.73	0.0	0.00
		D	0	2.64	5.25	0.0	0.00
EXISTING	10	A	18,413	0.28	0.87	429.6	0.37
		B	0	0.46	1.45	0.0	0.00
		C	0	0.73	2.26	0.0	0.00
		D	0	1.69	3.57	0.0	0.00
DEVELOPED	100	A	0	0.80	2.20	0.0	0.00
		B	1,592	1.08	2.92	143.3	0.11
		C	0	1.46	3.73	0.0	0.00
		D	18,821	2.64	5.25	3,700.6	2.03
DEVELOPED	10	A	0	0.28	0.87	0.0	0.00
		B	1,592	0.46	1.45	61.0	0.05
		C	0	0.73	2.26	0.0	0.00
		D	18,821	1.69	3.57	2,650.6	1.54
TOTAL (EXT)	100					1,227.5	0.9
	10					429.6	0.4
TOTAL (DEV)	100					3,843.9	2.1
	10					2,711.7	1.6

LEGAL DESCRIPTION / FLOOD NOTE

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DRAINAGE CONCEPT:

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BENCH MARK

BENCH MARK IS ACS STA. "2-G23" ACS Aluminum disk located within center median north of intersection of Candelaria Road and Tramway Boulevard, NE ELEV. 5790.00 (NGVD 29)

DRAINAGE NOTES:

- ROOF DRAINAGE CONVEYED TO PARKING OR DRIVE SURFACES LOTS VIA GUTTER AND DOWNSPOUT. SEE ROOF PLAN FOR LOCATIONS.
- ALL ELEVATIONS GIVEN ARE TO TOP OF PROPOSED GRADE

OFFSITE FLOW INFORMATION

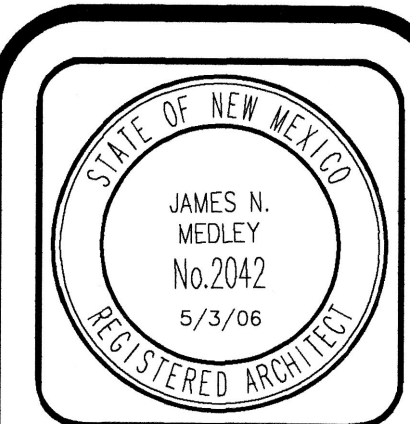
OFFSITE CONTRIBUTORY FLOW ONTO THE SITE IS NEGLEGIBLE. THIS SITE WILL DRAIN TO THE SOUTH THRU THE PROPERTY. IMMEDIATELY ADJOINING CANDELARIA BLVD. N.E. A CROSS DRAINAGE EASEMENT WILL NEED TO BE OBTAINED.

I, THOMAS D. JOHNSTON, NEW MEXICO REGISTERED PROFESSIONAL ENGINEER NO. 17158, DO HEREBY CERTIFY THAT I INSPECTED THIS SITE ON MAY 15, 2005, AND THAT, AS OF THAT DATE, THERE HAD BEEN NO RECENT ALTERATION OF GRADE OR EVIDENCE OF GRADING OPERATIONS ON THIS SITE.

THOMAS D. JOHNSTON, NMPE NO. 17158

DRAINAGE AND GRADING PLAN
ULTIMATE CAR WASH

(505)266-7256
 Fax: (505) 255-2887
 330 LOUISIANA BLVD. NE
 ALBUQUERQUE, NM 87108



JIM MEDLEY, Architect AIA
 NCARB Certificate No. 35,695
 3100 Christine N. E. Albuquerque, NM 87111
 email: jmedley@jim-medley-architect.com
 Phone (505) 292-3514 Fax (505) 294-5593

Plan No. 0502/SED/25001
 Date: May '06
 Drawn by: SED
 Checked by: JMG

Project: The Ultimate Car Wash
 Location: Tramway Blvd. Albuquerque, New Mexico

No.	Revision / Issue	Date

Sheet Description

Sheet:

5-03-06

NOTE





MAINTENANCE OF LANDSCAPE PROVIDED BY OWNER
PLANTINGS TO BE WATERED BY AUTO. DRIP IRRIGATION SYSTEM

WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER

IT IS THE INTENT OF THIS PLAN TO PROVIDE MIN. 85% LIVE GROUND COVER OF LANDSCAPE AREAS AT MATURITY

LANDSCAPE AREAS TO BE MULCHED WITH SANTA ANA TAN GRAVEL AT 2"-3" DEPTH OVER FILTER FABRIC

PLANT LEGEND

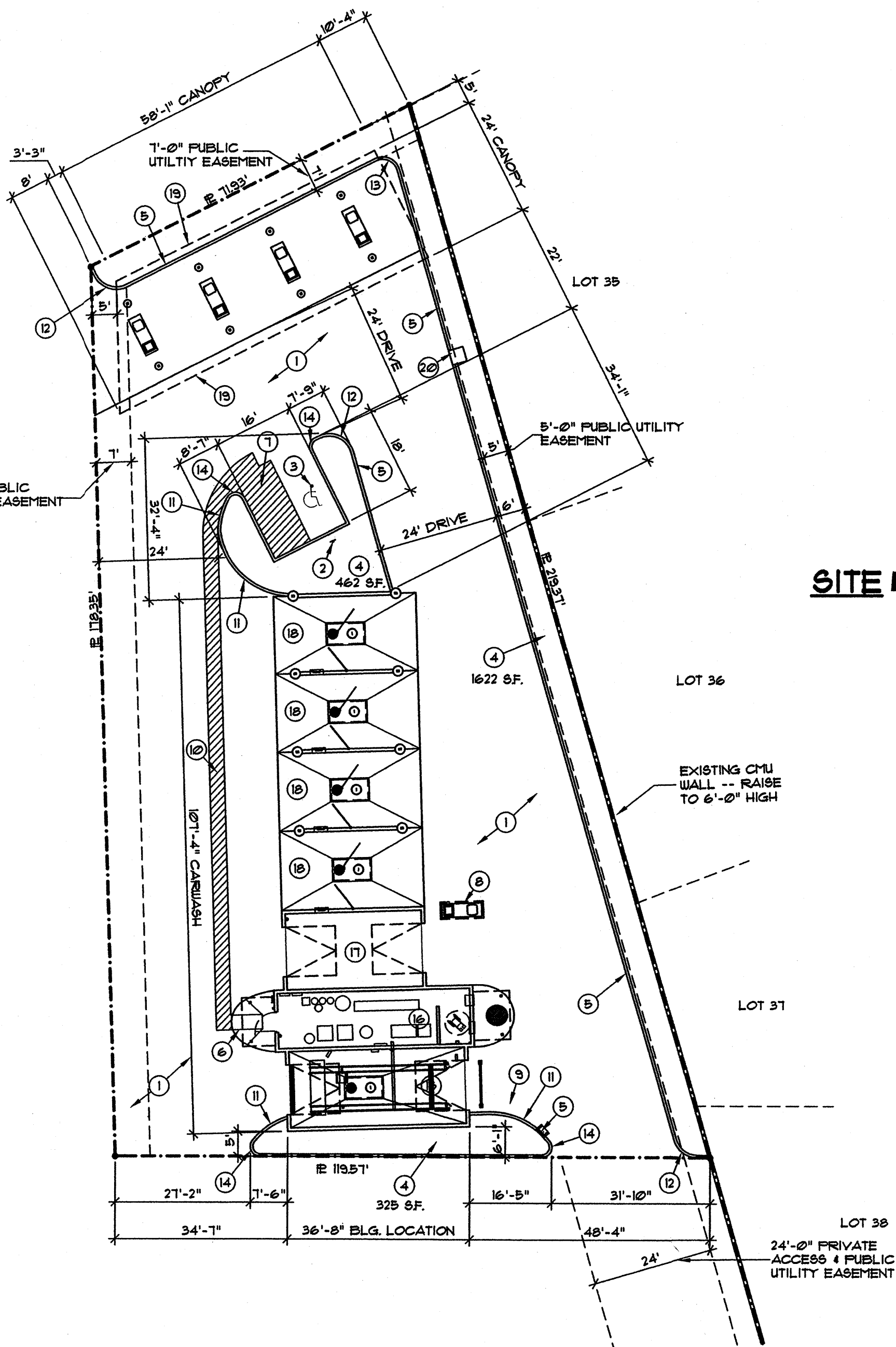
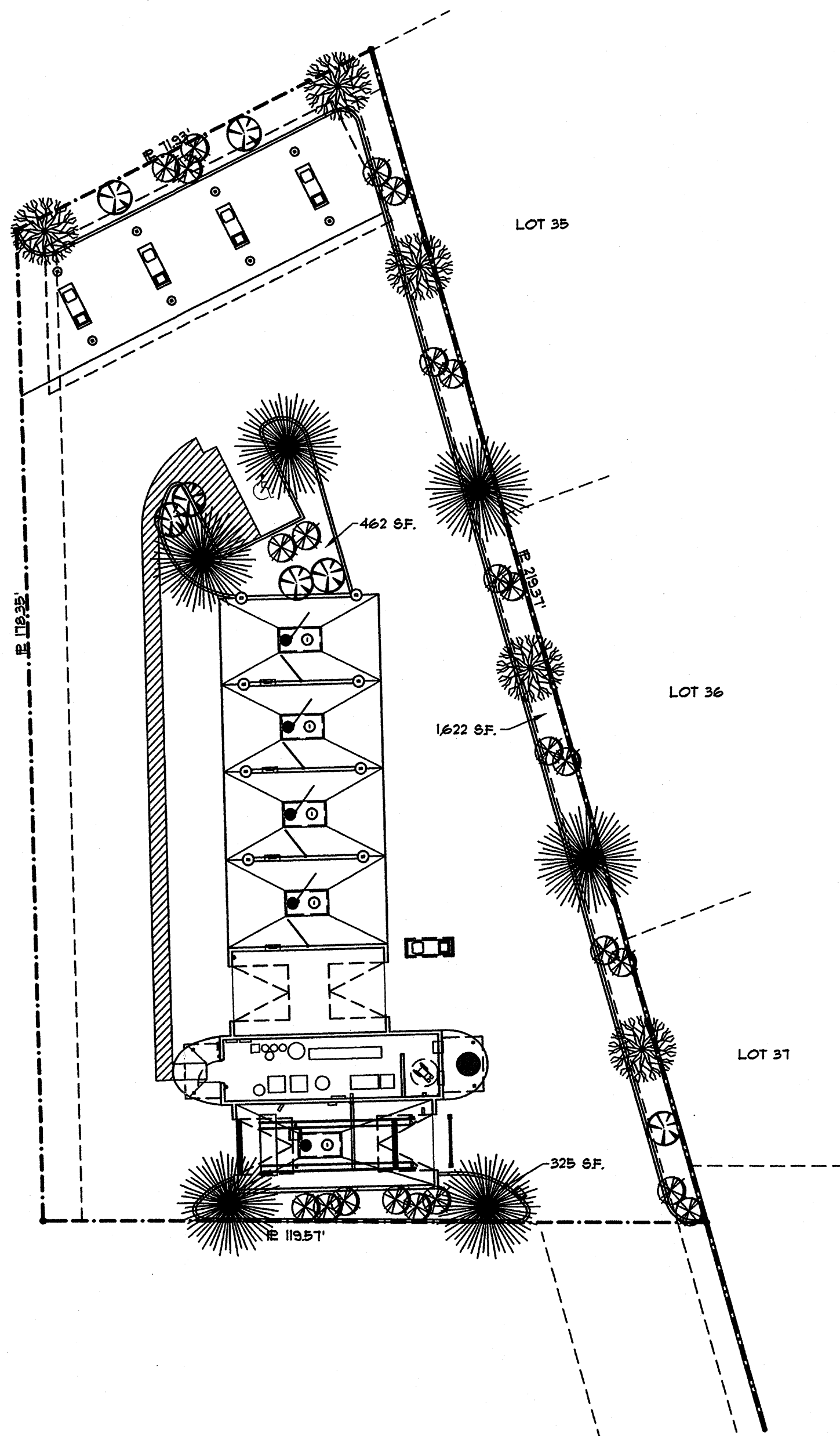
SYMBOL	QTY.	BOTANICAL NAME	COMMON NAME	SIZE
	6	FRAXINUS	RAYWOOD ASH	2" CAL
	5	PINUS NIGRA	AUSTRIAN PINE	5'-6" HT.
	7	VITEX AGNUS-CASTUS	CHASTE TREE	15 GAL
	23	PEROVSKIA ATRIPLICIFOLIA	RUSSIAN SAGE	5 GAL

LANDSCAPE PLAN

SCALE: 1"=20'



TRAMWAY BLVD. PARK AREA



SITE PLAN

SCALE: 1"=20'



SITE DATA

ZONE:
C-1
PROPOSED USE: CARWASH

LEGAL DESCRIPTION:
LOT 40-A UNIT 1 CASA GRANDE GRANDE ESTATES WITHIN CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.

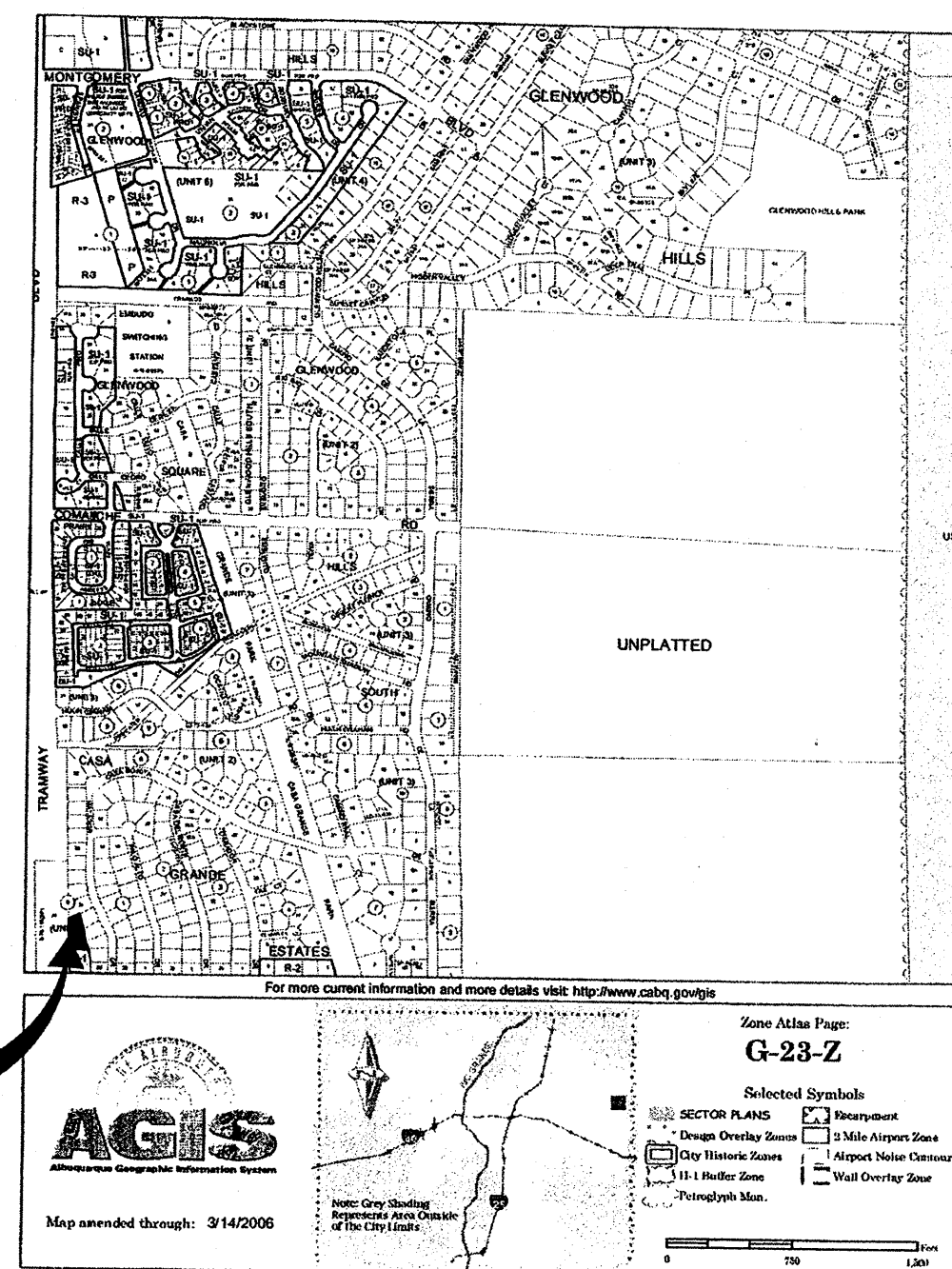
GROSS LOT AREA	appr. 10,383 SF
LESS CARWASH	appr. 3,356 SF
NET LOT AREA	appr. 15,021 SF
REQUIRED LANDSCAPE	2,254 SF
PROVIDED LANDSCAPE	2,403 SF

PARKING CALCULATIONS

MECHANICAL ROOM ONLY 369 SQ. FT. / 2000 = 1 REQUIRED
WASH BAYS AND EMISSION BAY ARE PARKING SELF CONTAINED.

SITE

VICINITY MAP

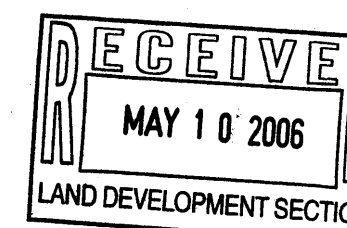


TRAFFIC CIRCULATION LAYOUT APPROVED

Signed: 45 5-16-06 Date: 5-16-06

Notes Specific to Sheet

1. ASPHALT PAVING. 2" ASPHALT OVER 4" COMPACTED BASE COURSE PER CITY STANDARDS.
2. 12" X 18" BLUE AND WHITE HANDICAP SIGN. (IDENTIFY VAN ACCESSIBLE SPACE WITH ADD-ON SIGN) INSTALL 24" BEHIND EDGE OF SIDEWALK/CURB AND 60" ABOVE SIDEWALK TO BOTTOM OF SIGN. SEE DETAIL SHEET C2.
3. BLUE PAINTED HANDICAP SYMBOL.
4. LANDSCAPE AREA. SQUARE FOOTAGE AS NOTED.
5. 6" STANDUP CONCRETE CURB. SEE DETAIL SHEET C2.
6. HANDICAP RAMP WITH 1:12 MAXIMUM SLOPE. SLOPE AFRONS 1:10 MAXIMUM. SEE DETAIL SHEET C2.
7. 3" WIDE BLUE STRIPING FOR HANDICAP PARKING.
8. ADA ACCESSIBLE VACUUM ISLAND BY EQUIPMENT SUPPLIER.
9. AUTOWASH ENTRANCE CONTROLS.
10. 36" WIDE HANDICAP ACCESS PATH. BLUE PAINTED STRIPES.
11. 15'-0" RADIUS.
12. 5'-0" RADIUS.
13. 3'-0" RADIUS.
14. 2'-0" RADIUS.
15. AUTOMATIC WASH BAY.
16. EQUIPMENT ROOM.
17. EMISSIONS CHECK BAY.
18. SELF-SERVICE BAY.
19. LINE OF CANOPY ABOVE.
20. 36" X 36" X 4" THICK CONCRETE PAD FOR TIRE AIR MACHINE.



Project:
The Ultimate Car Wash

Tramway Blvd.
Albuquerque, New Mexico

No.	Revision / Issue	Date:

Sheet Description
SITE PLAN

Sheet:

C1



JTM MEDLEY, Architect AIA
NCARB Certificate No. 95,895
3100 Christine N. E. Albuquerque, NM 87111
email: jmedley@jtm-medley-architect.com
Phone (505) 292-3514 Fax (505) 294-5593

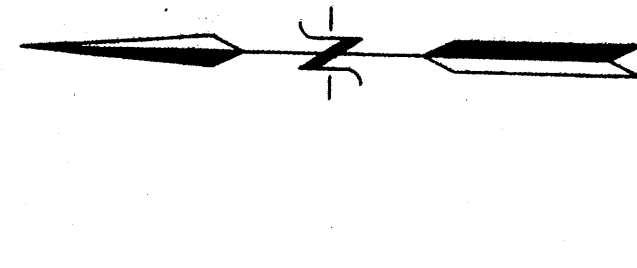
PLAT OF TOPOGRAPHY
OF
LOTS 40-A and 40-B, BLOCK 6
UNIT 1
CASA GRANDE ESTATES

SECTION 2, TOWNSHIP 10 NORTH, RANGE 4 EAST, N.M.P.M.
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
OCTOBER, 2005

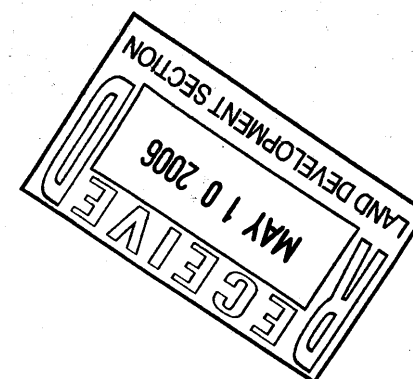
GENERAL NOTES:

- 1: CONTOUR INTERVAL IS ONE (1) FOOT.
- 2: ELEVATIONS ARE BASED ON CITY OF ALBUQUERQUE STATION NO. "2023".
- 3: UTILITIES SHOWN HEREON ARE IN THEIR APPROXIMATE LOCATION BASED ON INFORMATION PROVIDED BY THE CLIENT. UTILITIES SHOWN HEREON, WHETHER EXISTING OR NOT, SHALL BE VERIFIED BY OTHERS FOR EXACT LOCATION AND/OR DEPTH PRIOR TO EXCAVATION OR DESIGN CONSIDERATIONS.
- 5: THIS IS NOT A BOUNDARY SURVEY. BEARINGS AND DISTANCES SHOWN HEREON ARE FOR REFERENCE ONLY.

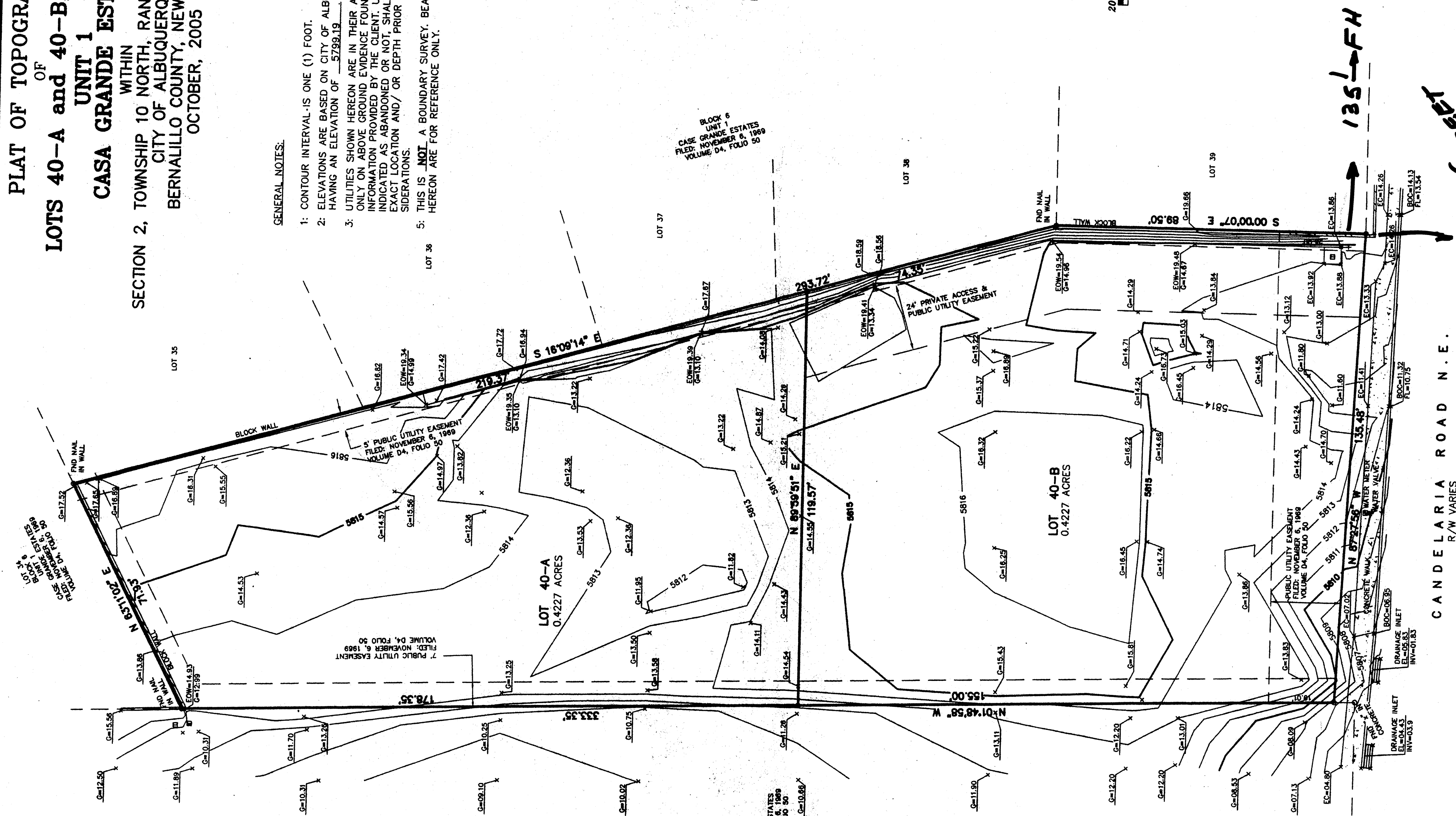
LEGEND
BOC BACK OF CURB
CC CURB CUT
DI DRAINAGE INLET
EL EDGE OF ASPHALT
ELC EDGE OF CONCRETE
EOW EDGE OF ROAD
ER EDGE OF WALL
FIN FLR FINISH FLOOR
FLW FLOW LINE
FND FENCE POST
FP FENCE
G GROUND
INV INVERT



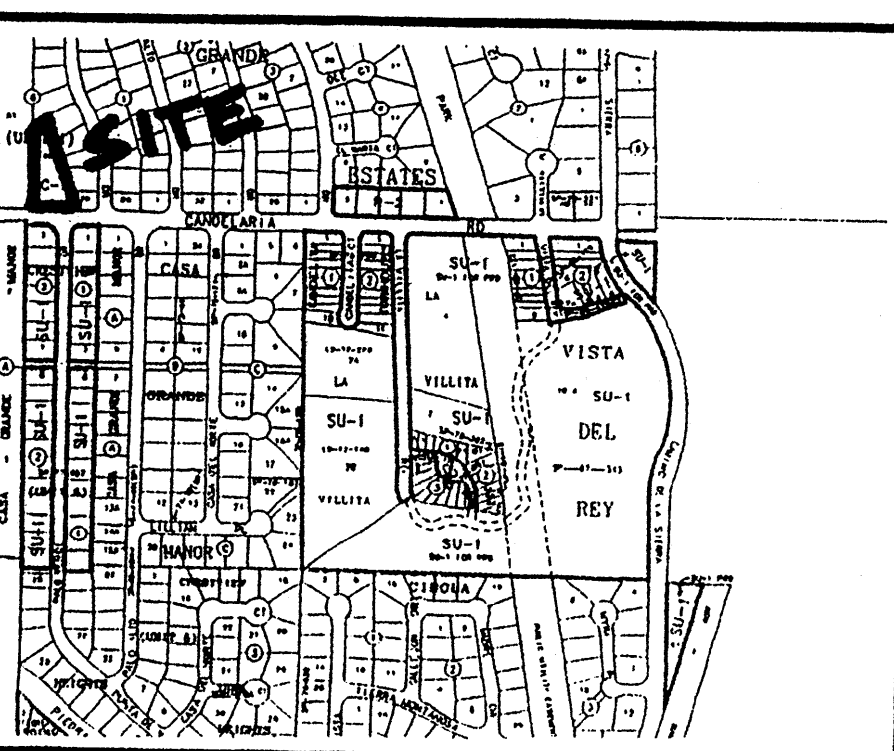
20' 10' 0' 20'
SCALE: 1" = 20'



Anthony L. Harris
11463 HARRIS SURVEYING, INC.
2412-D Montano Street, N.E.
Albuquerque, NM 87106
Telephone: (505) 885-8005 • FAX: (505) 885-8045



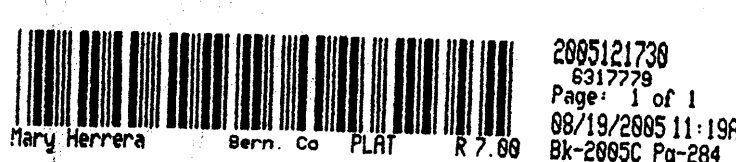
CANDELARIA ROAD N.E.
R/W VARIES



N.T.S.

LEGAL DESCRIPTION

LOT NUMBERED FORTY (40) IN BLOCK
NUMBERED SIX (6) OF UNIT No. 1,
CASA GRANDE ESTATES, AN ADDITION,
FILED IN THE CITY OF ALBUQUERQUE,
NEW MEXICO, AS THE SAME IS SHOWN
AND DESIGNATED ON THE PLAT OF SAID
ADDITION, FILED IN THE OFFICE OF THE
COUNTY CLERK OF BERNALILLO COUNTY,
NEW MEXICO ON NOVEMBER 6, 1969 IN
PLAT BOOK D4, FOLIO 60;



PLAT OF
LOTS 40-A and 40-B, BLOCK 6
UNIT 1
CASA GRANDE ESTATES

WITHIN
SECTION 2, TOWNSHIP 10 NORTH, RANGE 4 EAST, N.M.P.M.
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
MARCH, 2005

PROJECT NUMBER: 1002758
APPLICATION NUMBER: 05088 00816
UTILITY APPROVALS:
PNM ELECTRIC SERVICES 5-27-05
PNM GAS SERVICES 5-27-05
WEST TELECOMMUNICATIONS 5-25-05
CONCAST 5-25-05
NEW MEXICO UTILITIES
CITY APPROVALS:
CITY SURVEYOR 3-29-05
REAL PROPERTY DIVISION (CONDITIONAL) 5/25/05
ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL) 5/25/05
TRANSPORTATION DIVISION 8-19-05
UTILITIES DEVELOPMENT 8-19-05
PARKS AND RECREATION DEPARTMENT 5/25/05
BRADLEY & BUNYAN 5/25/05
BRADLEY & BUNYAN 5/25/05
CITY PLANNING DEPARTMENT 5/25/05

DISCLOSURE STATEMENT:

THE PURPOSE OF THIS PLAT IS TO DIVIDE LOT 40 INTO
TWO (2) LOTS AND GRANT ANY EASEMENTS AS SHOWN.

GENERAL NOTES:

- 1: UNLESS NOTED, NO. 4 REDAR WITH CAP STAMPED
P.S.#11463 WERE SET AT ALL PROPERTY CORNERS.
- 2: THIS PLAT SHOWS ALL EASEMENTS OF RECORD.
- 3: TOTAL AREA OF PROPERTY: 0.9165 ACRES.
- 4: TALOS LOG NO. 2004211035
- 5: BASIS OF BEARINGS IS THE NEW MEXICO STATE PLANE
COORDINATE SYSTEM, CENTRAL ZONE, NAD 1927
- 6: DISTANCES ARE GROUND, BEARINGS ARE GRID
- 7: BEARINGS AND DISTANCES SHOWN IN PARENTHESES ARE RECORD.
- 8: DATE OF FIELD WORK: JULY, 2004
- 9: CURRENT ZONING: C-1
- 10: THE 24' PRIVATE ACCESS, WATER AND SANITARY SEWER EASEMENT AND
PUBLIC UTILITY EASEMENT IS FOR THE BENEFIT OF LOTS 40-A AND 40-B AND IS
TO BE MAINTAINED EQUALLY BY SAID LOTS.

FREE CONSENT

THE SUBDIVISION HEREON DESCRIBED IS WITH THE FREE CONSENT
AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED
OWNERS AND PROPRIETOR THEREOF, SAID OWNER / PROPRIETOR
DOES HEREBY GRANT ANY AND ALL EASEMENTS AS MAY BE
CREATED BY THIS PLAT. THOSE SIGNING AS OWNERS WARRANT
THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE
TITLE TO THE LAND SUBDIVIDED.

IN FREE SIMPLE

ACKNOWLEDGMENT

STATE OF NEW MEXICO) S.S.
COUNTY OF BERNALILLO)

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME A NOTARY PUBLIC
THIS 19th DAY OF February, 2005

BY: [Signature]
OWNERS NAME

MY COMMISSION EXPIRES: 12-31-06

BY: [Signature]
NOTARY PUBLIC

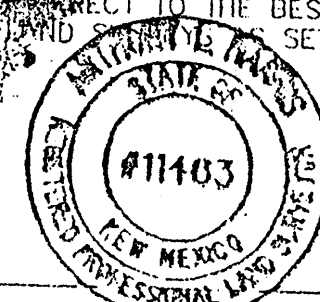
SURVEYORS CERTIFICATE:

STATE OF NEW MEXICO) S.S.
COUNTY OF BERNALILLO)

I, ANTHONY L. HARRIS, A DULY PROFESSIONAL LAND SURVEYOR, UNDER THE LAWS OF THE STATE
OF NEW MEXICO, DO HEREBY CERTIFY THAT THE PLAT WAS PREPARED UNDER MY DIRECT SUPERVISION,
THAT I AM RESPONSIBLE FOR SAID PLAT AND MEETS THE REQUIREMENTS FOR MONUMENTATION AND
SURVEY OF THE ALBUQUERQUE SUBDIVISION ORDINANCE AND IS TRUE AND CORRECT TO THE BEST OF
MY KNOWLEDGE AND BELIEF AND MEETS THE MINIMUM REQUIREMENTS FOR SAID SET
FORTH BY THE STATE OF NEW MEXICO.

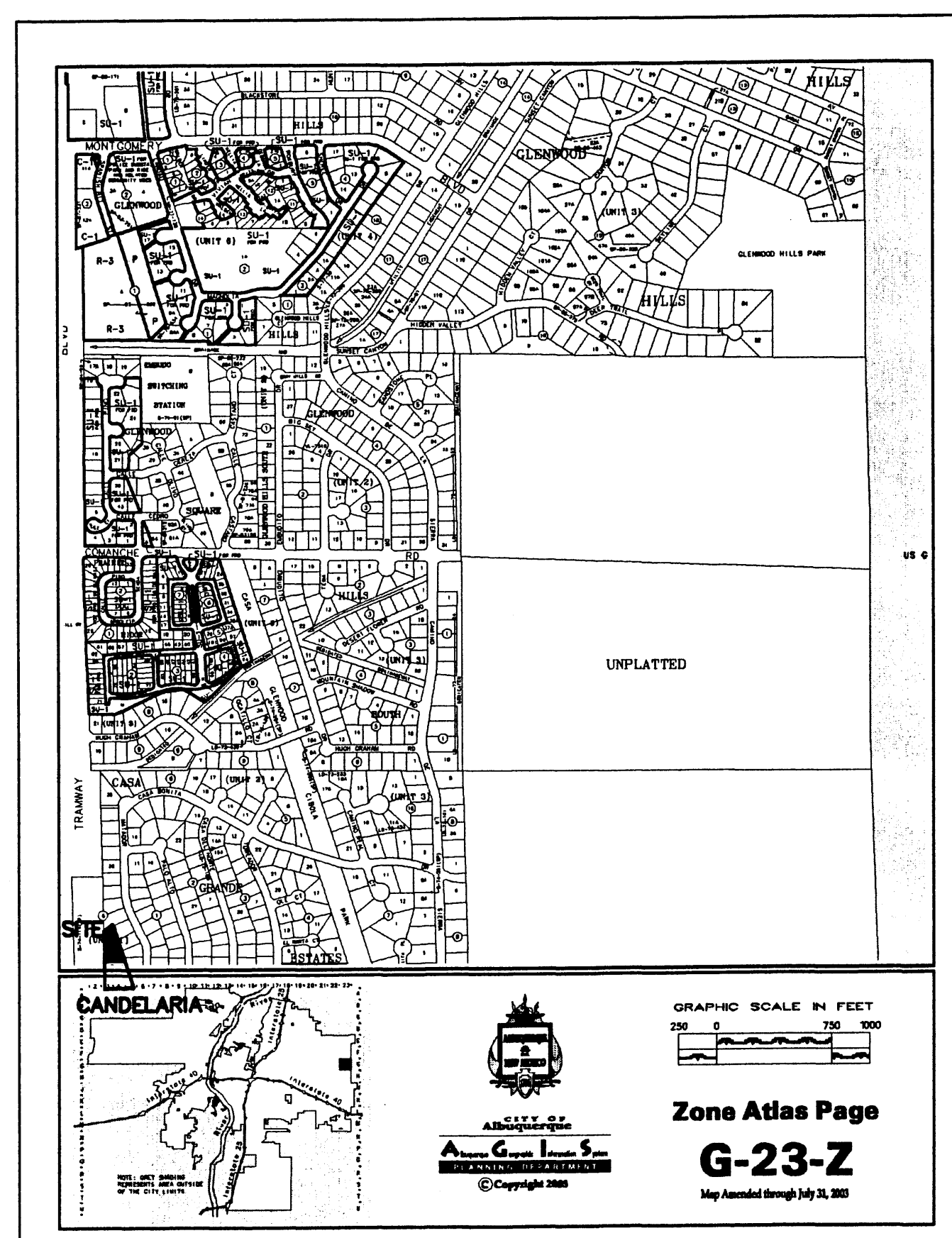
GIVEN UNDER MY HAND AND SEAL AT ALBUQUERQUE, NEW MEXICO,
THIS 19th DAY OF Feb., 2005

Anthony L. Harris
Anthony L. Harris, P.S. #11463



PROFESSIONAL LAND SURVEYOR, INC.
2412-D MONTANO STREET, N.E.
ALBUQUERQUE, NM 87106
PHONE: (505) 885-8005 FAX: (505) 885-8045

VICINITY MAP (G-23-Z)



LEGEND

- WV WATER VALVE
- WM WATER METER
- MH SANITARY SEWER MANHOLE
- SAS SANITARY SEWER DROP
- W WATER TAP
- IRR IRRIGATION CONTROL VALVE
- TS TRAFFIC SIGNAL / BOX
- PP POWER POLE
- ANCH ANCHOR
- LP LIGHT POLE
- TREE, CALIPER NOTED
- SPOT ELEVATION UNLESS OTHERWISE INDICATED, SPOT ELEVATIONS ARE TO ASPHALT SURFACE
- PH FIRE HYDRANT
- EA EDGE OF ASPHALT
- TC TOP OF CURB / CONCRETE FLOWLINE
- BSW BACK OF SIDEWALK
- CHAIN LINK FENCE
- CONCRETE BLOCK WALL
- RR TIE LANDSC. RETAINER
- OVERHEAD POWER LINE
- EXISTING INDEX CONTOURS @ 5 FT. INTERVALS
- EXISTING CONTOURS @ 1 FT. INTERVALS
- PROPOSED CONTOURS @ 1.0' INTERVALS
- PROPOSED SPOT ELEVATION
- FLOW LINE
- PROPOSED RETAINER
- TC TOP OF CONCRETE FLOW LINE
- TSW TOP OF SIDEWALK
- RIM RIM OF MANHOLE
- TW TOP OF RETAINING WALL
- BW BOTTOM OF RETAINING WALL
- BURIED TELEPHONE LINE

NOTICE TO CONTRACTOR

PROPOSED CONTOURS AND SPOT ELEVATIONS SHOWN ARE TO FINISH SURFACES AND ARE PROVIDED FOR THE PURPOSE OF SHOWING FLOW ROUTING.

CONTRACTOR IS RESPONSIBLE FOR THE ABATEMENT OF SEDIMENT ONTO ADJOINING PUBLIC RIGHTS-OF-WAY DURING CONSTRUCTION AND FOR THE REMOVAL OF ANY SEDIMENT DEPOSITED IN PUBLIC RIGHT-OF-WAY.

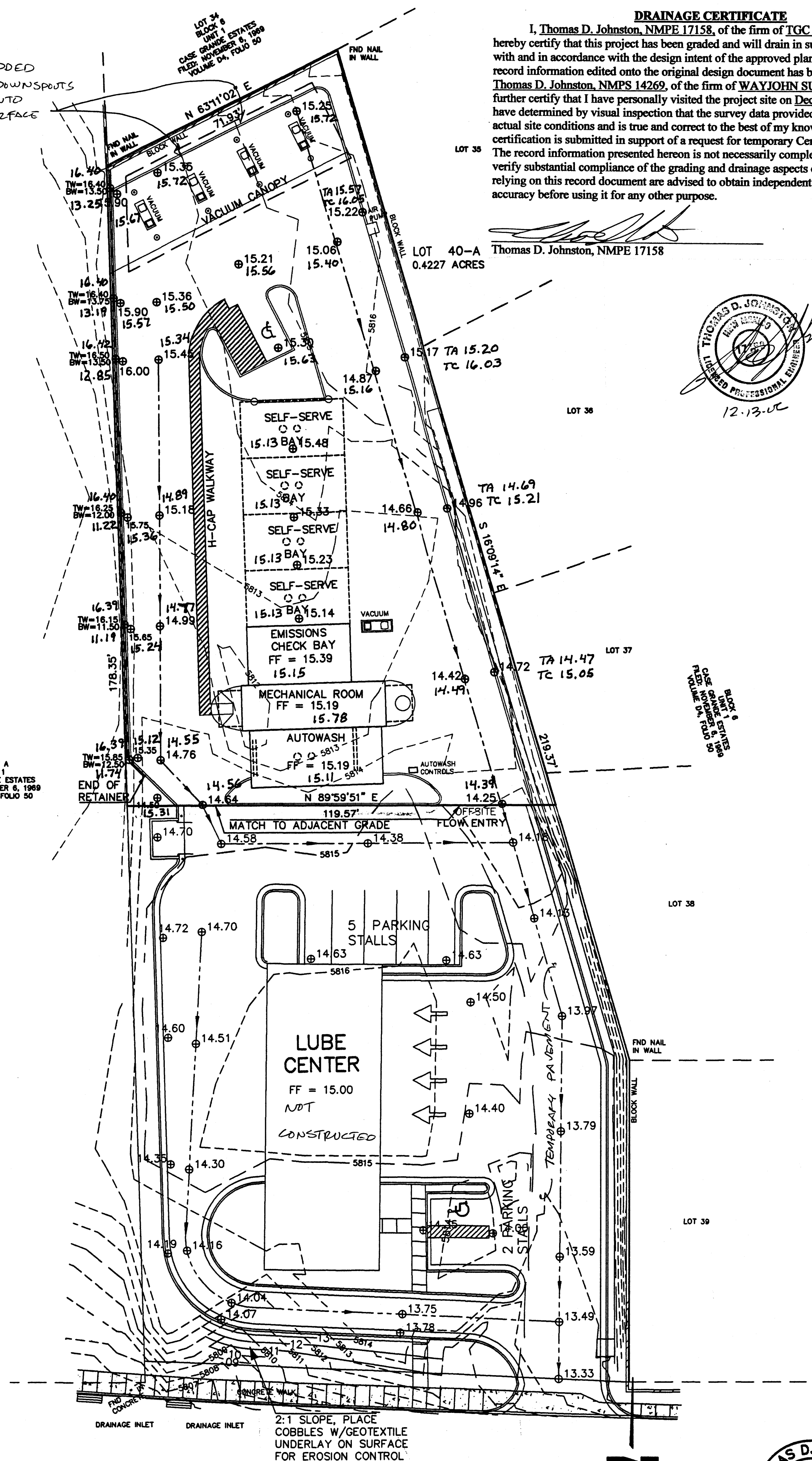
CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS PRIOR TO ANY GRADING OR CONSTRUCTION.

SITE MAY BE SUBJECT TO NPDES SWPPP REQUIREMENTS. CONTRACTOR WILL BE RESPONSIBLE FOR ACQUIRING THE NECESSARY PERMITS FROM THE EPA.

ALL IMPROVEMENTS WITHIN CITY OF ALBUQUERQUE RIGHT OF WAY MUST BE CONSTRUCTED BY CITY OF ALBUQUERQUE WORK ORDER.

DOWNSPROUTS ADDED TO CANOPY, DOWNSPOUTS DISCHARGE ONTO CONCRETE SURFACE

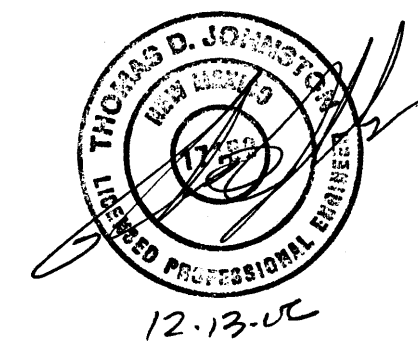
TRACT A UNIT 1 CASE GRANDE ESTATES FILED: NOVEMBER 6, 1969 VOLUME 04, FOLIO 50



DRAINAGE CERTIFICATE

I, Thomas D. Johnston, NMPE 17158, of the firm of TGC ENGINEERING INC. hereby certify that this project has been graded and will drain in substantial compliance with and in accordance with the design intent of the approved plan dated 5-03-2006. The record information edited onto the original design document has been obtained by Thomas D. Johnston, NMPS 14269, of the firm of WAYJOHN SURVEYING INC. I further certify that I have personally visited the project site on December 13, 2006 and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for temporary Certificate of Occupancy. The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the grading and drainage aspects of this project. Those relying on this record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

Thomas D. Johnston, NMPE 17158



ONSITE HYDROLOGY

DRAINAGE DATA - CAR WASH, TRAMWAY AND CANDELARIA

Condition	Storm Return Period Table 4 (Years)	Treatment Type	Treatment Area (sq. ft.)	Excess Precip. Table A-8 (in.)	Peak Runoff Table A-9 (cfs/ac)	Runoff Volume (cu. Ft.)	Runoff Rate (cfs)
EXISTING	100	A	18,413	0.80	2.20	1,227.5	0.93
		B	0	1.08	2.92	0.0	0.00
		C	0	1.46	3.73	0.0	0.00
		D	0	2.64	5.25	0.0	0.00
EXISTING	10	A	18,413	0.28	0.87	429.6	0.37
		B	0	0.46	1.45	0.0	0.00
		C	0	0.73	2.28	0.0	0.00
		D	0	1.69	3.57	0.0	0.00
DEVELOPED	100	A	0	0.80	2.20	0.0	0.00
		B	1,592	1.08	2.92	143.3	0.11
		C	0	1.46	3.73	0.0	0.00
		D	18,821	2.64	5.25	3,700.6	2.03
DEVELOPED	10	A	0	0.28	0.87	0.0	0.00
		B	1,592	0.46	1.45	61.0	0.05
		C	0	0.73	2.28	0.0	0.00
		D	18,821	1.69	3.57	2,650.6	1.54
TOTAL (EXT)	100					1,227.5	0.9
	10					429.6	0.4
TOTAL (DEV)	100					3,843.9	2.1
	10					2,711.7	1.6

LEGAL DESCRIPTION / FLOOD NOTE

Lot numbered Forty-A (40-A), in Block numbered Six (6), Unit 1, CASA GRANDE ESTATES, Albuquerque, Bernalillo County, New Mexico, as the same is shown and designated on said plot, filed in the office of the County Clerk of Bernalillo County, New Mexico, on August 19, 2005, in Plat Book 2005C, page 284.

The above described property is located within Zone X, Community Panel No. 350002 0129 E, dated November 19, 2003, and is located within a Special Flood Hazard Boundary indicated by FEMA Flood Insurance Rate Maps. Determination of Flood Hazard is by graphic plotting only.

DRAINAGE CONCEPT:

THE DRAINAGE CONCEPT FOR THIS SITE IS TO SURFACE DRAIN ALL RUNOFF ONTO THE PROPERTY IMMEDIATELY SOUTH OF THE SUBJECT PROPERTY. THIS RUNOFF WILL BE DISCHARGED ONTO CANDELARIA BLVD. N.E.

I, MATT MUSGRAVE, AUTHORIZED REPRESENTATIVE OF MAXIM DEVELOPMENT, HEREBY CERTIFY THAT I AM THE OWNER OF LOT 40-B, BLOCK 6, UNIT 1, CASA GRANDE ESTATES (TO BE REFERRED TO AS "LOT 40-B") LOCATED NEAR THE INTERSECTION OF TRAMWAY BOULEVARD, NE AND CANDELARIA ROAD, NE, WITHIN THE CITY OF ALBUQUERQUE, NEW MEXICO. AS THE OWNER OF LOT 40-B, I AM AWARE OF AND GRANT PERMANENT PERMISSION TO LOT 40-A, BLOCK 6, UNIT 1, CASA GRANDE ESTATES TO DRAIN ON, OVER, ACROSS, AND THROUGH LOT 40-B.

MATT MUSGRAVE, AUTHORIZED REPRESENTATIVE OF MAXIM DEVELOPMENT

BENCH MARK

BENCH MARK IS ACS STA. "2-G23" ACS Aluminum disk located within center median north of intersection of Candelaria Road and Tramway Boulevard, NE ELEV. 5790.00 (NGVD 29)

DRAINAGE NOTES:

- ROOF DRAINAGE CONVEYED TO PARKING OR DRIVE SURFACES LOTS VIA GUTTER AND DOWNSPOUT. SEE ROOF PLAN FOR LOCATIONS.
- ALL ELEVATIONS GIVEN ARE TO TOP OF PROPOSED GRADE

OFFSITE FLOW INFORMATION

OFFSITE CONTRIBUTORY FLOW ONTO THE SITE IS NEGLECTIBLE. THIS SITE WILL DRAIN TO THE SOUTH THRU THE PROPERTY. IMMEDIATELY ADJOINING CANDELARIA BLVD. N.E. A CROSS DRAINAGE EASEMENT WILL NEED TO BE OBTAINED.

I, THOMAS D. JOHNSTON, NEW MEXICO REGISTERED PROFESSIONAL ENGINEER NO. 17158, DO HEREBY CERTIFY THAT I INSPECTED THIS SITE ON MAY 15, 2005, AND THAT, AS OF THAT DATE, THERE HAD BEEN NO RECENT ALTERATION OF GRADE OR EVIDENCE OF GRADING OPERATIONS ON THIS SITE.

THOMAS D. JOHNSTON, NMPE NO. 17158

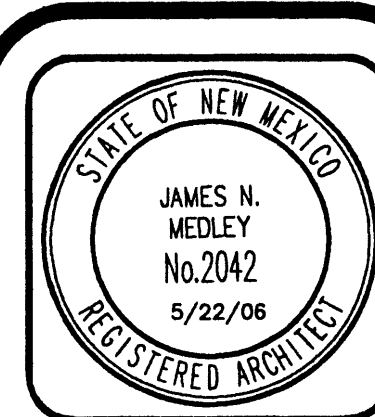
DRAINAGE AND GRADING PLAN

ULTIMATE CAR WASH

TGC ENGINEERING INC.
330 LOUISIANA BLVD. NE
ALBUQUERQUE, NM 87108

(505)266-7256
Fax: (505) 255-2887

RECEIVED
DEC 14 2006
HYDROLOGY SECTION



JIM MEDLEY, Architect AIA
NCARB Certificate No. 36,885
3100 Christine N. E. Albuquerque, NM 87111
email: jmedley@jim-medley-architect.com
Phone (505) 292-3514 Fax (505) 294-5593

Plan No. 0502/SED20001
Date May '06
Drawn by SED
Checked by MG

The Ultimate Car Wash
Tramway Blvd.
Albuquerque, New Mexico

Date: _____
Revision / Issue: _____
No. _____

Sheet Description: _____

Sheet: _____

HW WATER VALVE
 WM WATER METER
 MH SANITARY SEWER MANHOLE
 SAS SANITARY SEWER DROP
 W WATER TAP
 IRR IRRIGATION CONTROL VALVE
 TS TRAFFIC SIGNAL / BOX
 PP POWER POLE
 ANCH ANCHOR
 LP LIGHT POLE
 TREE, CALIPER NOTED

SPOT ELEVATION
 UNLESS OTHERWISE INDICATED, SPOT ELEVATIONS ARE TO ASPHALT SURFACE

FH FIRE HYDRANT
 EA EDGE OF ASPHALT
 TC TOP OF CURB / CONCRETE FLOWLINE
 BSW BACK OF SIDEWALK

CHAIN LINK FENCE
 CONCRETE BLOCK WALL
 RR TIE LANDSC. RETAINER
 OVERHEAD POWER LINE

EXISTING INDEX CONTOURS @ 5 FT. INTERVALS
 EXISTING CONTOURS @ 1 FT. INTERVALS
 PROPOSED CONTOURS @ 1.0' INTERVALS
 PROPOSED SPOT ELEVATION

FLOW LINE
 PROPOSED RETAINER

TC TOP OF CONCRETE
 FL FLOW LINE
 TSW TOP OF SIDEWALK
 RIM RIM OF MANHOLE
 TW TOP OF RETAINING WALL
 BW BOTTOM OF RETAINING WALL
 BURIED TELEPHONE LINE

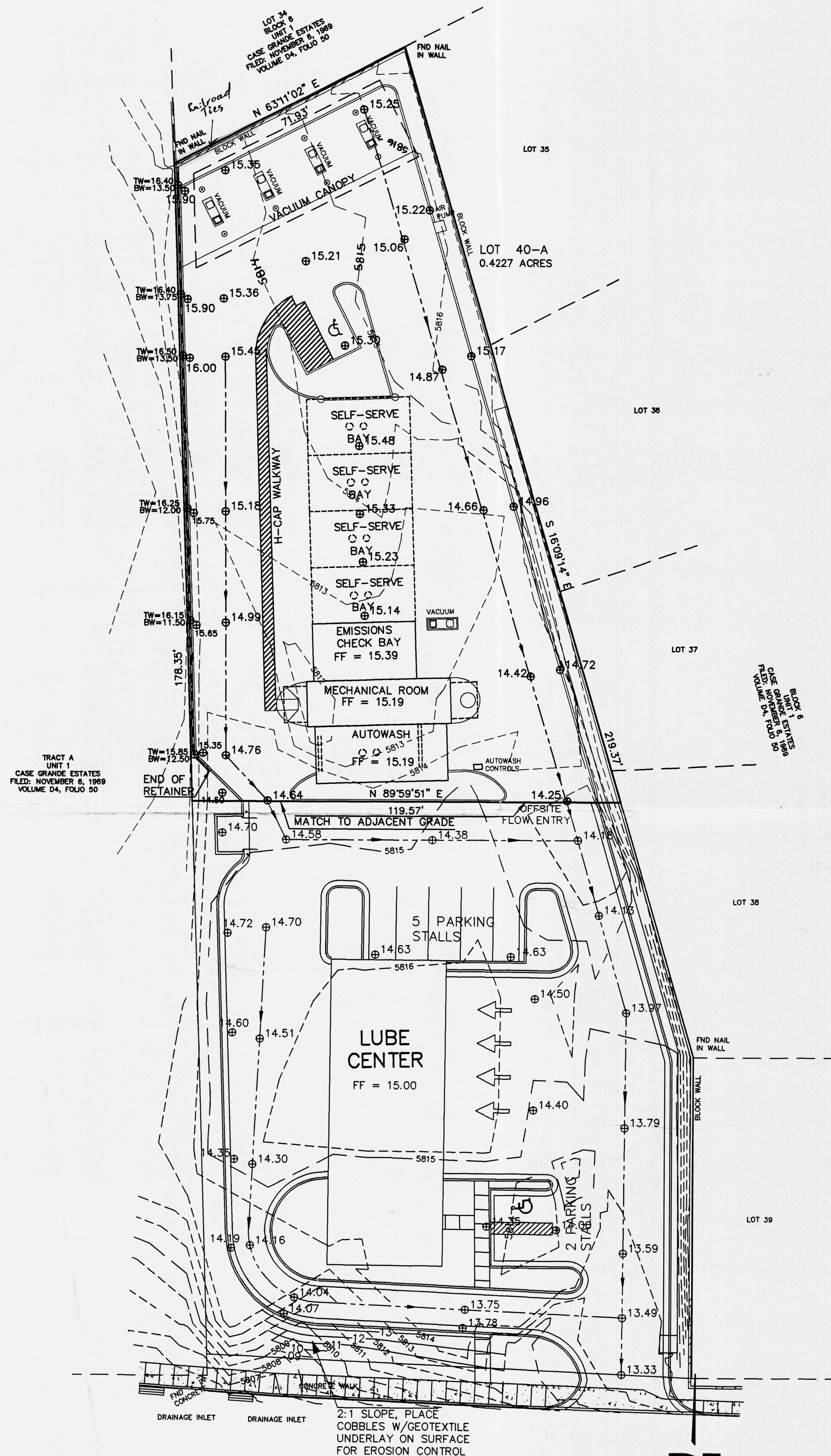
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SITE MAY BE SUBJECT TO NPDES SWPPP REQUIREMENTS. CONTRACTOR WILL BE RESPONSIBLE FOR ACQUIRING THE NECESSARY PERMITS FROM THE EPA.

ALL IMPROVEMENTS WITHIN CITY OF ALBUQUERQUE RIGHT OF WAY MUST BE CONSTRUCTED BY CITY OF ALBUQUERQUE WORK ORDER.



CANDELARIA ROAD N.E
R/W VARIES

0 10 20 40

SCALE: 1 INCH = 20 FEET

5-03-06

DRAINAGE DATA - CAR WASH, TRAMWAY AND CANDELARIA							
THIS SITE LIES WITHIN PRECIPITATION ZONE 4							
Condition	Storm Return Period Table 4 (Years)	Treatment Type	Treatment Area (sq. ft.)	Excess Precip. Table A-8 (in.)	Peak Runoff Table A-9 (cfs/csf)	Runoff Volume (cu. Ft.)	Runoff Rate (cfs)
EXISTING	100	A	18,413	0.80	2.20	1,227.5	0.93
		B	0	1.08	2.92	0.0	0.00
		C	0	1.46	3.73	0.0	0.00
		D	0	2.64	5.25	0.0	0.00
EXISTING	10	A	18,413	0.28	0.87	429.6	0.37
		B	0	0.46	1.45	0.0	0.00
		C	0	0.73	2.26	0.0	0.00
		D	0	1.69	3.57	0.0	0.00
DEVELOPED	100	A	0	0.80	2.20	0.0	0.00
		B	1,592	1.08	2.92	143.3	0.11
		C	0	1.46	3.73	0.0	0.00
		D	16,821	2.64	5.25	3,700.6	2.03
DEVELOPED	10	A	0	0.28	0.87	0.0	0.00
		B	1,592	0.46	1.45	61.0	0.05
		C	0	0.73	2.26	0.0	0.00
		D	16,821	1.69	3.57	2,650.6	1.54
TOTAL (EXT)	100					1,227.5	0.9
	10					429.6	0.4
TOTAL (DEV)	100					3,843.9	2.1
	10					2,711.7	1.6

Lot numbered Forty-A (40-A), in Block numbered Six (6), Unit 1, CASA GRANDE ESTATES, Albuquerque, Bernalillo County, New Mexico, as the same is shown and designated on said plat, filed in the office of the County Clerk of Bernalillo County, New Mexico, on August 19, 2005, in Plat Book 2005C, page 284.

The above described property is located within Zone X, Community Panel No. 350002 0129 E, dated November 19, 2003, and is located within a Special Flood Hazard Boundary indicated by FEMA Flood Insurance Rate Maps. Determination of Flood Hazard is by graphic plotting only.

DRAINAGE CONCEPT:

THE DRAINAGE CONCEPT FOR THIS SITE IS TO SURFACE DRAIN ALL RUNOFF ONTO THE PROPERTY IMMEDIATELY SOUTH OF THE SUBJECT PROPERTY. THIS RUNOFF WILL BE DISCHARGED ONTO CANDELARIA BLVD. N.E.

I, MATI MUSGRAVE, AUTHORIZED REPRESENTATIVE OF MAXIM DEVELOPMENT, HEREBY CERTIFY THAT I AM THE OWNER OF LOT 40-A, BLOCK 6, UNIT 1, CASA GRANDE ESTATES (TO BE REFERRED TO AS LOT 40-B) LOCATED NEAR THE INTERSECTION OF TRAMWAY BOULEVARD AND CAÑADILAR ROAD, NE, WITHIN THE CITY OF ALBUQUERQUE, NEW MEXICO, AS THE OWNER OF LOT 40-A, I AM AWARE OF AND GRANT PERMANENT PERMISSION TO LOT 40-A, BLOCK 6, UNIT 1, CASA GRANDE ESTATES TO DRAIN ON, OVER, ACROSS, AND THROUGH LOT 40-B.

MATT MUSGRAVE, AUTHORIZED REPRESENTATIVE OF MAXIM DEVELOPMENT

BENCH MARK IS ACS STA. "2-G23" ACS Aluminum disk located within center median north of intersection of Candelaria Road and Tramway Boulevard, NE ELEV. 5790.00 (NGVD 29)

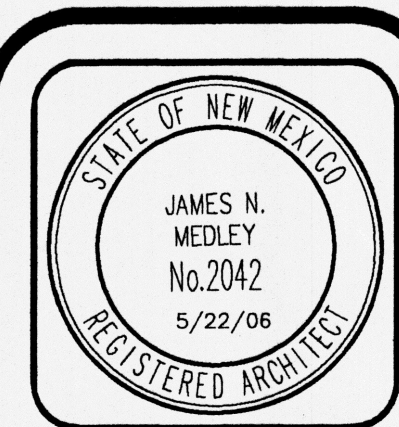
- ROOF DRAINAGE CONVEYED TO PARKING OR DRIVE SURFACES LOTS VIA GUTTER AND DOWNSPOUT. SEE ROOF PLAN FOR LOCATIONS.
- ALL ELEVATIONS GIVEN ARE TO TOP OF PROPOSED GRADE

OFFSITE CONTRIBUTORY FLOW ONTO THE SITE IS NEGLEGIBLE.
THIS SITE WILL DRAIN TO THE SOUTH THRU THE PROPERTY
IMMEDIATELY ADJOINING CANDELARIA BLVD. N.E. A CROSS DRAINAGE
EASEMENT WILL NEED TO BE OBTAINED.

I, THOMAS D. JOHNSTON, NEW MEXICO REGISTERED PROFESSIONAL ENGINEER NO. 17158, DO HEREBY CERTIFY THAT I INSPECTED THIS SITE ON MAY 15, 2005, AND THAT, AS OF THAT DATE, THERE HAD BEEN NO RECENT ALTERATION OF GRADE OR EVIDENCE OF GRADING OPERATIONS ON THIS SITE.

THOMAS D. JOHNSTON, NMPE NO. 17158

TCE ENGINEERING, INC. (505) 266-7256
Fax: (505) 255-2887
330 LOUISIANA BLVD. NE
ALBUQUERQUE, NM 87108



JIM MEDLEY, Architect AIA
NCARB Certificate No. 35,895

3100 Christine N. E. Albuquerque, NM 87111
email: jmedley@jim-medley-architect.com
Phone (505) 292-3514 Fax (505) 294-5593

Plan No.
0502/SED25001
Date:
May '06
Drawn by:
SED
Checked by:
MG

Project:
Ultimate Car Wash
Tramway Blvd.
Albuquerque, New Mexico

No.	Revision / Issue	Date:

Sheet Description

Sheet:

MAY 25 2006

HYDROLOGY SECTION

D:\Ultimate Car Wash\Tramway\Tramway\12-05-06\11 Site Plan.dwg, 5/10/2006 10:12:23 AM

NOTE

MAINTENANCE OF LANDSCAPE PROVIDED BY OWNER
PLANTINGS TO BE WATERED BY AUTO. DRIP IRRIGATION SYSTEM

WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER

IT IS THE INTENT OF THIS PLAN TO PROVIDE MIN. 85% LIVE GROUND COVER OF LANDSCAPE AREAS AT MATURITY

LANDSCAPE AREAS TO BE MULCHED WITH SANTA ANA TAN GRAVEL AT 2"-3" DEPTH OVER FILTER FABRIC

PLANT LEGEND

SYMBOL QTY. BOTANICAL NAME



6 FRAXINUS

COMMON NAME SIZE

RAYWOOD ASH 2" CAL



5 PINUS NIGRA

AUSTRIAN PINE 5'-6" HT.



7 VITEX AGNUS-CASTUS

CHASTE TREE 15 GAL



23 PEROVSKIA ATRIPLICIFOLIA

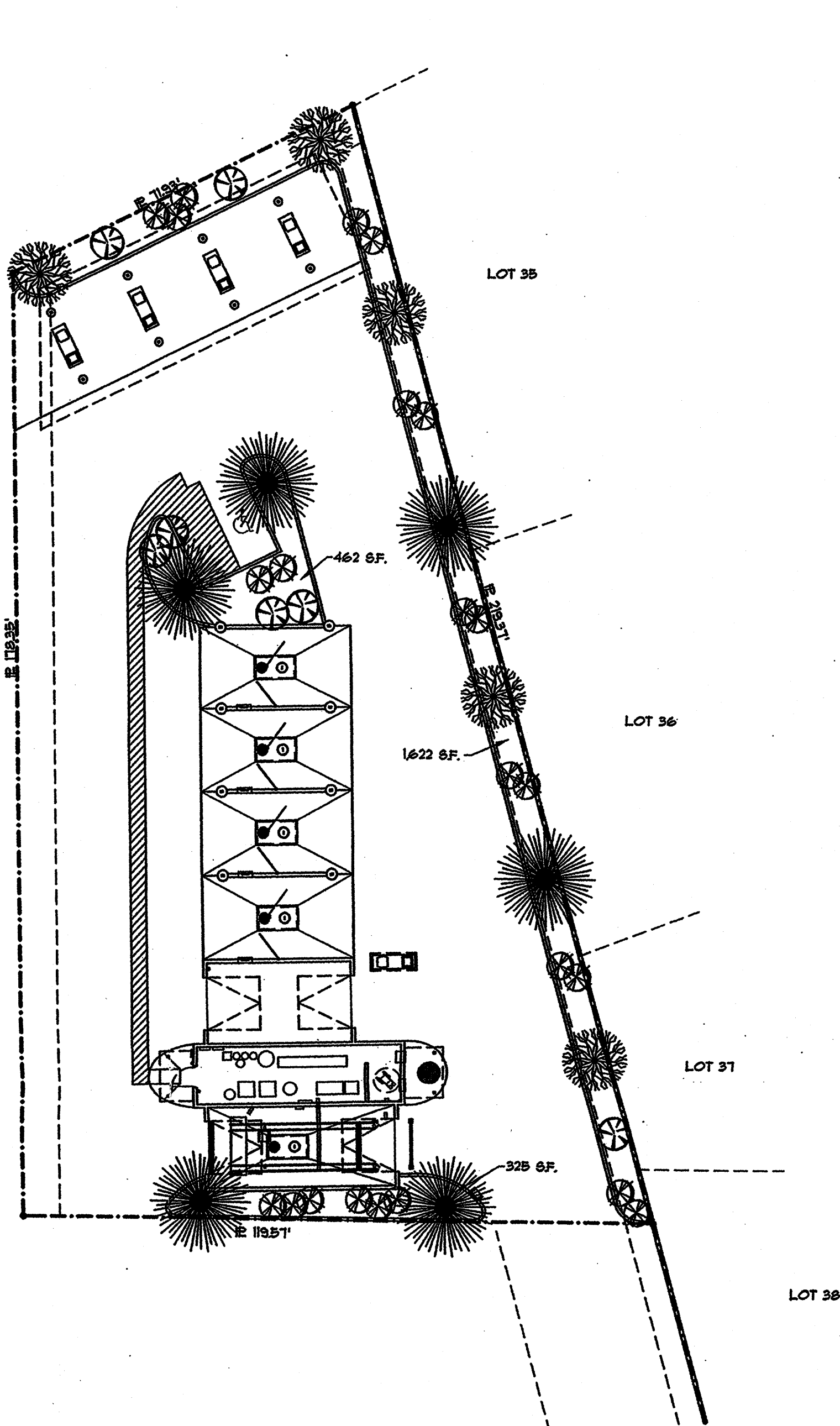
RUSSIAN SAGE 5 GAL

LANDSCAPE PLAN

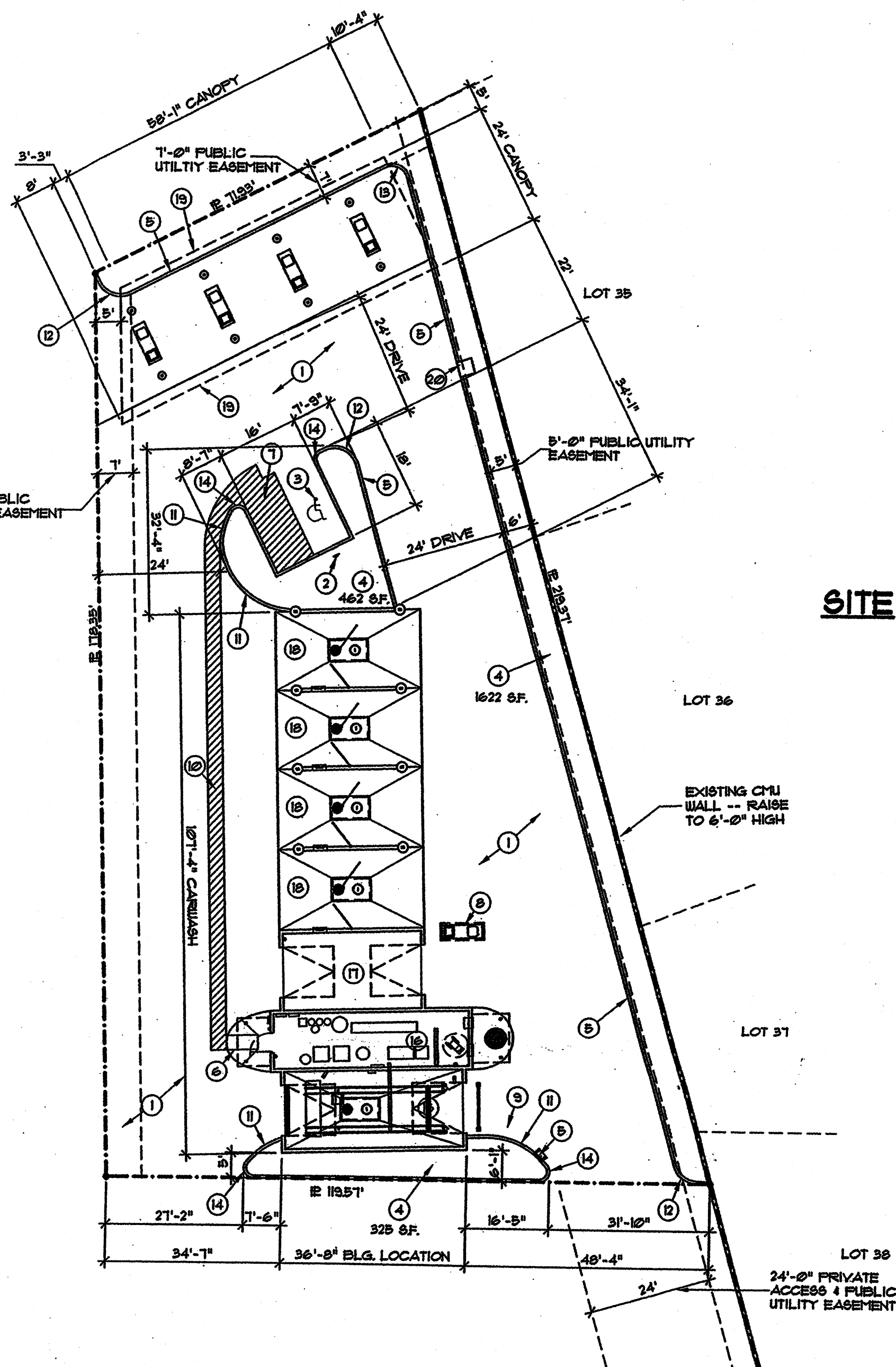
SCALE: 1"=20'



TRAMWAY BLVD. PARK AREA



TRAMWAY BLVD. PARK AREA



SITE PLAN

SCALE: 1"=20'



SITE DATA

ZONE:
C-1
PROPOSED USE: CARWASH

LEGAL DESCRIPTION:
LOT 40-A UNIT 1 CASA GRANDE GRANDE ESTATES WITHIN CITY OF ALBUQUERQUE, BERNILLO COUNTY, NEW MEXICO.

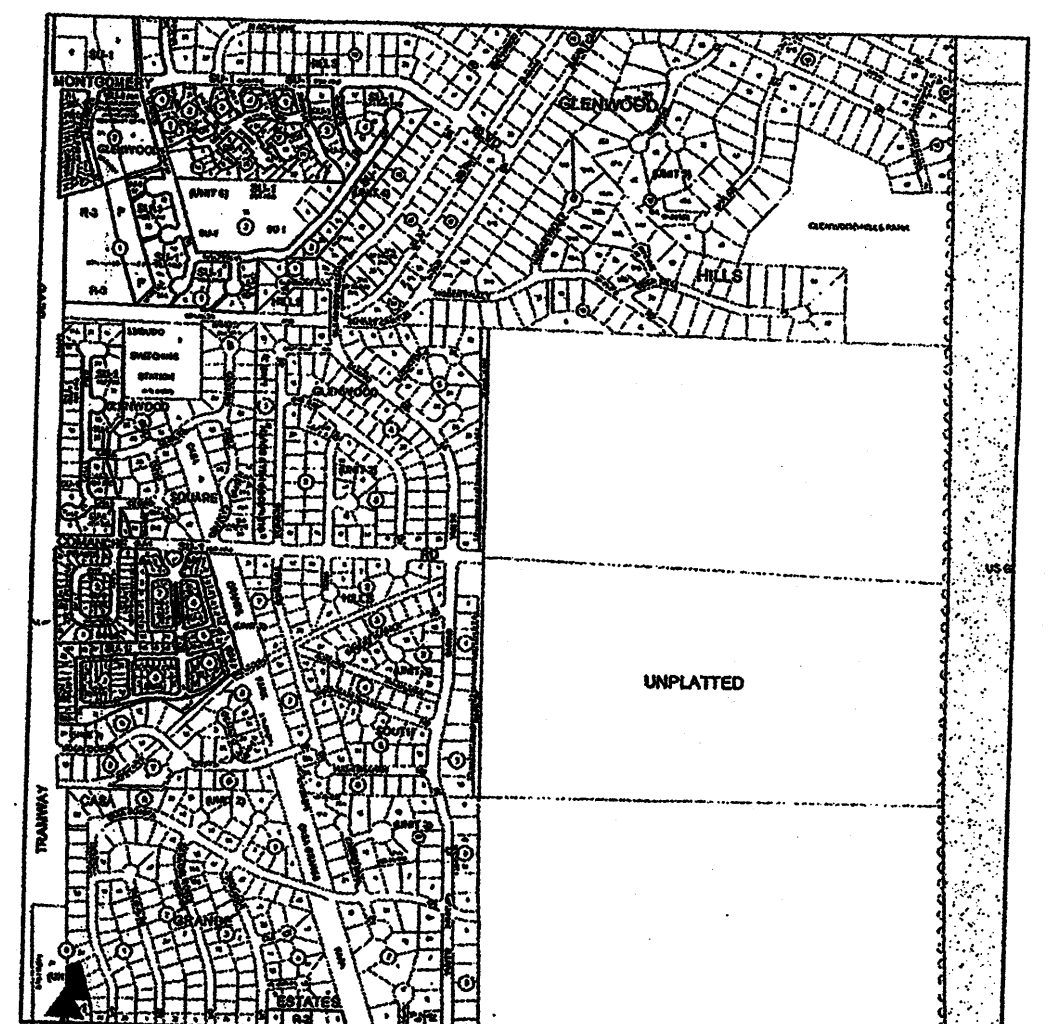
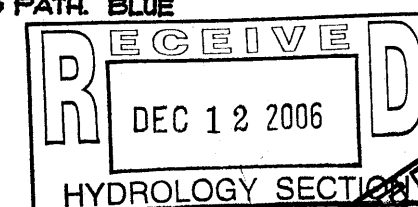
GROSS LOT AREA appx. 19,383 SF
LESS CARWASH appx. 3,356 SF
NET LOT AREA appx. 16,027 SF
REQUIRED LANDSCAPE 15% OF NET LOT AREA 2,404 SF
PROVIDED LANDSCAPE 16% OF NET LOT AREA 2,603 SF

PARKING CALCULATIONS

MECHANICAL ROOM ONLY 369 SQ. FT. / 2000 = 1 REQUIRED
WASH BAYS AND EMISSION BAY ARE PARKING SELF CONTAINED.

Notes Specific to Sheet

- 1 ASPHALT PAVING. 2" ASPHALT OVER 4" COMPACTED BASE COURSE PER CITY STANDARDS.
- 2 2" X 18" BLUE AND WHITE HANDICAP SIGN. IDENTIFY VAN ACCESSIBLE SPACE WITH ADD-ON SIGN. INSTALL 24" BEHIND EDGE OF SIDEWALK CURB AND 60" ABOVE SIDEWALK TO BOTTOM OF SIGN. SEE DETAIL SHEET C2.
- 3 BLUE PAINTED HANDICAP SYMBOL.
- 4 LANDSCAPE AREA. SQUARE FOOTAGE AS NOTED.
- 5 6" STANDUP CONCRETE CURB. SEE DETAIL SHEET C2.
- 6 HANDICAP RAMP WITH 1:2 MAXIMUM SLOPE. SLOPE APPROX 1:2 MAXIMUM. SEE DETAIL SHEET C2.
- 7 3" WIDE BLUE STRIPING FOR HANDICAP PARKING.
- 8 ADA ACCESSIBLE VACUUM ISLAND BY EQUIPMENT SUPPLIER.
- 9 AUTOWASH ENTRANCE CONTROLS.
- 10 36" WIDE HANDICAP ACCESS PATH. BLUE PAINTED STRIPES.
- 11 15'-0" RADIUS.
- 12 5'-0" RADIUS.
- 13 3'-0" RADIUS.
- 14 2'-0" RADIUS.
- 15 AUTOMATIC WASH BAY.
- 16 EQUIPMENT ROOM.
- 17 EMISSIONS CHECK BAY.
- 18 SELF-SERVICE BAY.
- 19 LINE OF CANOPY ABOVE.
- 20 36" X 36" X 4" THICK CONCRETE PAD FOR TIRE AIR MACHINE.



VICINITY MAP

TRAFFIC CIRCULATION LAYOUT APPROVED

Signed: 5-16-06 Date: _____

Project: The Ultimate Car Wash

Tramway Blvd.
Albuquerque, New Mexico

Revision / Issue

Sheet Description

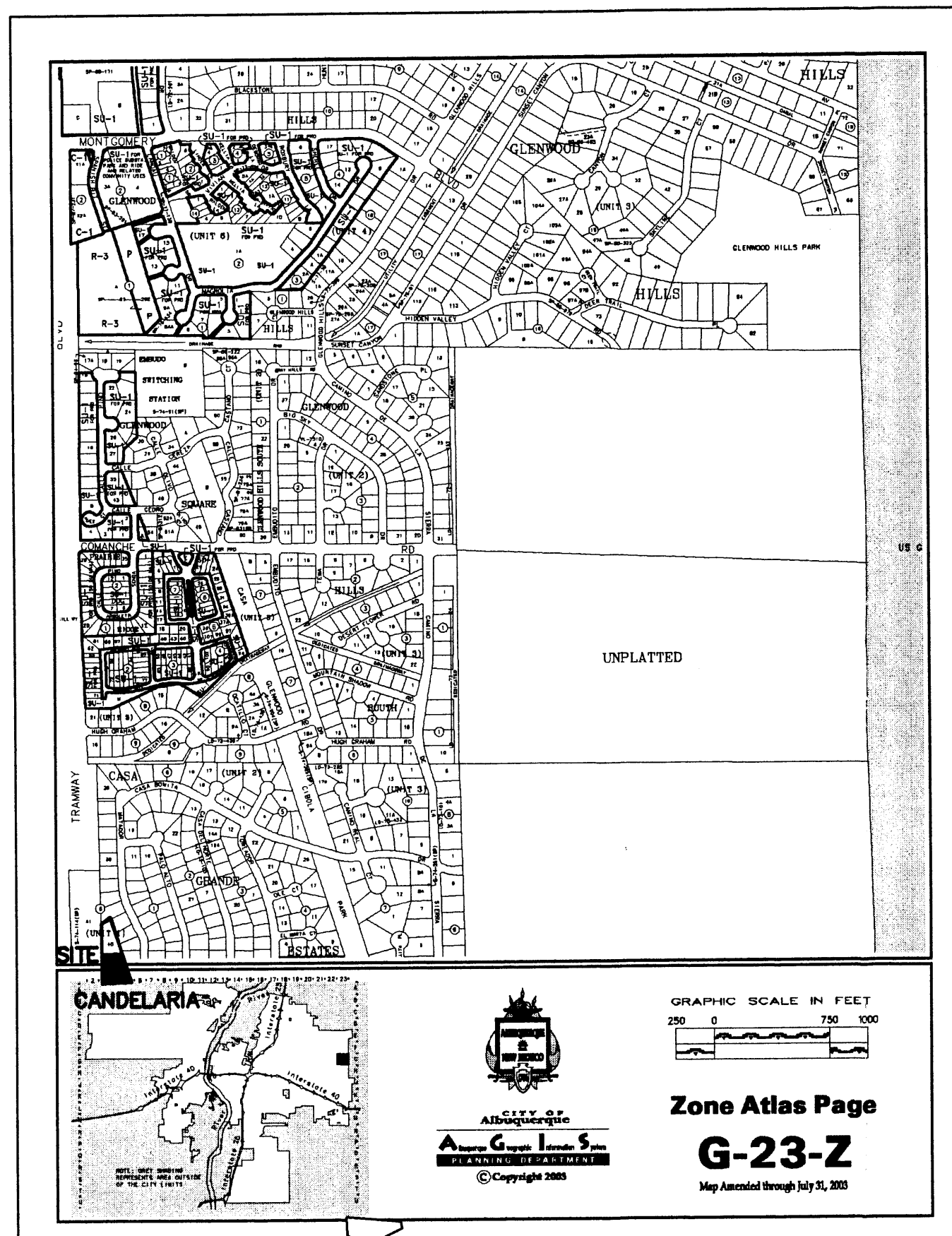
Sheet:

C1



JIM MEDLEY, Architect AIA
NABBB Certificate No. 35,086
3100 Christine N. E. Albuquerque, NM 87111
Phone (505) 292-3514 Fax (505) 294-5593
email: jmedley@jim-medley-architect.com

VICINITY MAP (G-23-Z)



LEGEND

- WV WATER VALVE
- WM WATER METER
- MH SANITARY SEWER MANHOLE
- SAS SANITARY SEWER DROP
- W WATER TAP
- IRR IRRIGATION CONTROL VALVE
- TS TRAFFIC SIGNAL / BOX
- PP POWER POLE
- ANCH ANCHOR
- LP LIGHT POLE
- TREE, CALIPER NOTED
- SPOT ELEVATION UNLESS OTHERWISE INDICATED, SPOT ELEVATIONS ARE TO ASPHALT SURFACE
- FH FIRE HYDRANT
- EA EDGE OF ASPHALT
- TC TOP OF CURB / CONCRETE
- FL FLOWLINE
- BSW BACK OF SIDEWALK
- CHAIN LINK FENCE
- CONCRETE BLOCK WALL
- RR TIE LANDSC. RETAINER
- OVERHEAD POWER LINE
- 4958 EXISTING INDEX CONTOURS @ 5 FT. INTERVALS
- 4958 EXISTING CONTOURS @ 1 FT. INTERVALS
- 56 PROPOSED CONTOURS @ 1.0' INTERVALS
- 58.0 PROPOSED SPOT ELEVATION
- FLOW LINE
- PROPOSED RETAINER
- TC TOP OF CONCRETE
- FL FLOW LINE
- TSW TOP OF SIDEWALK
- RIM RIM OF MANHOLE
- BURIED TELEPHONE LINE

NOTICE TO CONTRACTOR

PROPOSED CONTOURS AND SPOT ELEVATIONS SHOWN ARE TO FINISH SURFACES AND ARE PROVIDED FOR THE PURPOSE OF SHOWING FLOW ROUTING.

CONTRACTOR IS RESPONSIBLE FOR THE ABATEMENT OF SEDIMENT ONTO ADJOINING PUBLIC RIGHTS-OF-WAY DURING CONSTRUCTION AND FOR THE REMOVAL OF ANY SEDIMENT DEPOSITED IN PUBLIC RIGHT-OF-WAY.

CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS PRIOR TO ANY GRADING OR CONSTRUCTION.

SITE MAY BE SUBJECT TO NPDES SWPPP REQUIREMENTS. CONTRACTOR WILL BE RESPONSIBLE FOR ACQUIRING THE NECESSARY PERMITS FROM THE EPA.

ALL IMPROVEMENTS WITHIN CITY OF ALBUQUERQUE RIGHT OF WAY MUST BE CONSTRUCTED BY CITY OF ALBUQUERQUE WORK ORDER.

BENCH MARK

BENCH MARK IS ACS STA. "2-G23" ACS Aluminum disk located within center median north of intersection of Candelaria Road and Tramway Boulevard, NE ELEV. 5790.00 (NGVD 29)

DRAINAGE NOTES:

- ROOF DRAINAGE CONVEYED TO NORTH AND SOUTH PARKING LOTS VIA GUTTER AND DOWNSPOUT. SEE ROOF PLAN FOR LOCATIONS.
- ALL ELEVATIONS GIVEN ARE TO TOP OF PROPOSED GRADE

LEGAL DESCRIPTION / FLOOD NOTE

Lot numbered Forty-B (40-B), in Block numbered Six (6), Unit 1, CASA GRANDE ESTATES, Albuquerque, Bernalillo County, New Mexico, as the same is shown and designated on said plat, filed in the office of the County Clerk of Bernalillo County, New Mexico, on August 19, 2005, in Plat Book 2005C, page 284.

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CURRENT SITE DRAINAGE CONDITIONS

THE SITE CURRENTLY FREE DISCHARGES TO CANDELARIA BLVD. N.E. THE PROPERTY IMMEDIATELY NORTH OF THE SUBJECT PROPERTY ALSO DRAINS TO THE SOUTH ACROSS THE SITE.

ONSITE HYDROLOGY

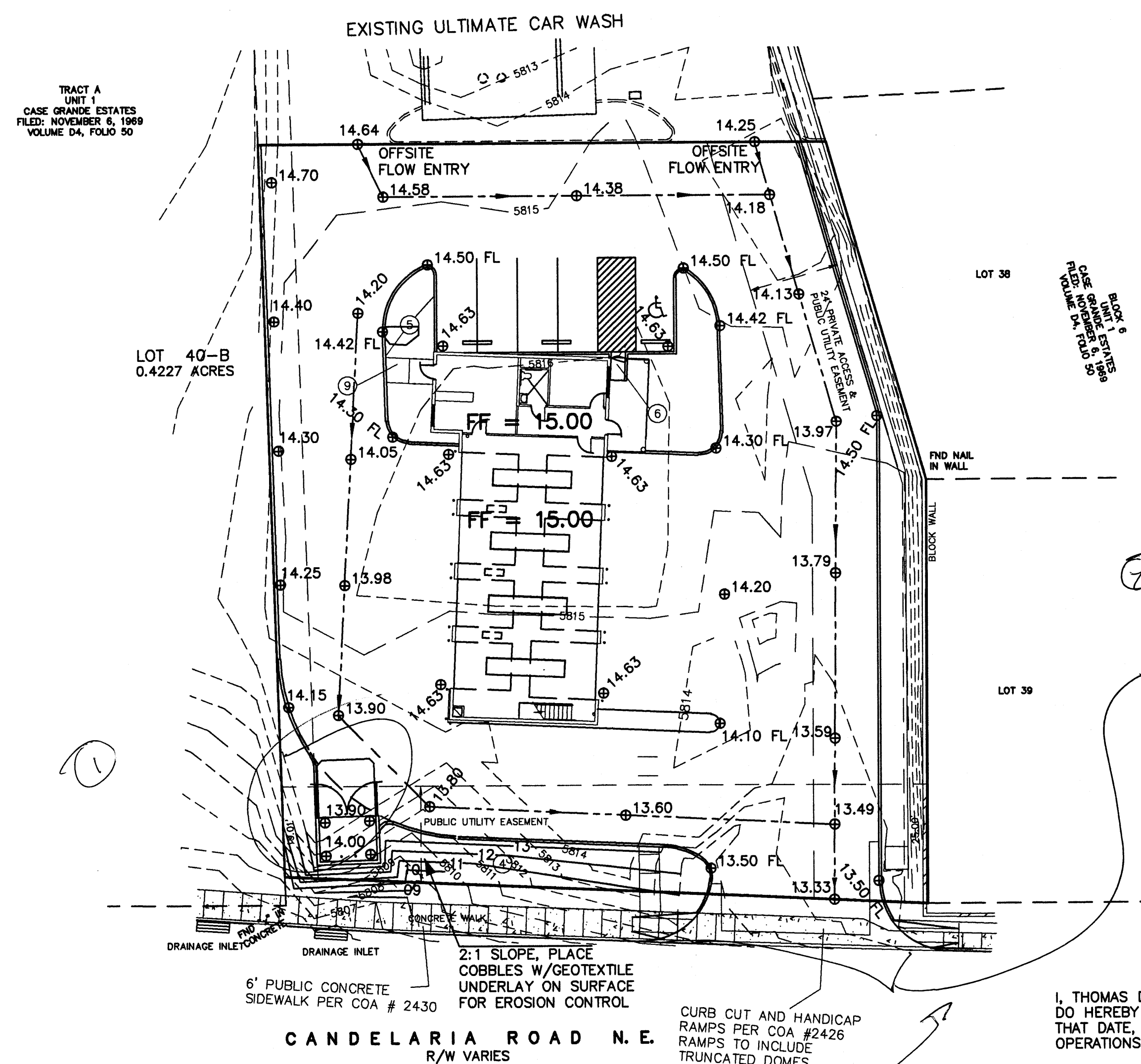
DRAINAGE DATA - CAR WASH, TRAMWAY AND CANDELARIA

THIS SITE LIES WITHIN PRECIPITATION ZONE 4

Condition	Storm Return Period Table 4 (Years)	Treatment Type	Treatment Area (sq. ft.)	Excess Precip. Table A-8 (in.)	Peak Runoff Table A-9 (cfs/ac)	Runoff Volume (cu. ft.)	Runoff Rate (cfs)
EXISTING	100	A	21,016	0.80	2.20	1,401.1	1.06
		B	0	1.08	2.92	0.0	0.00
		C	0	1.46	3.73	0.0	0.00
		D	0	2.64	5.25	0.0	0.00
EXISTING	10	A	21,016	0.28	0.87	490.4	0.42
		B	0	0.46	1.45	0.0	0.00
		C	0	0.73	2.26	0.0	0.00
		D	0	1.69	3.57	0.0	0.00
DEVELOPED	100	A	0	0.80	2.20	0.0	0.00
		B	1,592	1.08	2.92	143.3	0.11
		C	0	1.46	3.73	0.0	0.00
		D	19,424	2.64	5.25	4,273.3	2.34
DEVELOPED	10	A	0	0.28	0.87	0.0	0.00
		B	1,592	0.46	1.45	61.0	0.05
		C	0	0.73	2.26	0.0	0.00
		D	19,424	1.69	3.57	2,735.5	1.59
TOTAL (EXT)	100					1,401.1	1.1
	10					490.4	0.4
TOTAL (DEV)	100					4,416.8	2.4
	10					2,796.6	1.6

OFFSITE FLOW INFORMATION

OFFSITE CONTRIBUTORY FLOW IS LIMITED TO FLOWS COMING OFF OF THE PROPERTY IMMEDIATELY NORTH OF THE SITE. CALCULATED FLOWS OFF OF THE PROPERTY TO THE NORTH IS 2.1 CFS DURING THE 10-DAY, 100-YEAR STORM EVENT. A CROSS DRAINAGE EASEMENT WILL NEED TO BE IN PLACE FOR NORTH SITE DEVELOPMENT.



I, THOMAS D. JOHNSTON, NEW MEXICO REGISTERED PROFESSIONAL ENGINEER NO. 17158, DO HEREBY CERTIFY THAT I INSPECTED THIS SITE ON MAY 15, 2005, AND THAT, AS OF THAT DATE, THERE HAD BEEN NO RECENT ALTERATION OF GRADE OR EVIDENCE OF GRADING OPERATIONS ON THIS SITE.

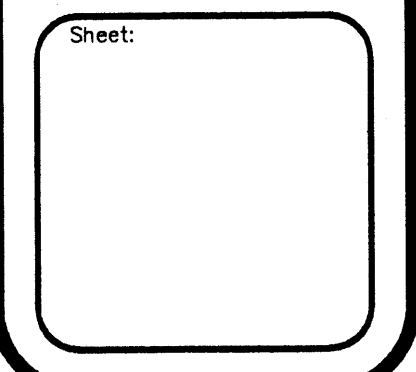
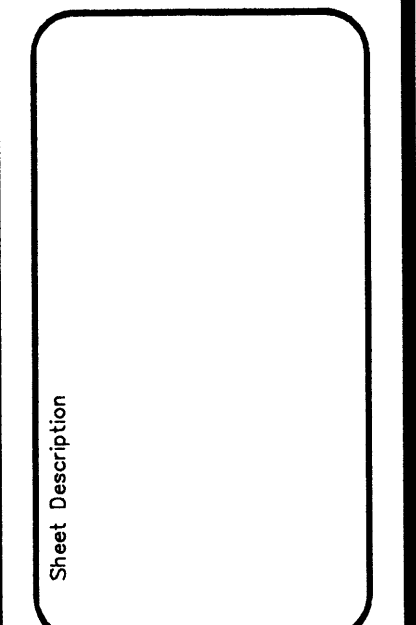
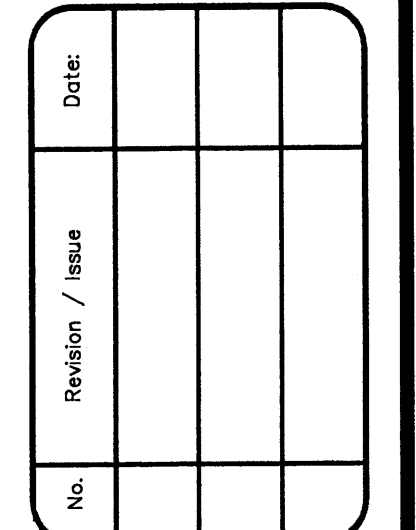
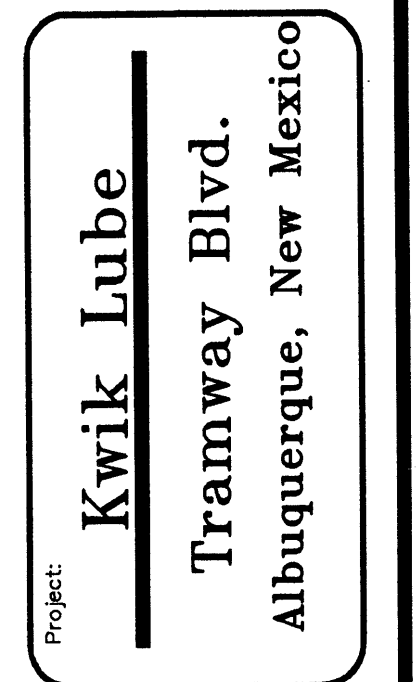
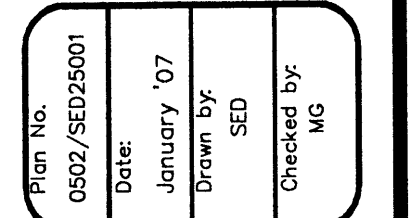
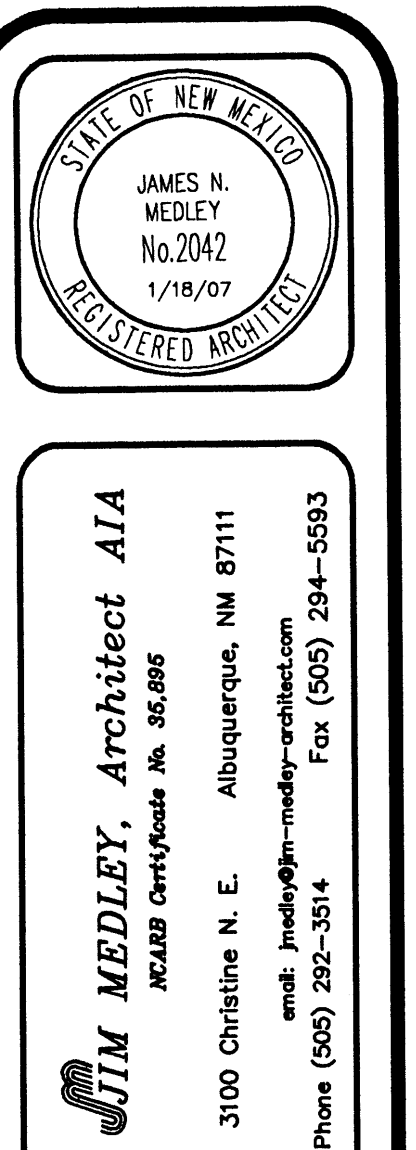
THOMAS D. JOHNSTON, NMPE NO. 17158

DRAINAGE AND GRADING PLAN

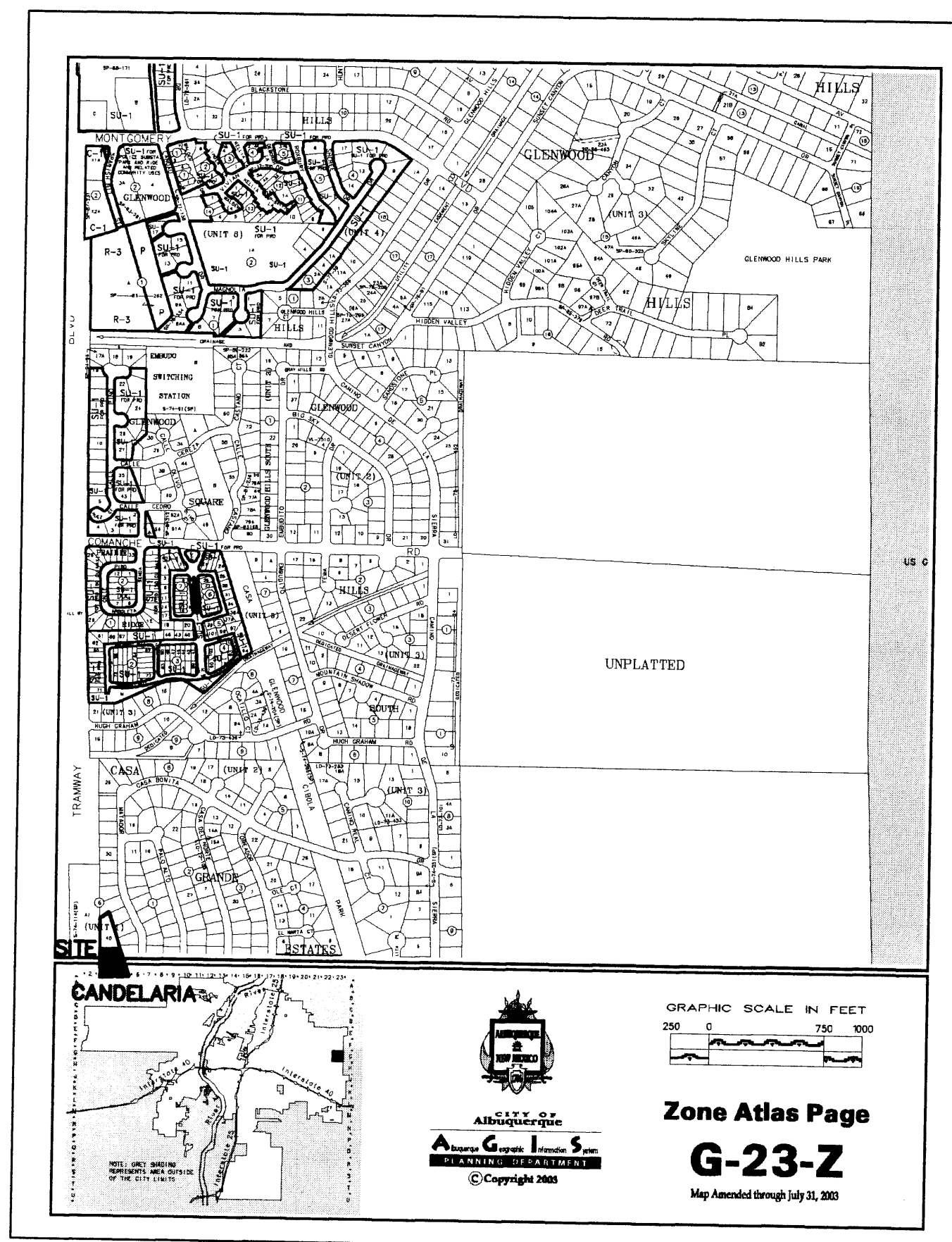
KWIK LUBE
TDC ENGINEERING, INC.
 330 LOUISIANA BLVD. NE
 ALBUQUERQUE, NM 87108
 (505)266-7256
 Fax: (505) 255-2887

SCALE: 1 INCH = 20 FEET

1-17-07



VICINITY MAP (G-23-Z)



LEGEND

WV	WATER VALVE	SPOT ELEVATION	UNLESS OTHERWISE INDICATED, SPOT ELEVATIONS ARE TO ASPHALT SURFACE
WM	WATER METER	EA	EDGE OF ASPHALT
MH	SANITARY SEWER MANHOLE	TC	TOP OF CURB / CONCRETE
SAS	SANITARY SEWER DROP	FL	FLOWLINE
W	WATER TAP	BSW	BACK OF SIDEWALK
IRR	IRRIGATION CONTROL VALVE		
TS	TRAFFIC SIGNAL / BOX		
PP	POWER POLE		
ANCH	ANCHOR		
LP	LIGHT POLE		
TREE	TREE, CALIPER NOTED		
4958	EXISTING INDEX CONTOURS @ 5 FT. INTERVALS		
4958	EXISTING CONTOURS @ 1 FT. INTERVALS		
56	PROPOSED CONTOURS @ 1.0' INTERVALS		
58.0	PROPOSED SPOT ELEVATION		
---	FLOW LINE		
---	PROPOSED RETAINER		
TC	TOP OF CONCRETE		
FL	FLOW LINE		
TSW	TOP OF SIDEWALK		
RIM	RIM OF MANHOLE		
---	BURIED TELEPHONE LINE		

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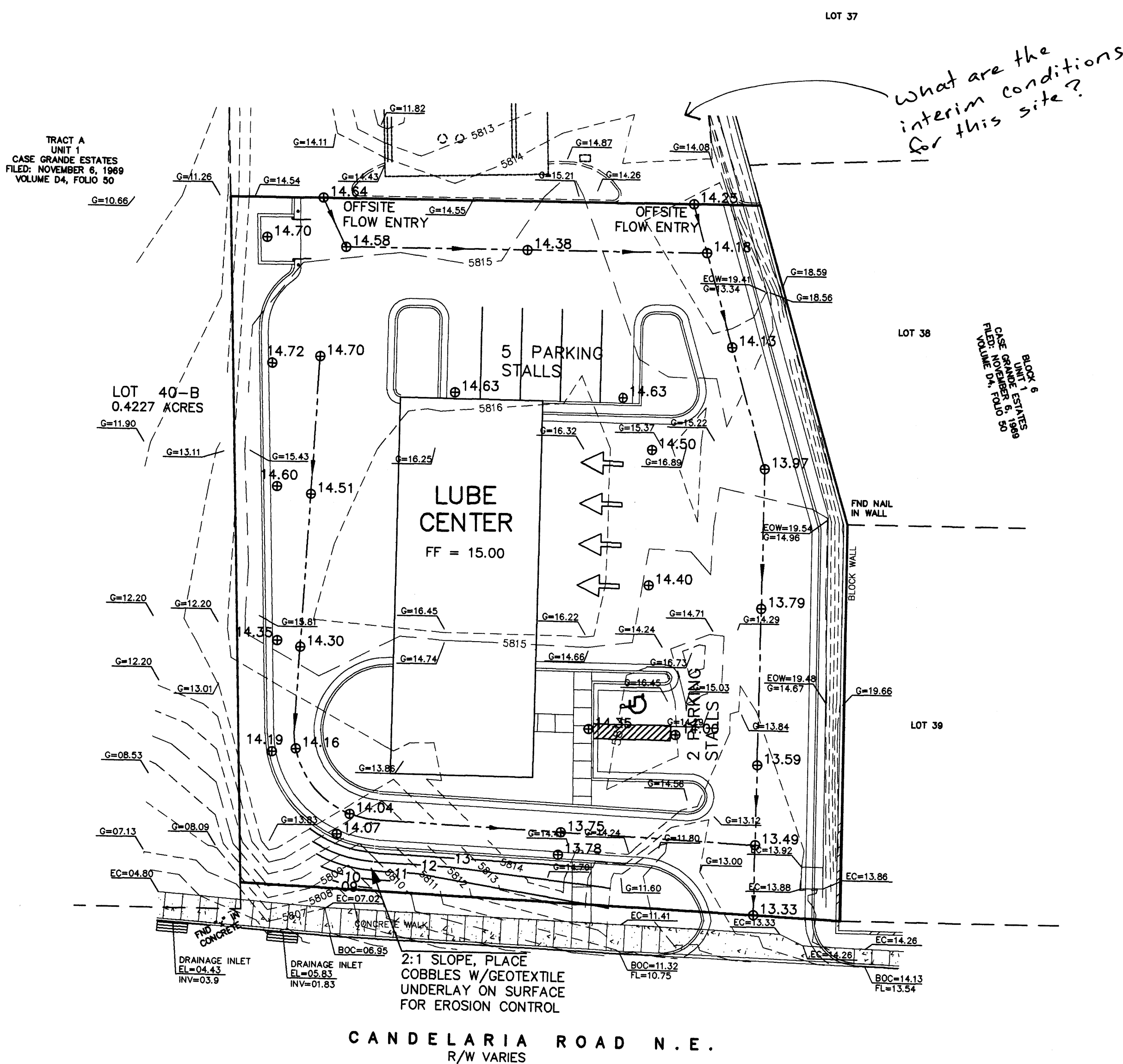
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		C	0	1.46	3.73	0.0	0.00
		D	0	2.64	5.25	0.0	0.00
EXISTING	10	A	21,016	0.28	0.87	490.4	0.42
		B	0	0.46	1.45	0.0	0.00
		C	0	0.73	2.26	0.0	0.00
		D	0	1.69	3.57	0.0	0.00
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		C	0	1.46	3.73	0.0	0.00
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$$\text{AREA} = 21016 \text{ ft}^2 = 0.4825 \text{ Acres}$$

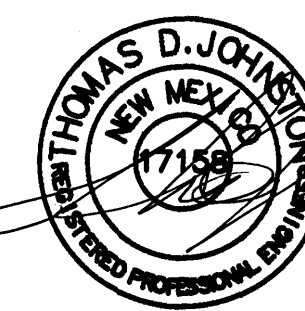
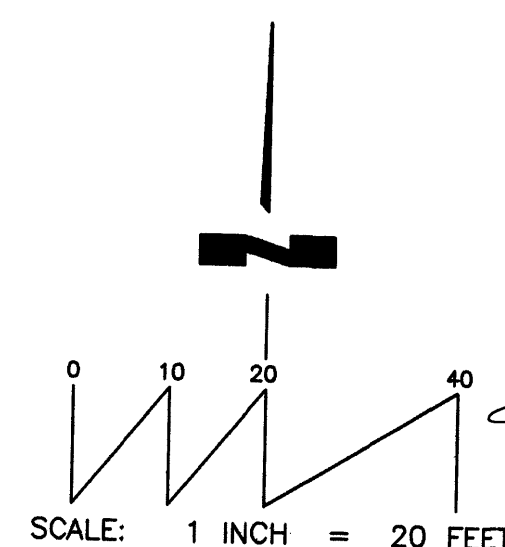


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THOMAS D. JOHNSTON, NMPE NO. 17158

DRAINAGE AND GRADING PLAN
LUBE CENTER

TJ ENGINEERING, INC. (505) 266-7256
330 LOUISIANA BLVD. NE
ALBUQUERQUE, NM 87108
Fax: (505) 255-2887



5-03-06

A MINIMUM OF 80% OF THE PLANTINGS TO BE LOW OR MEDIUM WATER USE PLANTS

A MAXIMUM OF 20% OF THE LANDSCAPE AREA TO BE HIGH WATER USE TURF

MAINTENANCE OF LANDSCAPE/IRRIGATION PROVIDED BY OWNER

PLANTINGS TO BE WATERED BY AUTO. DRIP
IRRIGATION SYSTEM

**WATER MANAGEMENT IS THE SOLE RESPONSIBILITY
OF THE PROPERTY OWNER**

THIS PLAN IS TO COMPLY WITH C.O.A. LANDSCAPE
AND WATER WASTE ORDINANCE
PLANTING RESTRICTIONS APPROACH

IT IS THE INTENT OF THIS PLAN TO PROVIDE MIN.
75% LIVE GROUNDCOVER OF LANDSCAPE AREAS
AT MATURITY

LANDSCAPE AREAS TO BE MULCHED WITH GRAVEL
MULCH AT 2"-3" DEPTH OVER FILTER FABRIC

GROSS LOT AREA	21,029	SF
LESS BUILDING(S)	2,726	SF
NET LOT AREA	18,303	SF

REQUIRED LANDSCAPE		
15% OF NET LOT AREA	<u>2,745</u>	SF
PROPOSED LANDSCAPE	<u>3,428</u>	SF
PERCENT OF NET LOT AREA	<u>18.7</u>	%

REQUIRED STREET TREES -
PROVIDED AT 30' O.C. SPACING ALONG STREET 5 (5 req'd)

10

SYMBOL	QTY.	BOTANICAL NAME
--------	------	----------------

	6	FRAXINUS	RAYWOOD ASH	2" CAL
	5	PINUS NIGRA	AUSTRIAN PINE	5'-6' HT.
	7	VITEX AGNUS-CASTUS	CHASTE TREE	15 GAL
	23	PEROVSKIA ATRIPLICIFOLIA	RUSSIAN SAGE	5 GAL

① ASPHALT PAVING. 2" ASPHALT OVER 4" COMPACTED BASE COURSE PER CITY

- ① ASPHALT PAVING. 2" ASPHALT OVER 4" COMPACTED BASE COURSE PER CITY STANDARDS.
- ② 12" X 18" BLUE AND WHITE HANDICAP SIGN. (IDENTIFY VAN ACCESSIBLE SPACE WITH ADD-ON SIGN) INSTALL 24" BEHIND EDGE OF SIDEWALK/CURB AND 60" ABOVE SIDEWALK TO BOTTOM OF SIGN. SEE DETAIL SHEET C2.
- ③ BLUE PAINTED HANDICAP SYMBOL.
- ④ LANDSCAPE AREA. SQUARE FOOTAGE AS NOTED.
- ⑤ 6" STAND-UP CONCRETE CURB. SEE DETAIL SHEET C2.
- ⑥ HANDICAP RAMP WITH 1:12 MAXIMUM SLOPE.
- ⑦ 3" WIDE BLUE STRIPING FOR HANDICAP PARKING.
- ⑧ 6" LONG PRE-CAST CONCRETE WHEEL STOP.
- ⑨ 3" CONCRETE WALK.
- ⑩ 3" WIDE WHITE STRIPING.

○ SECOND FIRE HYDRANT
APPROX 125' TO EAST

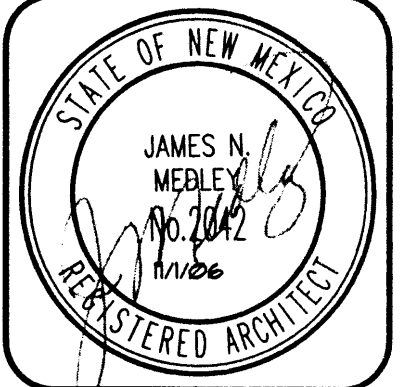
TRAFFIC CONSULTATION LAYED
OUT

Signed _____ Date 11/1/08

SCALE: 1"=20'

SCALE: 1720

9 FIRE HYDRANT ACCROSS
STREET ON CORNER



JJM MEDLEY, Architect AIA
NCARB Certificate No. 35,895

3100 Christine N. E. Albuquerque, NM 87111
email: jmedley@jjm-medley-architect.com
Phone (505) 292-3514 Fax (505) 294-5593

Plan No. 0502/SED25001	Date: November '06	Drawn by: SED	Checked by: MG
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Project:
Candelaria Kwiek Lube
Candelaria and Tramway Blvd.
Candelaria and Tramway Blvd.
Arbuckle, New Mexico

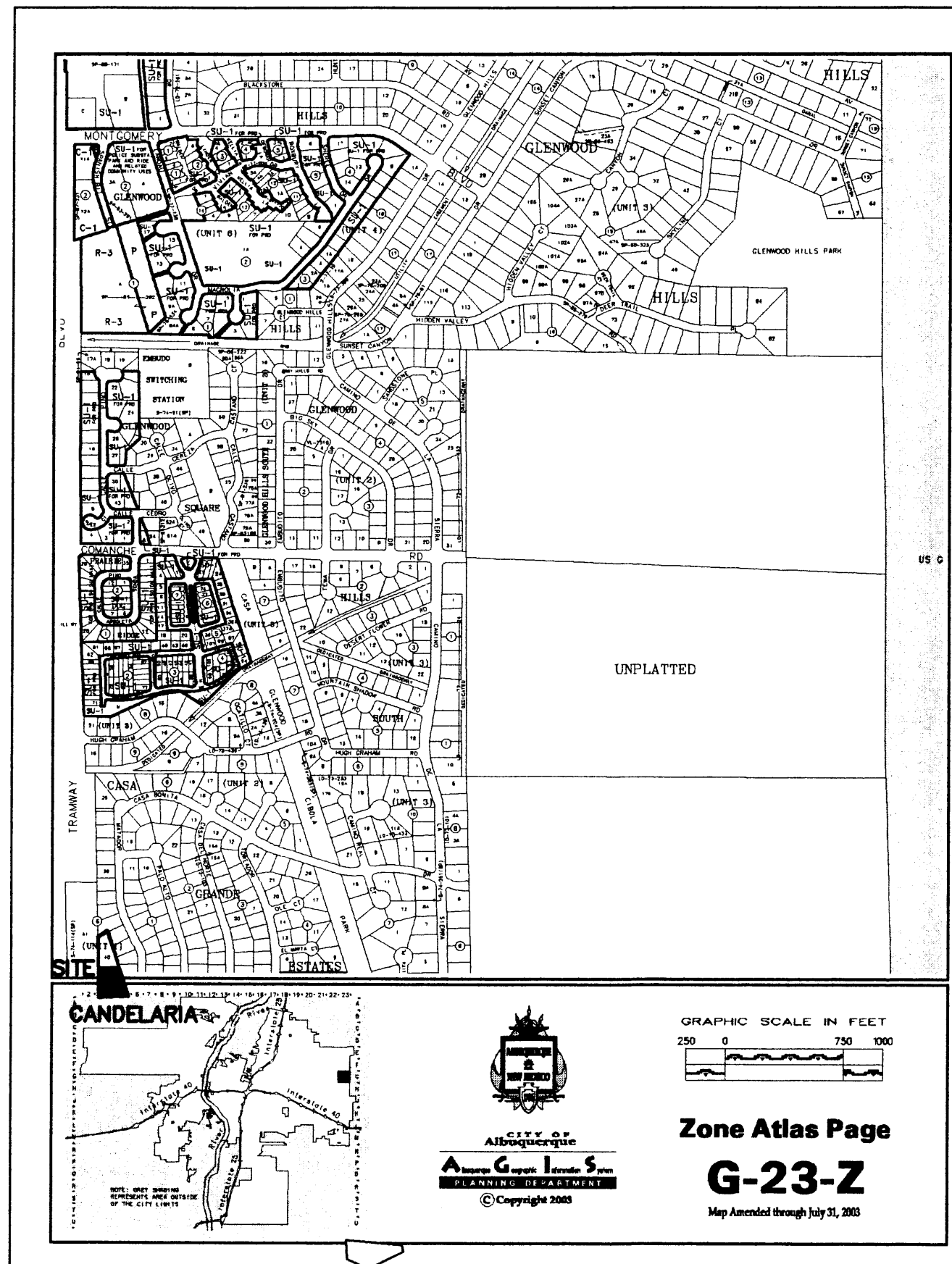
No.	Revision / Issue	Date:

Sheet Description

Sheet:

C1.1

VICINITY MAP (G-23-Z)



LEGEND

- WV WATER VALVE
- WM WATER METER
- WH SANITARY SEWER MANHOLE
- SAS SANITARY SEWER DROP
- W WATER TAP
- IRR IRRIGATION CONTROL VALVE
- TS TRAFFIC SIGNAL / BOX
- PP POWER POLE
- ANCH ANCHOR
- LP LIGHT POLE
- TREE, CALIPER NOTED
- SPOT ELEVATION UNLESS OTHERWISE INDICATED, SPOT ELEVATIONS ARE TO ASPHALT SURFACE
- FH FIRE HYDRANT
- EA EDGE OF ASPHALT
- TC TOP OF CURB / CONCRETE FLOWLINE
- BSW BACK OF SIDEWALK
- CHAIN LINK FENCE
- CONCRETE BLOCK WALL
- RR TIE LANDSC. RETAINER
- OVERHEAD POWER LINE
- EXISTING INDEX CONTOURS @ 5 FT. INTERVALS
- EXISTING CONTOURS @ 1 FT. INTERVALS
- PROPOSED CONTOURS @ 1.0' INTERVALS
- PROPOSED SPOT ELEVATION
- FLOW LINE
- PROPOSED RETAINER
- TC TOP OF CONCRETE
- FL FLOW LINE
- TSW TOP OF SIDEWALK
- RIM RIM OF MANHOLE
- BURIED TELEPHONE LINE

NOTICE TO CONTRACTOR

PROPOSED CONTOURS AND SPOT ELEVATIONS SHOWN ARE TO FINISH SURFACES AND ARE PROVIDED FOR THE PURPOSE OF SHOWING FLOW ROUTING.

CONTRACTOR IS RESPONSIBLE FOR THE ABATEMENT OF SEDIMENT ONTO ADJOINING PUBLIC RIGHTS-OF-WAY DURING CONSTRUCTION AND FOR THE REMOVAL OF ANY SEDIMENT DEPOSITED IN PUBLIC RIGHT-OF-WAY.

CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS PRIOR TO ANY GRADING OR CONSTRUCTION.

SITE MAY BE SUBJECT TO NPDES SWPPP REQUIREMENTS. CONTRACTOR WILL BE RESPONSIBLE FOR ACQUIRING THE NECESSARY PERMITS FROM THE EPA.

ALL IMPROVEMENTS WITHIN CITY OF ALBUQUERQUE RIGHT OF WAY MUST BE CONSTRUCTED BY CITY OF ALBUQUERQUE WORK ORDER.

BENCH MARK

BENCH MARK IS ACS STA. "2-G23" ACS Aluminum disk located within center median north of intersection of Candelaria Road and Tramway Boulevard, NE ELEV. 5790.00 (NGVD 29)

DRAINAGE NOTES:

- ROOF DRAINAGE CONVEYED TO NORTH AND SOUTH PARKING LOTS VIA GUTTER AND DOWNSPOUT. SEE ROOF PLAN FOR LOCATIONS.
- ALL ELEVATIONS GIVEN ARE TO TOP OF PROPOSED GRADE

LEGAL DESCRIPTION / FLOOD NOTE

Lot numbered Forty-B (40-B), in Block numbered Six (6), Unit 1, CASA GRANDE ESTATES, Albuquerque, Bernalillo County, New Mexico, as the same is shown and designated on said plot, filed in the office of the County Clerk of Bernalillo County, New Mexico, on August 19, 2005, in Plat Book 2005C, page 284.

The above described property is located within Zone X, Community Panel No. 350002 0129 E, dated November 19, 2003, and is located within a Special Flood Hazard Boundary indicated by FEMA Flood Insurance Rate Maps. Determination of Flood Hazard is by graphic plotting only.

CURRENT SITE DRAINAGE CONDITIONS

THE SITE CURRENTLY FREE DISCHARGES TO CANDELARIA BLVD. N.E. THE PROPERTY IMMEDIATELY NORTH OF THE SUBJECT PROPERTY ALSO DRAINS TO THE SOUTH ACROSS THE SITE.

ONSITE HYDROLOGY

DRAINAGE DATA - CAR WASH, TRAMWAY AND CANDELARIA THIS SITE LIES WITHIN PRECIPITATION ZONE 4

Condition	Storm Return Period Table 4 (Years)	Treatment Type	Treatment Area (sq. ft.)	Excess Precip. Table A-8 (in.)	Peak Runoff Table A-9 (cfs/ac)	Runoff Volume (cu. ft.)	Runoff Rate (cfs)
EXISTING	100	A	21,016	0.80	2.20	1,401.1	1.06
		B	0	1.08	2.92	0.0	0.00
		C	0	1.46	3.73	0.0	0.00
		D	0	2.64	5.25	0.0	0.00
EXISTING	10	A	21,016	0.28	0.87	490.4	0.42
		B	0	0.46	1.45	0.0	0.00
		C	0	0.73	2.26	0.0	0.00
		D	0	1.69	3.57	0.0	0.00
DEVELOPED	100	A	0	0.80	2.20	0.0	0.00
		B	1,592	1.08	2.92	143.3	0.11
		C	0	1.46	3.73	0.0	0.00
		D	19,424	2.64	5.25	4,273.3	2.34
DEVELOPED	10	A	0	0.28	0.87	0.0	0.00
		B	1,592	0.46	1.45	61.0	0.05
		C	0	0.73	2.26	0.0	0.00
		D	19,424	1.69	3.57	2,735.5	1.59
TOTAL (EXT)	100					1,401.1	1.1
TOTAL (DEV)	100					490.4	0.4
	10					4,416.6	2.4
						2,796.6	1.6

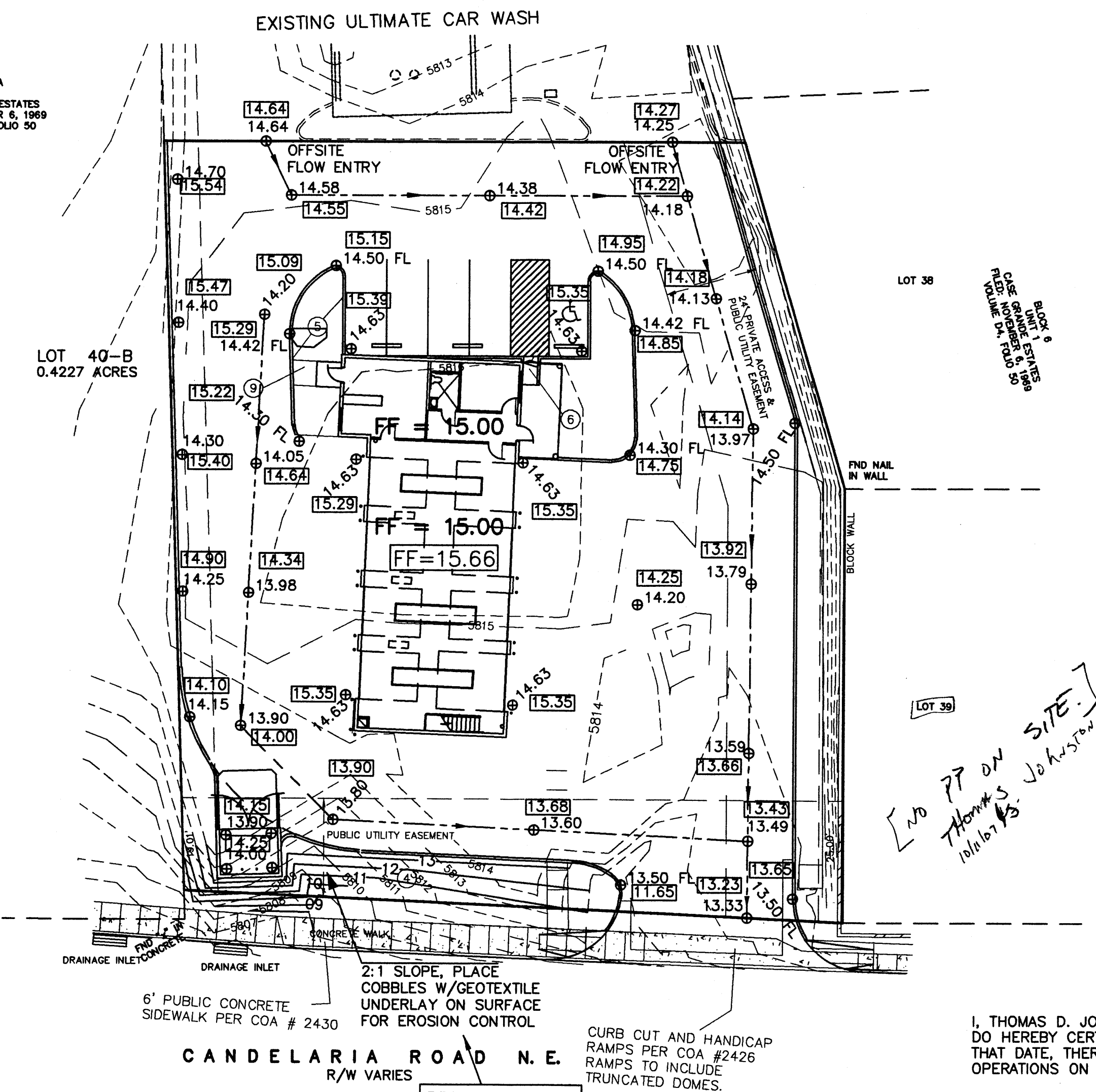
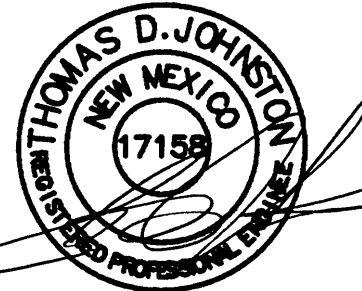
OFFSITE FLOW INFORMATION

OFFSITE CONTRIBUTORY FLOW IS LIMITED TO FLOWS COMING OFF OF THE PROPERTY IMMEDIATELY NORTH OF THE SITE. CALCULATED FLOWS OFF OF THE PROPERTY TO THE NORTH IS 2.1 CFS DURING THE 10-DAY, 100-YEAR STORM EVENT. A CROSS DRAINAGE EASEMENT WILL NEED TO BE IN PLACE FOR NORTH SITE DEVELOPMENT.

DRAINAGE CERTIFICATE

I, Thomas D. Johnston, NMPE 17158, of the firm of TGC ENGINEERING INC. hereby certify that this project has been graded and will drain in substantial compliance with and in accordance with the design intent of the approved plan dated May 3, 2006. Information shown hereon reflects the site plan changes made January 2007. The record information edited onto the original design document has been obtained by Thomas D. Johnston, NMPS 14269, of the firm of WAYJOHN SURVEYING INC. I further certify that I have personally visited the project site on October 10, 2007 and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for final Certificate of Occupancy. The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the grading and drainage aspects of this project. Those relying on this record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

Thomas D. Johnston, NMPE 17158



I, THOMAS D. JOHNSTON, NEW MEXICO REGISTERED PROFESSIONAL ENGINEER NO. 17158, DO HEREBY CERTIFY THAT I INSPECTED THIS SITE ON MAY 15, 2005, AND THAT, AS OF THAT DATE, THERE HAD BEEN NO RECENT ALTERATION OF GRADE OR EVIDENCE OF GRADING OPERATIONS ON THIS SITE.

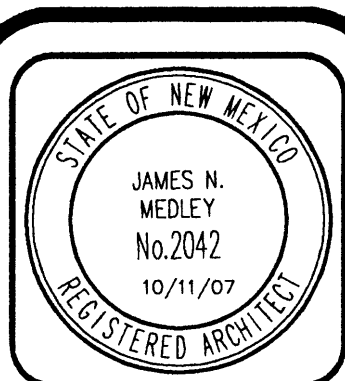
THOMAS D. JOHNSTON, NMPE NO. 17158

DRAINAGE AND GRADING PLAN KWIK LUBE

TGC ENGINEERING, INC.
330 LOUISIANA BLVD. NE
ALBUQUERQUE, NM 87108
(505)266-7256
Fax: (505) 255-2887

SCALE: 1 INCH = 20 FEET

5-03-06



JIM MEDLEY, Architect AIA
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3100 Christine N. E. Albuquerque, NM 87111
Email: jmedley@jim-medley-architect.com
Phone (505) 292-3514 Fax (505) 294-5593

Plan No. 0502/SD20001
Date: October '07
Drawn by: SED
Checked by: ME

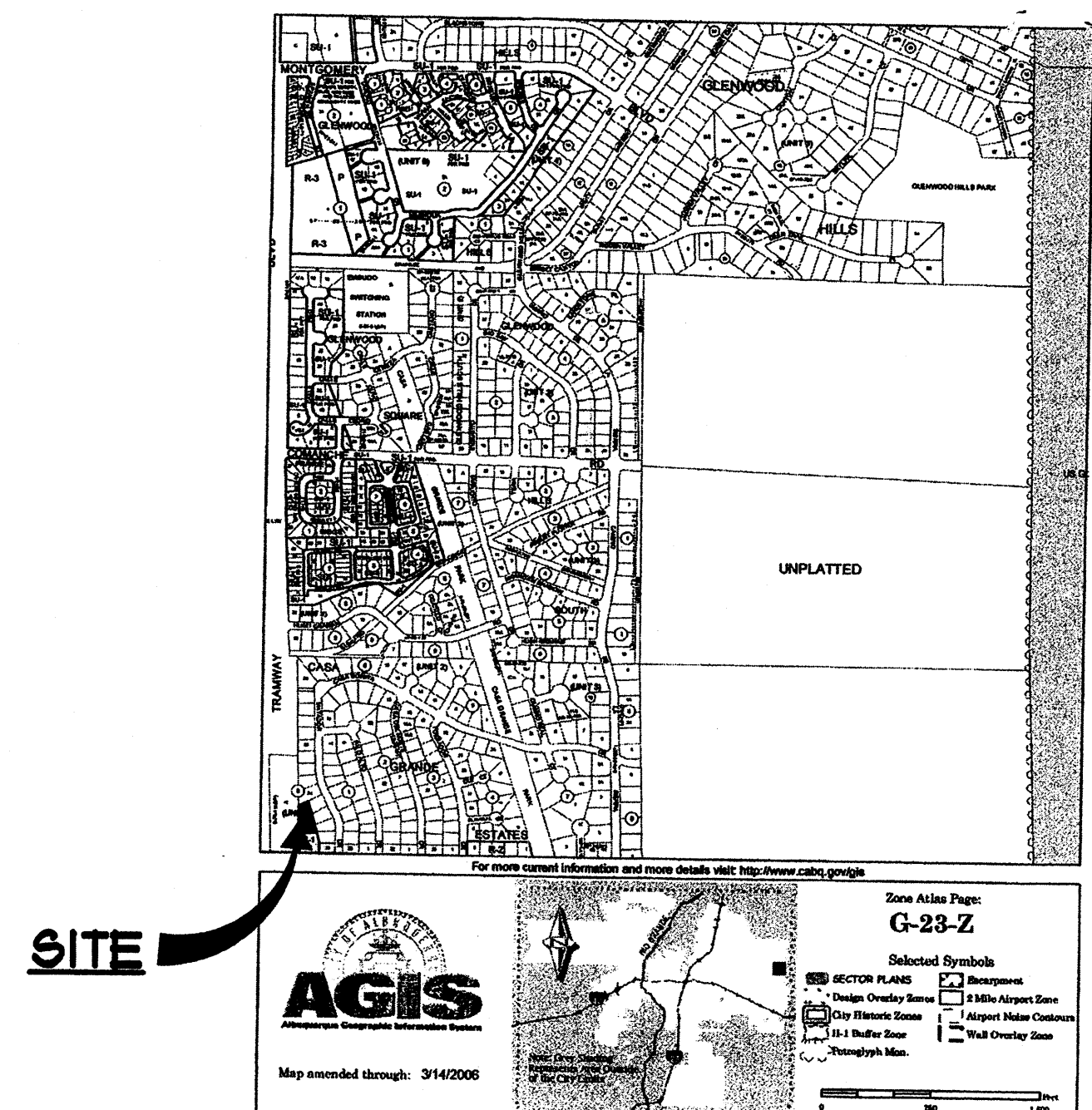
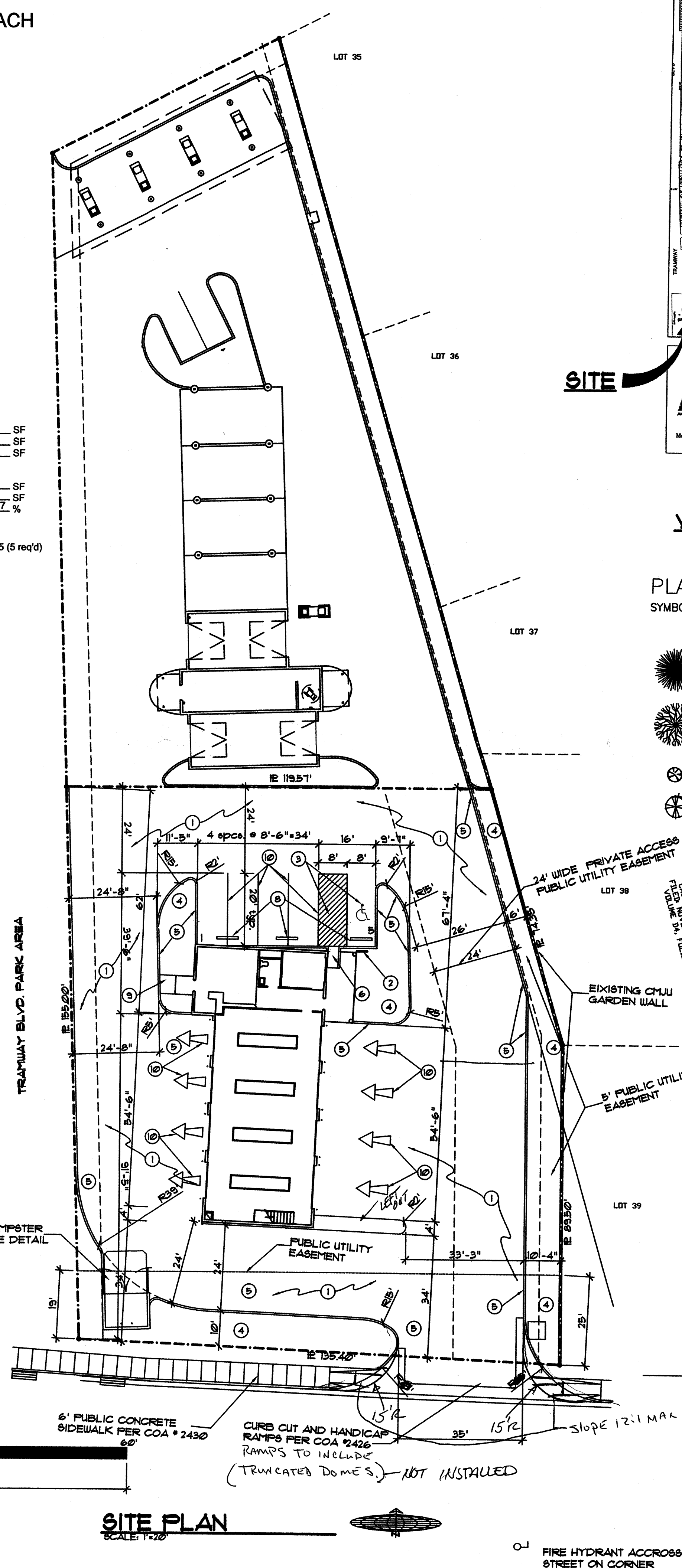
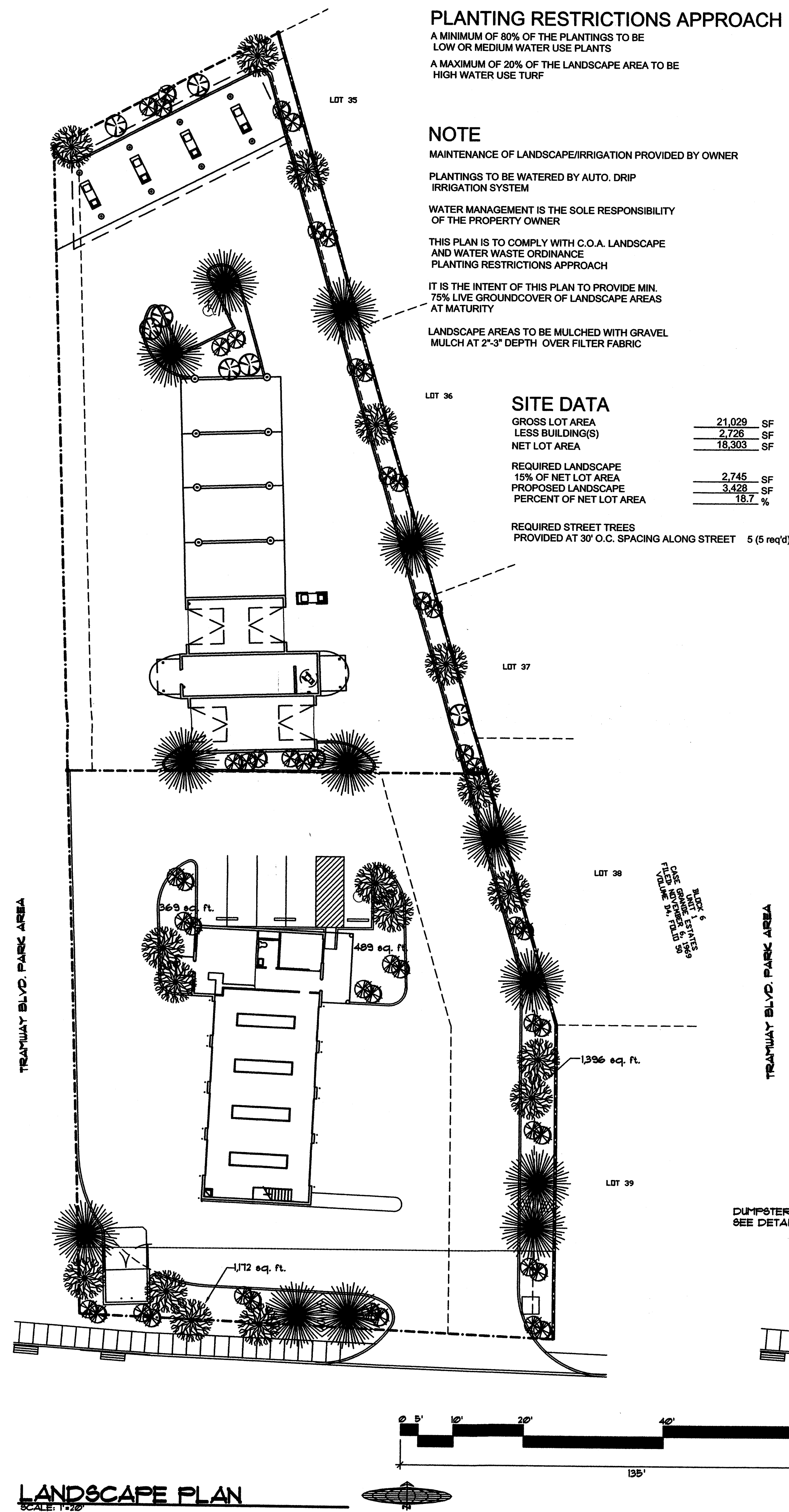
Kwik Lube
Tramway Blvd.
Albuquerque, New Mexico

Date:
Revision / Issue
No.

Sheet Description

Sheet:

RECEIVED
OCT 11 2007
HYDROLOGY SECTION



PLANT LEGEND

SYMBOL	QTY.	BOTANICAL NAME	COMMON NAME	SIZE
6	6	FRAXINUS	RAYWOOD ASH	2" CAL.
5	5	PINUS NIGRA	AUSTRIAN PINE	5'-6" HT.
7	7	VITEX AGNUS-CASTUS	CHASTE TREE	15 GAL.
23	23	PEROVSKIA ATRIPLICIFOLIA	RUSSIAN SAGE	5 GAL.

- Notes Specific to Sheet**
- ASPHALT PAVING. 2" ASPHALT OVER 4" COMPACTED BASE COURSE PER CITY STANDARDS.
 - 12" x 18" BLUE AND WHITE HANDICAP SIGN. (IDENTIFY VAN ACCESSIBLE SPACE WITH ADD-ON SIGN) INSTALL 24" BEHIND EDGE OF SIDEWALK/CURB AND 6" ABOVE SIDEWALK TO BOTTOM OF SIGN. SEE DETAIL SHEET C2.
 - BLUE PAINTED HANDICAP SYMBOL.
 - LANDSCAPE AREA. SQUARE FOOTAGE AS NOTED.
 - 6" STANDUP CONCRETE CURB. SEE DETAIL SHEET C2.
 - HANDICAP RAMP WITH 1/2 MAXIMUM SLOPE.
 - 3" WIDE BLUE STRIPING FOR HANDICAP PARKING.
 - 6" LONG PRE-CAST CONCRETE WHEEL STOP.
 - 5' CONCRETE WALK.
 - 3" WIDE WHITE STRIPING.

TRAFFIC CIRCULATION LAYOUT APPROVED

Signed: *[Signature]* Date: 11/1/06

STATE OF NEW MEXICO
 JAMES N. MEDLEY
 ARCHITECT
 REGISTERED ARCHITECT

JTM MEDLEY, Architect AIA
 NCARB Certificate No. 85,885
 3100 Christine N.E. Albuquerque, NM 87111
 email: jmedley@jtm-medley-architect.com
 Phone (505) 292-3514 Fax (505) 294-5593

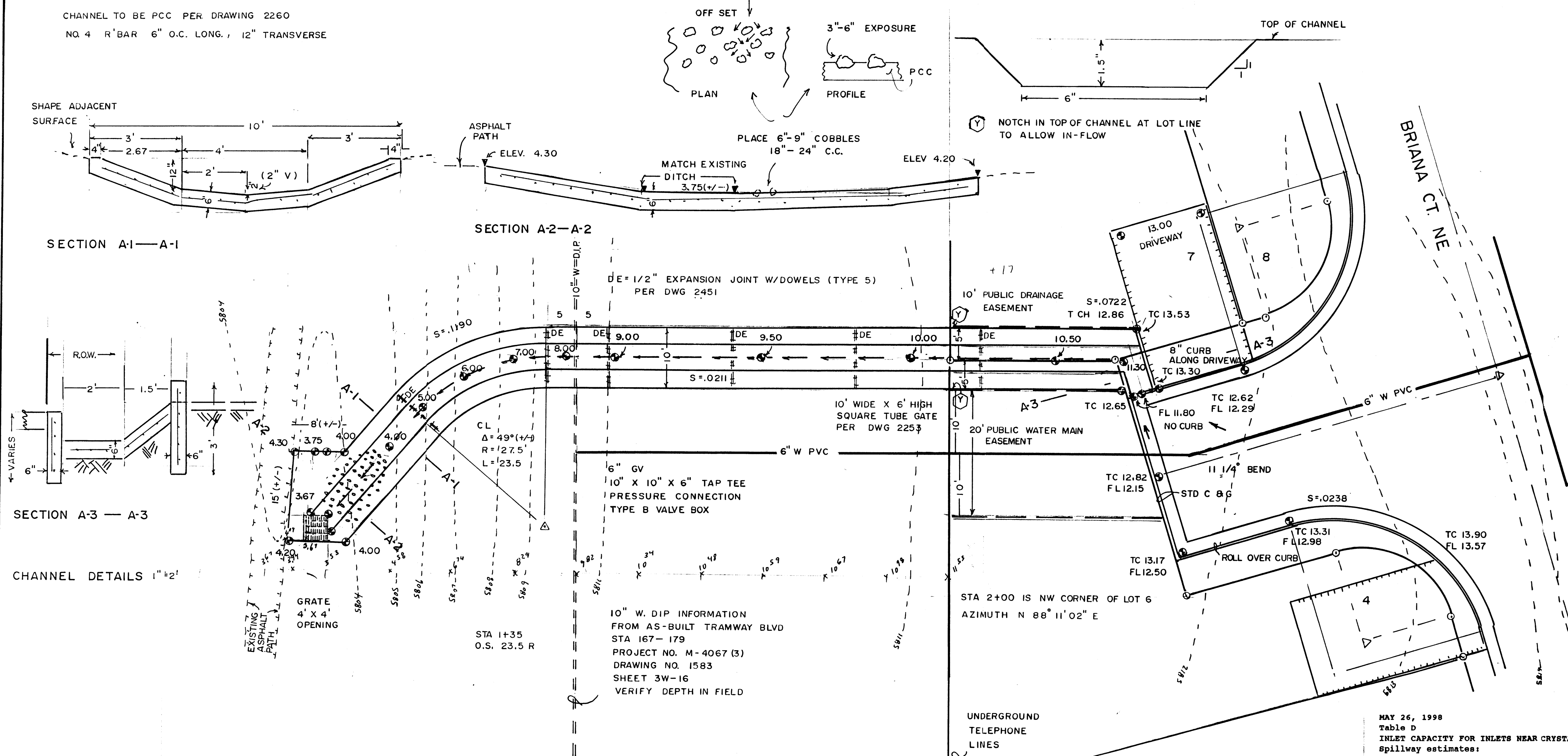
Plan No. 0602/RED/2006
 Date: November 06
 Drawn by: SED
 Checked by: MS

Project: Candelaria Kwik Lube
 Candelaria and Tramway Blvd.
 Albuquerque, New Mexico

Sheet Description
 SITE PLAN
 LANDSCAPE PLAN

Sheet:
 C1.1

CHANNEL TO BE PCC PER DRAWING 2260
NO. 4 R'BAR 6" O.C. LONG., 12" TRANSVERSE



MAY 26, 1998

Table D

INLET CAPACITY FOR INLETS NEAR CRYSTAL BREEZE SUBDIVISION
Spillway estimates:

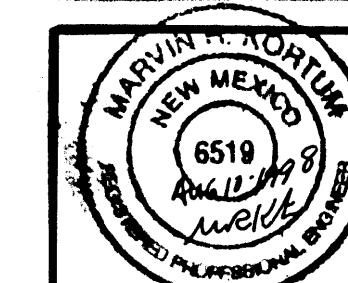
Using the broad crested weir formula from Table 5-9, Handbook of Hydraulics

$H^{3/2} = Q / (2.75 \times L)$, where H (Ft) is the depth of water behind the spillway, and L (Ft) is the width of the spillway.
W is the height of the wing walls on both ends of the spillway

CONSIDER THE EDGE OF THE INLET AS A SHARP EDGED WEIR.

	Peak flow	Width of spillway	Depth of water	Height of wing wall
EAST INLET	Q (CFS)	L (Ft)	H (Ft)	W (ft)
FRONT EDGE	6.52	4	0.44	0
FRONT EDGE + 1/2 OF SIDES	6.52	8	0.27	0
FRONT EDGE + BOTH SIDES	6.52	12	0.21	0
DITCH INLET	Q (CFS)	L (Ft)	H (Ft)	W (ft)
FRONT EDGE	9.69	4	0.57	0
FRONT EDGE + 1/2 OF SIDES	9.69	8	0.36	0
FRONT EDGE + BOTH SIDES	9.69	12	0.27	0
ALL SIDES	9.69	16	0.23	0

Add channel details, storm drain comments MRK August 10, 1998



MARVIN R. KORTUM, P.E.
Civil Engineering
NM PE 6519
1605 Speakman Drive, S.E.
Albuquerque, New Mexico 87123
(505) 299-0774

GRADING AND DRAINAGE PLAN
CRYSTAL BREEZE
CHANNEL

DRB 97-146

G-23/D1 4/11

MATADOR DR NE

LEGAL DESCRIPTION
CRYSTAL BREEZE SUBDIVISION, IN SECTION 2, T10N, R4E, NMDM 81 2000
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

Topography by Marvin R Kortum, September, 1997.

BENCHMARK: ACS 2-G23, located in the north median on Tramway Boulevard at the intersection with Candelaria Road. Elevation: 5799.00.

CASA GRANDE ESTATES
UNIT 1, BLOCK 6

S 00°00'07"E
89.50'

FROM ON-SITE
Q100 = 4.74 CFS

BRIANA CT. NE

FOR DETAILS ON RIGHT-OF-WAY CONSTRUCTION, SEE SEPARATE SHEET

TRAMWAY BLVD NE

SITE

G-23

X. House and garage sizes shown on the drawing are general and are based on the maximum allowable ground print for the first story of the building. Roof or other overhangs are not shown. A minimum of 750 SF of usable open space is required for each lot, and building outlines shown allow for the 750 SF of open space. Building setbacks shown are based on required setbacks for the zoning, except for lots 6 and 9 which show possible 5 feet side yard setbacks. Areas not shown as impervious areas (house, garage, driveway, sidewalks, additional 300 SF for patio, etc.) are considered landscaped. All landscaping must be pervious. If ground covers such as gravel, bark or other material is used and a fabric underlay is used, the fabric must be a pervious material, not a plastic sheeting.

L. Finished Floor elevations (FFE) shown on the drawing are the top surface of the slab, considering slab on grade construction. The finished earthwork elevation should be based on the thickness of the slab to be used (earth pad elevation is FFE less the slab and under slab material thickness). Alternative construction methods may dictate different earth grading. Exterior earth surface elevations adjacent to houses are based on a minimum of 6 inches clear space between the earth top surface and the bottom of the sill plate in the building. The earth surface exterior to the building may be higher if appropriate construction methods are used, such as higher foundation walls, designed retaining walls if over 18 inches high, and waterproofing of the outer surface of the wall.

M. Mountable curb, roll type, drawing 2415.

N. Standard curb and gutter, drawing 2415.

P. Wheel chair ramp, drawing 2441.

a. Valley gutter, drawing 2420.

S. Place drain outlet in wall 6" above the finished surface of the yard.

T. Some back and side yard setbacks are considered drainage easements. Notations are shown on the plat.

U. Retaining walls are required along the east, south and part of the west boundary line of the subdivision, and on intermediate lot lines as noted. Other walls can be garden type walls if the difference in earth surface elevations on either side of the wall is less than 18 inches. Walls are required for rear lot side walls and yard walls along the Tramway Boulevard buffer strip.

V. 4 feet wide sidewalk within the public right-of-way.

W. House and garage may be made ADA accessible by eliminating the 4" step shown on the drawings. Driveways as shown are at a slope of elevations may be above or below the elevations shown by having steps, ramps, or other accessible facilities internal to the house. One reason to change the house elevation is to reduce the quantity of earthwork, thus decreasing the need for exterior retaining walls. If exterior elevations are changed, care must be taken that surface drainage will still occur along the side and rear lot lines. The City of Albuquerque Public Works Department states by letter dated December 16, 1997, Subject, Drainage Plan for Crystal Breeze Subdivision, "that any change in grading will require a revised drainage plan."

EROSION CONTROL

1. Prior to or at the start of grubbing and clearing, the contractor shall construct an erosion prevention barrier around the site, and within the site as necessary. The barrier may consist of a cloth, burlap, metal or plastic mesh which will retain all sediment below 1/8" nominal diameter, but will permit passage of water. The barrier will be anchored to prevent washout or flow under the barrier, and will be supported to prevent the barrier from being overturned. After a runoff incident, the barrier will be checked and repaired as necessary. Any sediment carried off the site will be cleaned up and removed within 24 hours. Sediment will not be flushed into the storm drain systems.

2. Construction traffic and earthwork on the Tramway Boulevard area were the channel is to be constructed and the water main placed will require earthwork to be done in those areas, plus a reasonable distance (30 feet maximum) on either side. When construction is completed, all surfaces will be restored to the present or the specified surface elevation, and disturbed areas reseeded with approved natural vegetation. Reseeded areas will be watered until the vegetation is established. The contractor will submit the seed and plant mix for approval by the City of Albuquerque Parks Department prior to planting. Surface observations of the construction areas do not indicate any existing irrigation systems, but if any parts or systems are disturbed or destroyed they shall be replaced with equivalent parts or systems.

LEGEND

	Existing	Proposed
Spot Elevation	64.25	TC
Top of Curb	FL	FFE
Flow Line Invert	FFE	FFE
Finished Floor Elevation	FFE	FFE
Contour Line	64	64
Property Line	5	5
Lot Number		
Structure		
Curb and Gutter		
Driveway		
ROOF DRAIN		
DRAINAGE BASIN BOUNDARY		
RETAINING WALL		
GARDEN WALL		
SWALE		

NOTES

- Existing standard curb and gutter.
- Existing median.
- Existing garden wall.
- Existing asphalt surface.
- Existing portland cement sidewalk.
- Existing catch basin inlet.
- Existing telephone junction box (to be moved or lowered).
- Existing asphalt surfaced pedestrian and bicycle path.
- Existing storm drain catch basin with an asphalt surfaced trapment.

TRAMWAY BLVD. NE

X. Contractor shall remove elm tree and other trash in the catch basins along the north side of Candelaria Road at the start of construction of Crystal Breeze subdivision.

SEE SHEETS 6, 7, 8, 9, 10, 11, AND 12 OF FOR WORK ORDER DRAWINGS FOR STREET AND UTILITIES WORK WITHIN THE RIGHT-OF-WAY AND PUBLIC EASEMENTS.

Revised from 9 to 7 lots MRK May 30, 2000
Add storm drain, delete channel, Briana Ct MRK Sep 21, 1998
Add channel details, storm drain comments MRK August 10, 1998
Revised entrance, runoff capacity checked MRK May 29, 1998
Preliminary APPROVALS, REVISIONS Marvin R Kortum November 9, 1997



MARVIN R. KORTUM, P.E.
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NM PE 6619
1605 Speakman Drive, S.E.
Albuquerque, New Mexico 87123
(505) 299-0774

GRADING AND DRAINAGE PLAN
CRYSTAL BREEZE SUBDIVISION

WORK ORDER PROJECT NO.

607981

SHEET

3 12

PROJECT NO.

DRB 97-146 G-23/D-1

MAP NO

SHEET OF

G-23 1/11