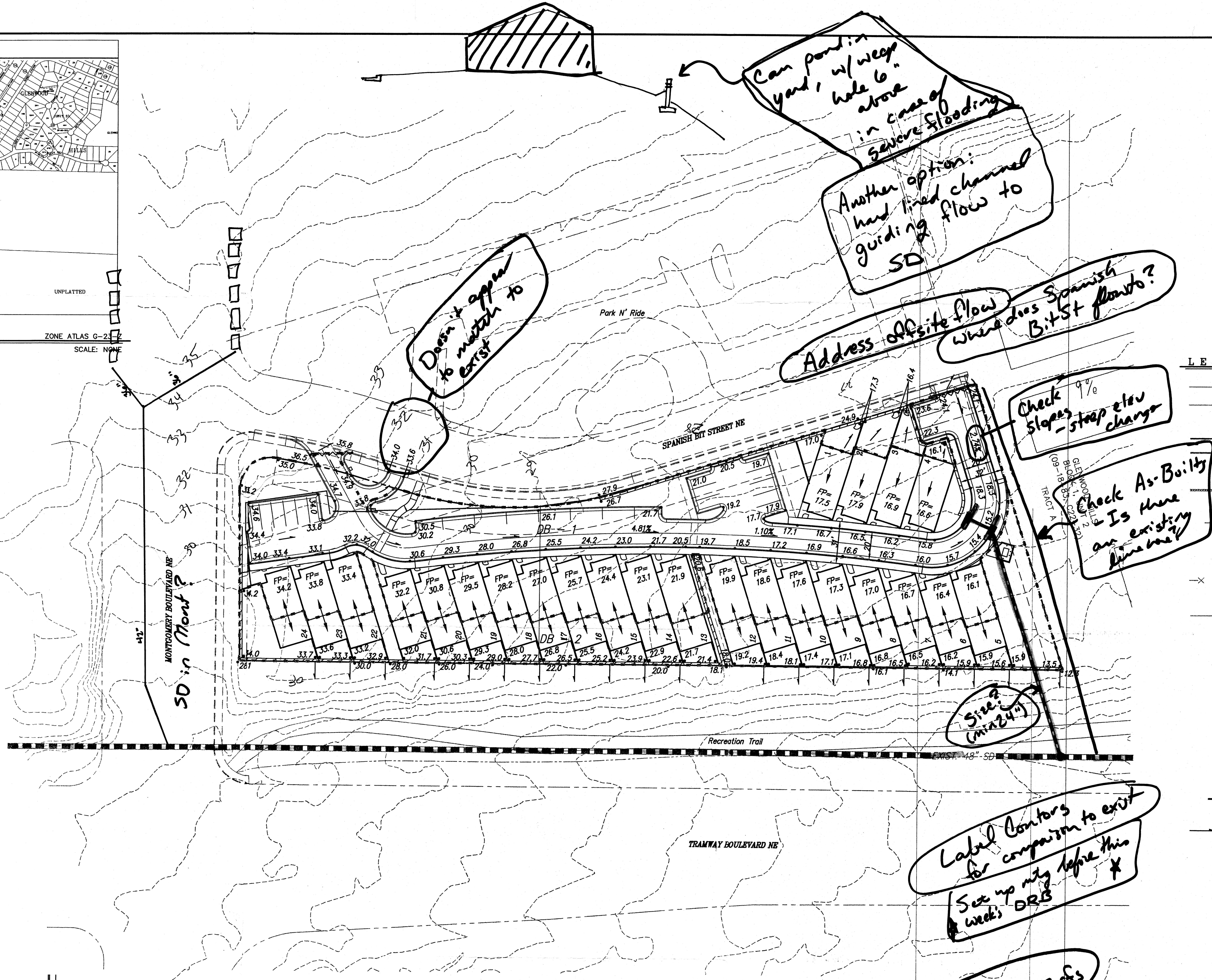


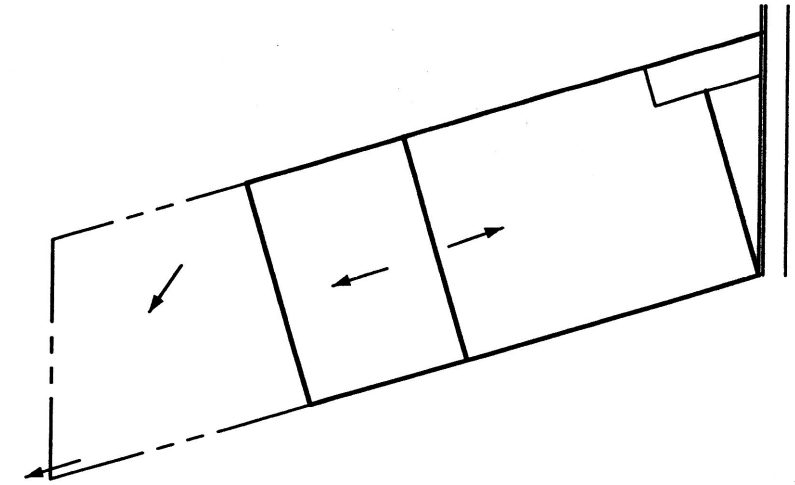


LOCATION MAP
SCALE: 1" = 40'



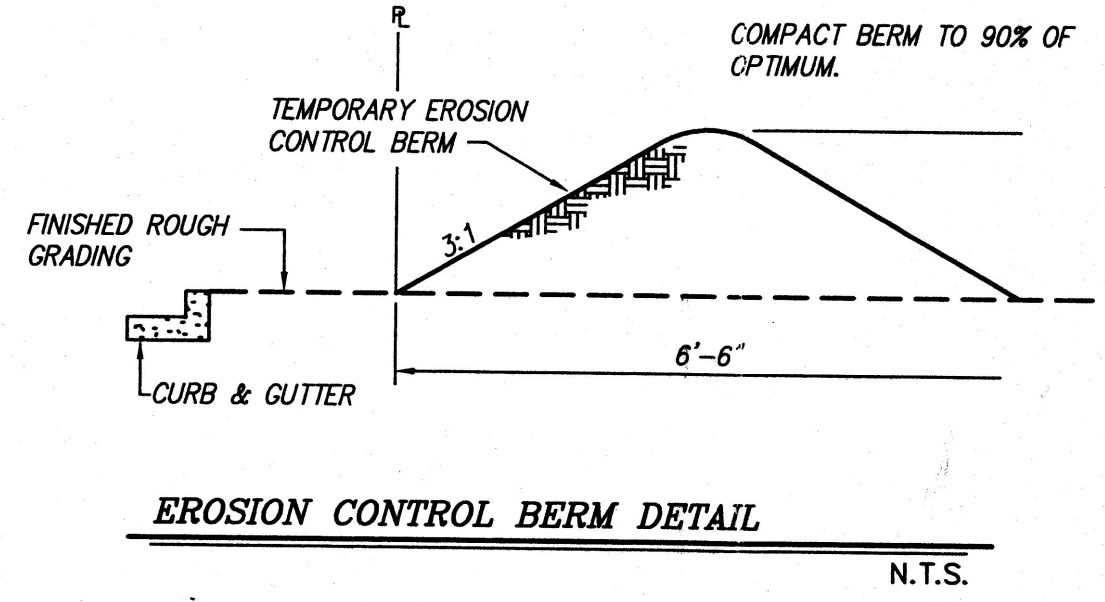
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 - EXISTING CONCRETE CURB
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 - EXISTING WALL OR HEAD WALL
 - EXISTING SIGN
 - EXISTING FENCE
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TYPICAL LOT LAYOUT DETAIL
N.T.S.

- EROSION CONTROL NOTES**
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Can pond in yard, w/ weep hole 6" above in case of severe flooding

Another option: hand lined channel guiding flow to SD

Address off-site flow where does Spanish Bit St flow to?

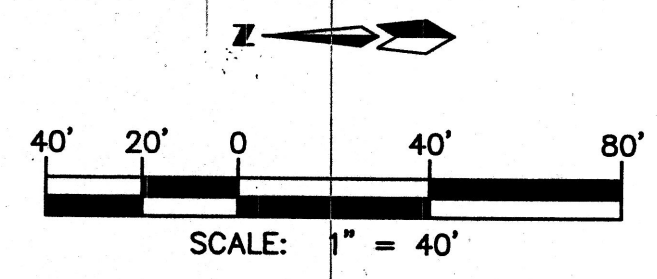
Check slopes - steep elev change

Check As-Built - Is there an existing line work?

Label contours for comparison to exist

See up city before this week's DRB

Flow to inlet: $8.96 - 1.54 = 7.42$ cfs



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(505) 828-2200, FAX (505) 797-9539

**CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT**

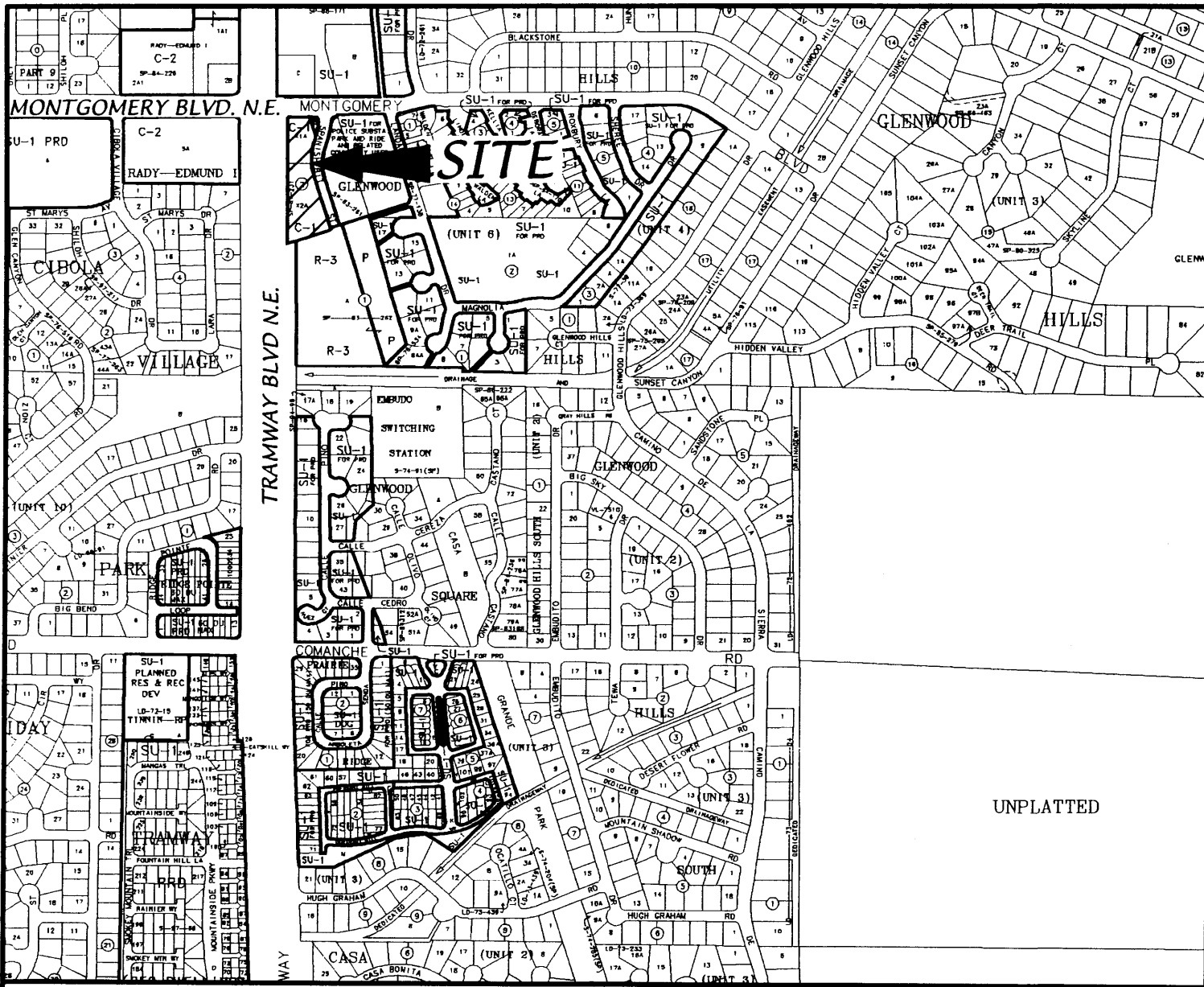
TITLE: **GLENWOOD LOFTS
GRADING & DRAINAGE PLAN**

DESIGN REVIEW COMMITTEE: CITY ENGINEER APPROVAL

LAST DESIGN UPDATE: MO./DAY/YR.

CITY PROJECT NO. ZONE MAP NO. SHEET OF

DESIGNED BY: JSD DATE: 01/05
DRAWN BY: DER DATE: 01/05
CHECKED BY: DMG DATE: 01/05



ZONE ATLAS MAP # G-23-Z

SCALE: 1"=750'

DESCRIPTION

A tract of land situate within Section 2, Township 10 North, Range 4 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico being all of TRACTS X-1-A AND X-2-A, BLOCK 2, UNIT 1, GLENWOOD HILLS as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on July 8, 1987 in Volume C34, Folio 26 and containing (89,494 s.f.) 2.0545 acres more or less.

PROPERTY CORNERS

- SET 5/8" REBAR WITH CAP "LS 7719"
- FOUND PK W/TAG CAP "LS 10042"
- FOUND 5/8" REBAR WITH CAP "LS 3241"
- FOUND 5/8" REBAR WITH CAP "LS 4078"
- FOUND 5/8" REBAR WITH CAP "LS 10042"
- FOUND 5/8" REBAR
- FOUND 5/8" REBAR WITH CAP "LS 9243"

PURPOSE OF PLAT

- SUBDIVIDE 2 TRACTS 24 RESIDENTIAL LOTS.
- GRANT NEW EASEMENTS AS SHOWN

PRELIMINARY PLAT FOR GLENWOOD LOFTS SUBDIVISION

WITHIN THE
SECTION 2
TOWNSHIP 10 NORTH, RANGE 4 EAST, NMPM
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
MAY, 2005

SUBDIVISION DATA

GROSS ACREAGE	2.0545 AC
ZONE ATLAS NO.	G-23-Z
NO. OF LOTS CREATED	24 LOTS
NO. OF TRACTS CREATED	1 TRACT
AREA DEDICATED TO CITY	0.0000 AC
DATE OF SURVEY	January, 2005
ZONING	C-1

NOTES

- UNLESS OTHERWISE NOTED, ALL BOUNDARY CORNERS SHOWN THUS SHALL BE MARKED BY A #5 REBAR W/CAP STAMPED PLS#7719
- ALL STREET CENTERLINE MONUMENTATION SHALL BE INSTALLED AT ALL CENTERLINE PC'S, PT'S, ANGLE POINTS, AND STREET INTERSECTIONS AND SHOWN THUS . WILL BE MARKED BY A FOUR INCH (4") ALUMINUM CAP STAMPED:
"CITY OF ALBUQUERQUE CENTERLINE MONUMENTATION"
"DO NOT DISTURB"
PLS#7719"
- BOUNDARY SHALL BE TIED TO THE NEW MEXICO STATE PLANE COORDINATE SYSTEM AS SHOWN.
- BASIS OF BEARING SHALL BE NEW MEXICO STATE PLANE GRID BEARINGS.
- ALL DISTANCES SHALL BE GROUND DISTANCES.
- MANHOLES WILL BE OFFSET AT ALL POINTS OF CURVATURE, POINTS OF TANGENCY, STREET INTERSECTIONS, AND ALL OTHER ANGLE POINTS TO ALLOW USE OF CENTERLINE MONUMENTATION.
- TRACT A IS FOR PRIVATE ACCESS AND PUBLIC WATER, SANITARY SEWER AND DRAINAGE AND DEEDED TO THE HOMEOWNERS ASSOCIATION AND TO BE MAINTAINED BY SAID OWNERS

LEGEND

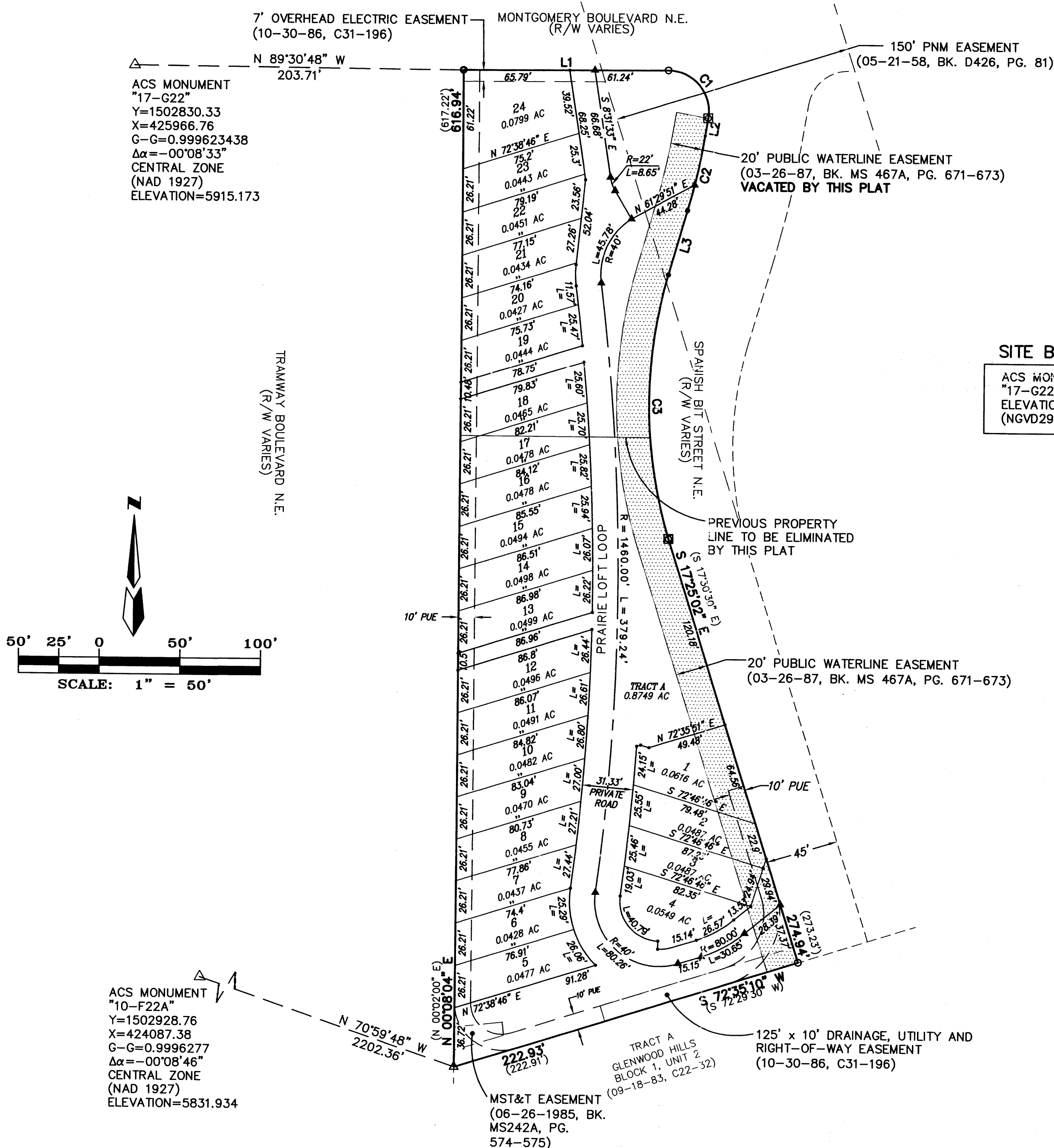
- 1 LOT NUMBER
- CENTER LINE MONUMENT
- ROW RIGHT-OF-WAY

NOTES

- Bearings are New Mexico State Plane Grid Bearings (Central Zone).
- Distances are ground distances.
- Bearings and Distances in Parenthesis are record.
- Basis of boundary are the following plats and documents of record entitled:
"GLENWOOD HILLS, TRACTS X-1-A AND X-2-A",
(07-08-87, C34-26)
records of Bernalillo County, New Mexico.
- Date of Survey: January, 2005.
- Title Report: First American Title Insurance Company
Commitment No. NM04-512638-AL01, LMO
(Effective Date: December 22, 2004.)
- Address of Property: 12600 Montgomery Boulevard NE
- City of Albuquerque, New Mexico Zone: C-1
- Flood Zone Designation: Zone X, as shown on Panel 163 of 825, Flood Insurance Rate Map, City of Albuquerque, Bernalillo County, New Mexico, dated September 20, 1996. (This Property does not lie within the 100 Year Flood Plain.)

NUMBER	DIRECTION	DISTANCE
L1	N 89°44'38" E (N 89°39'10" E)	127.03'
L2	S 09°44'38" W (S 09°39'10" W)	11.19'
L3	S 16°28'59" W (S 16°23'31" W)	40.82'

NUMBER	DELTA ANGLE	CHORD DIRECTION	TANGENT	RADIUS	ARC LENGTH	CHORD LENGTH
C1	100°00'00"	S 40°15'22" E	29.79'	25.00'	43.63'	38.30'
C2	06°44'22"	S 13°06'48" W	23.55'	400.00'	47.05'	47.02'
C3	33°54'01"	S 00°28'02" E	85.34'	280.00'	165.67'	163.26'



SITE BENCHMARK

ACS MONUMENT
"17-C22"
ELEVATION=5915.173
(NGVD29)

APPROVED FOR MONUMENTATION AND STREET NAMES

City Surveyor, City of Albuquerque, N.M. _____ Date _____

Owner: Center Street Properties, LLC

Kenny Hinkes _____ DATE _____
Managing Member

OWNERS

Center Street Properties, LLC
8300 Carmel NE, Suite 201
Albuquerque, NM 87122
(505) 798-1000

ENGINEERS

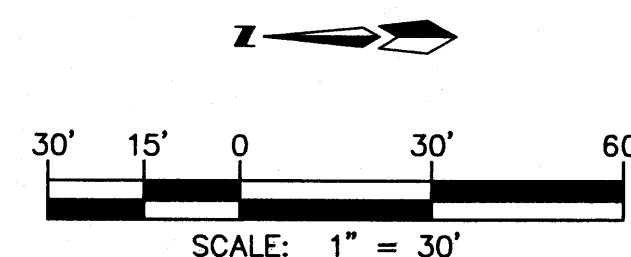
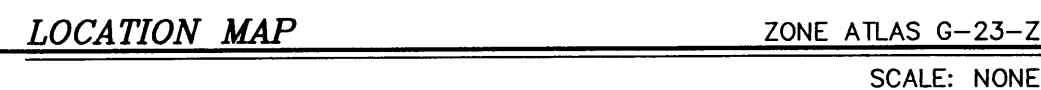
D. MARK GOODWIN & ASSOCIATES, P.A.
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(505) 828-2200

SURVEYOR

ALDRICH LAND SURVEY
P.O. BOX 30701
ALBUQUERQUE, N.M. 87190-0701
(505) 884-1990

ALDRICH LAND
SURVEYING

P.O. BOX 30701, ALBQ., N.M. 87190
505-884-1990



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| | 5105 | EXISTING CONTOUR (MAJOR) |
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| | • P.P. | EXISTING POWER POLE |
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CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT

TITLE:

**GLENWOOD LOFTS
GRADING & DRAINAGE PLAN**

DESIGN REVIEW COMMITTEE

CITY ENGINEER APPROVAL

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1. *Journal of the American Medical Association*, 2000; 284: 1361-1366.

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1. *Journal of the American Medical Association*, 2000; 283: 2689-2694.

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1. *Journal of the American Medical Association*, 2000; 283: 2686-2692.

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CITY PROJECT NO.

	ZONE
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MAP NO.	SHEET	OF
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1. *Journal of the American Medical Association*, 273: 2221-2226, 1995.

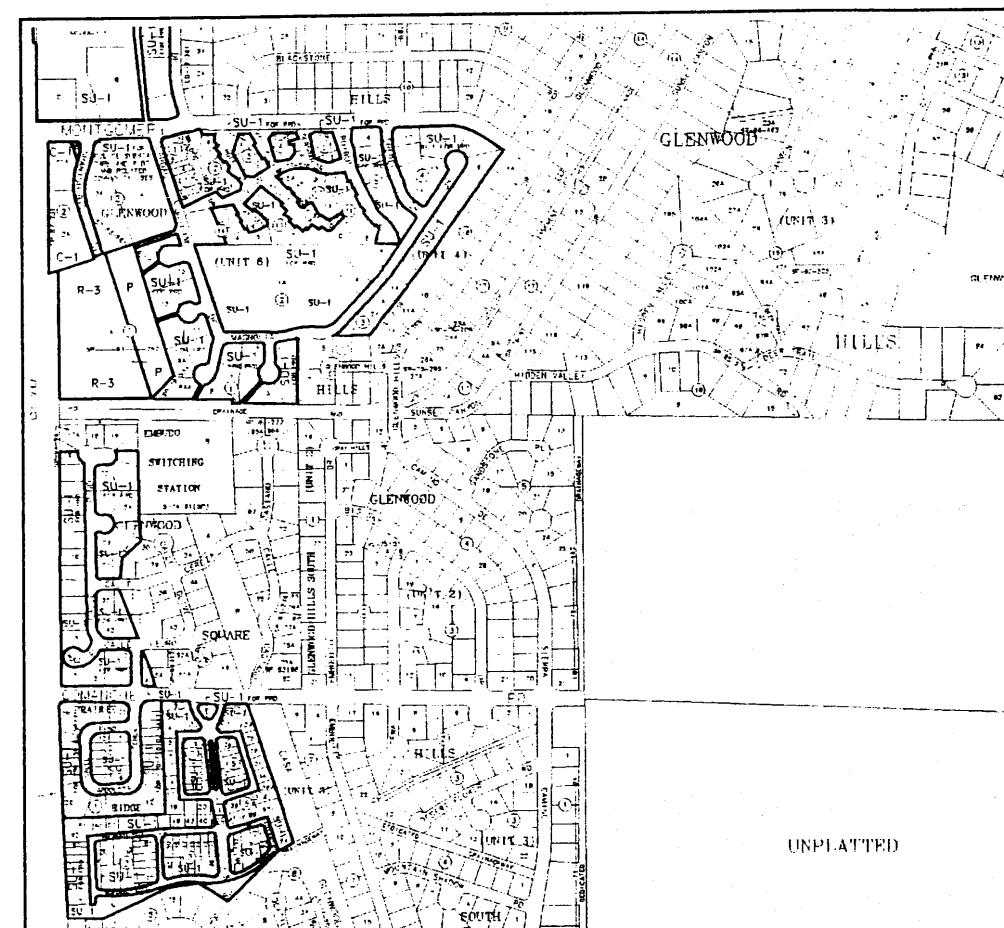
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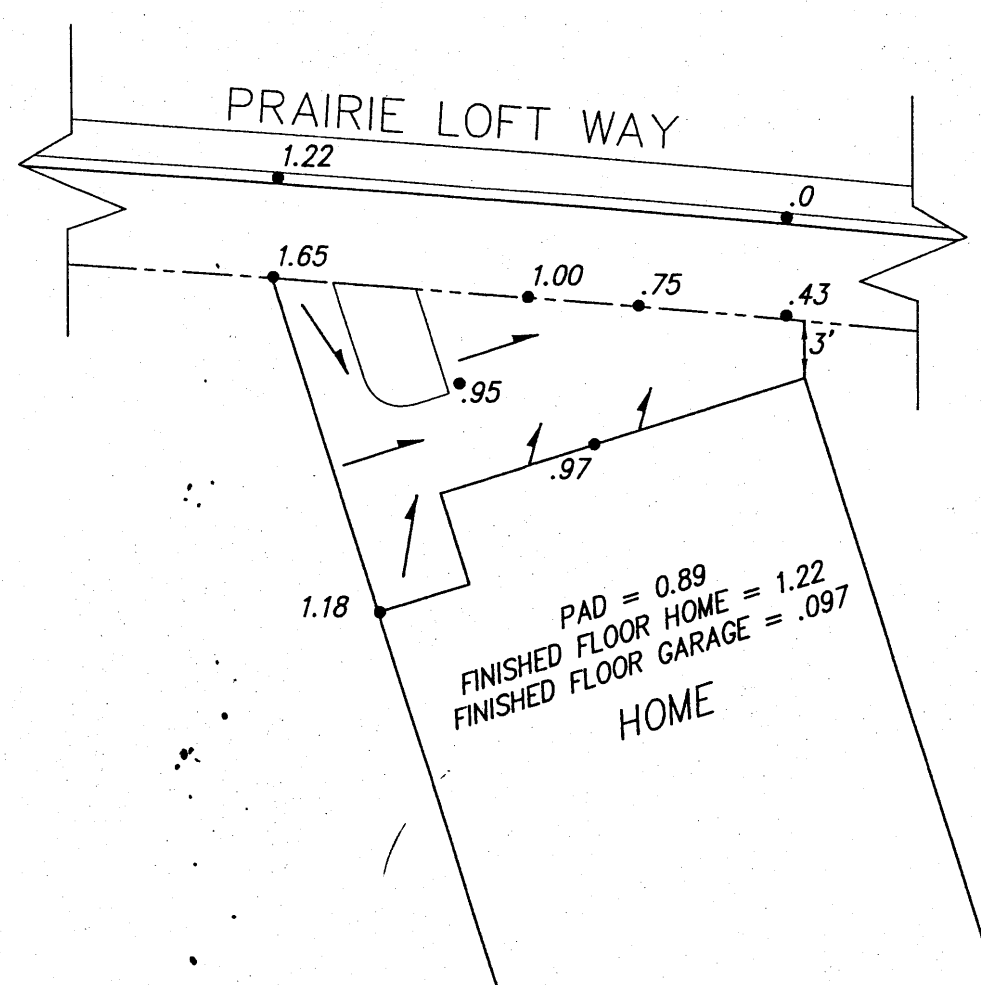
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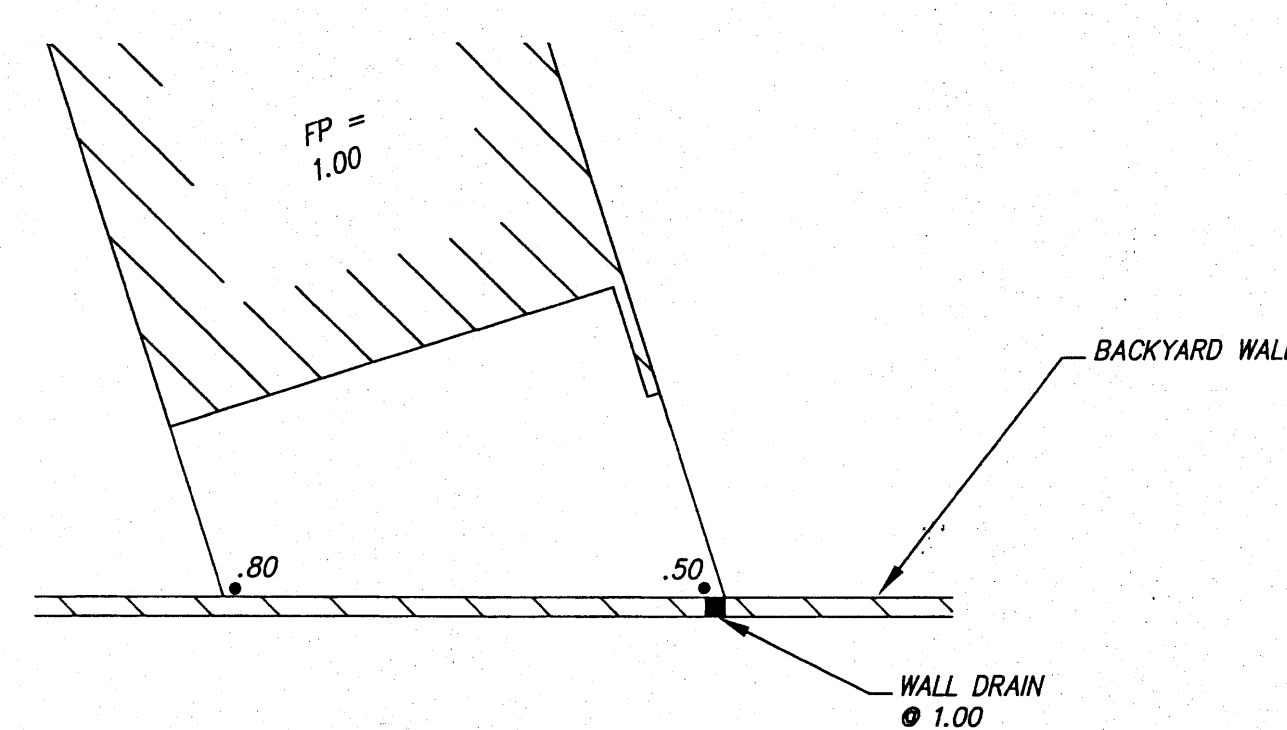
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MAY 25 2005
HYDROLOGY SECTION



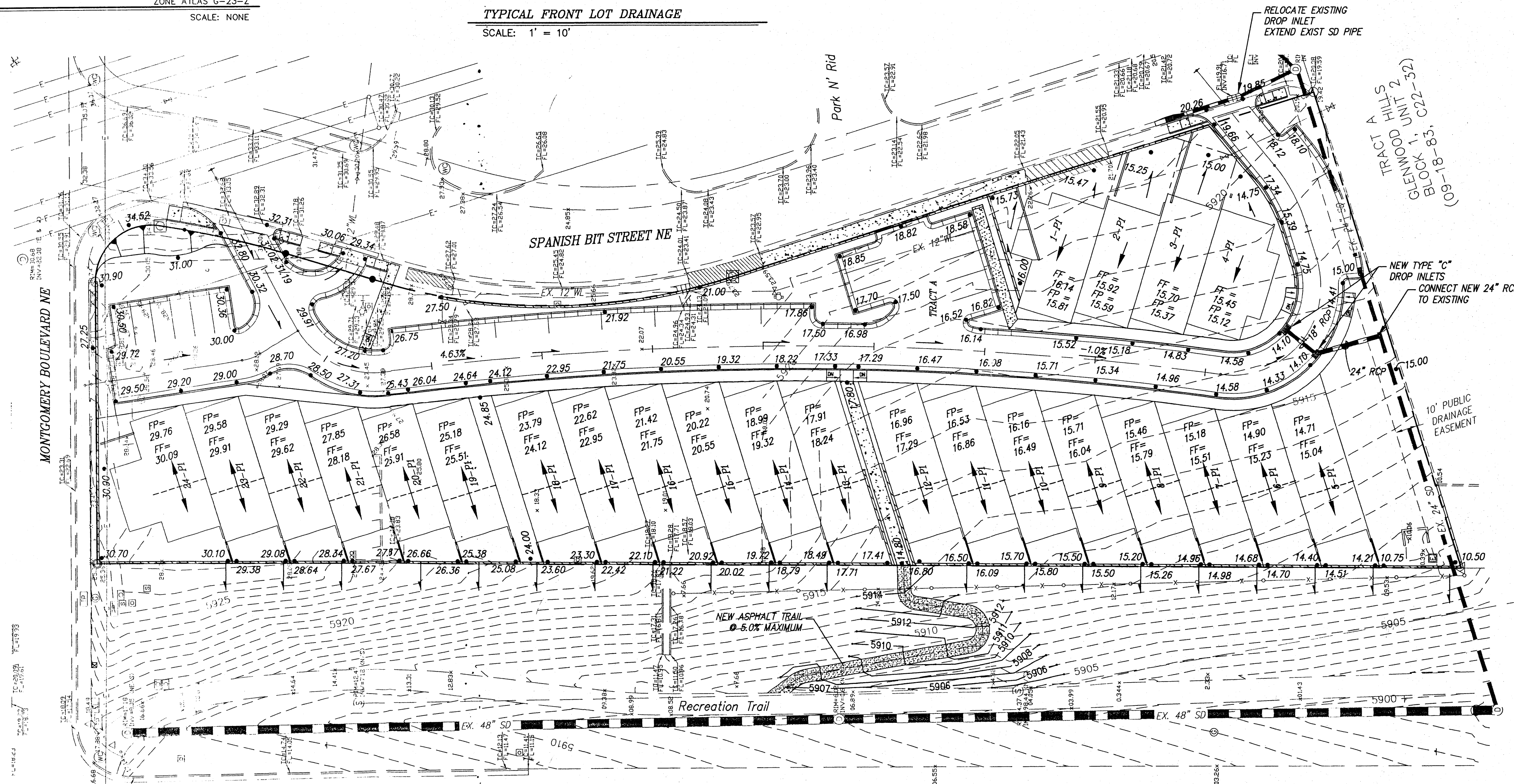
LOCATION MAP
ZONE ATLAS G-23-Z
SCALE: NONE



TYPICAL FRONT LOT DRAINAGE
SCALE: 1" = 10'



BACKYARD PONDS W/ REAR WALL DRAINS
NOTE: FOR HOMES ALONG TRAMWAY BLVD. 1" = 10'



LEGEND

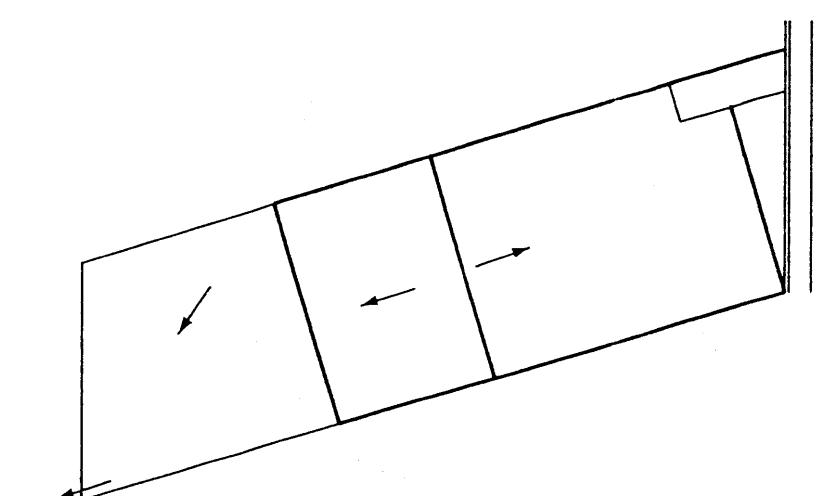
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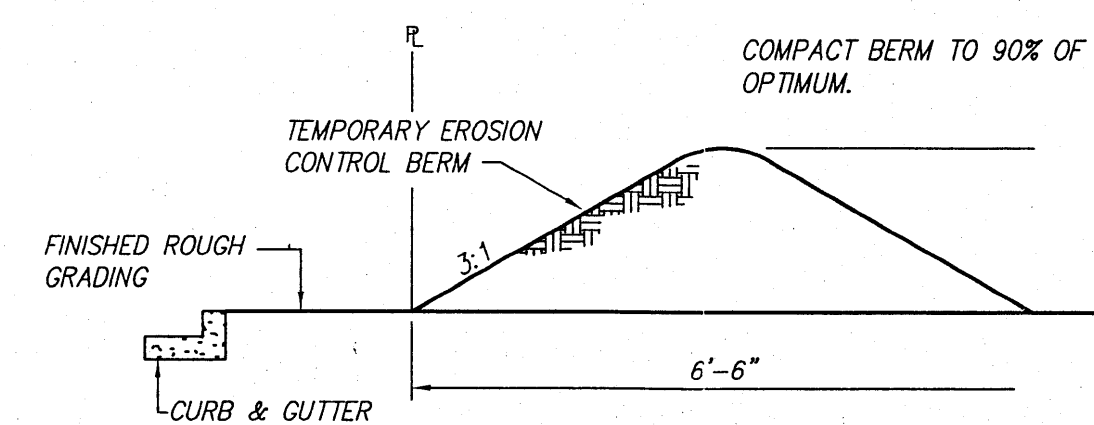
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LAST DESIGN UPDATE			
CITY PROJECT NO.	ZONE MAP NO.	SHEET	OF
	G-23-Z	3	6



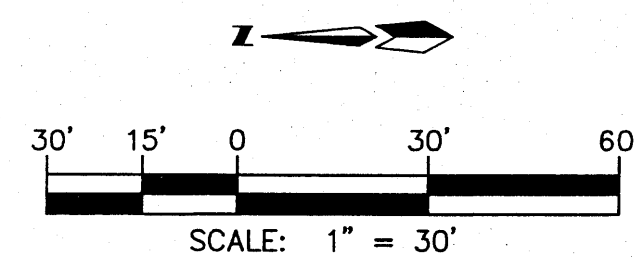
TYPICAL LOT LAYOUT DETAIL
N.T.S.

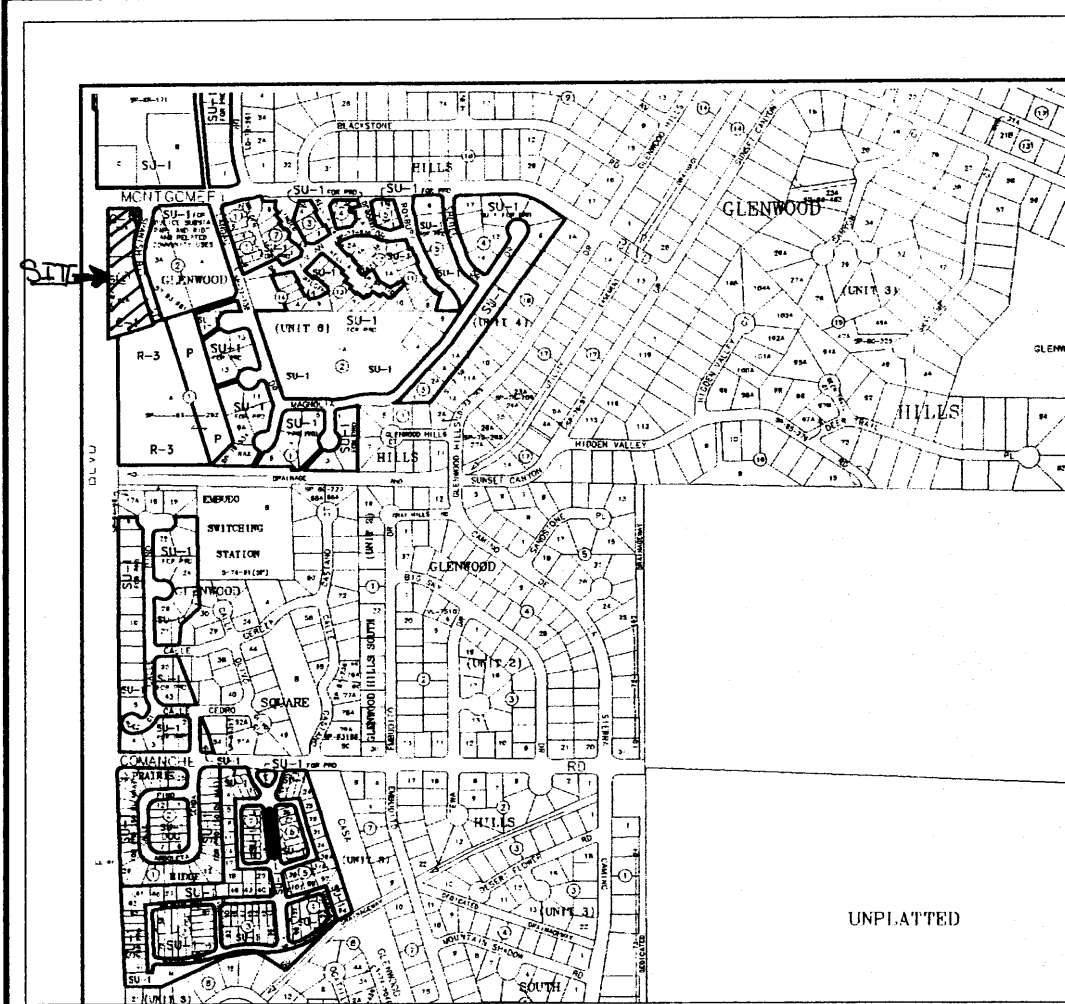
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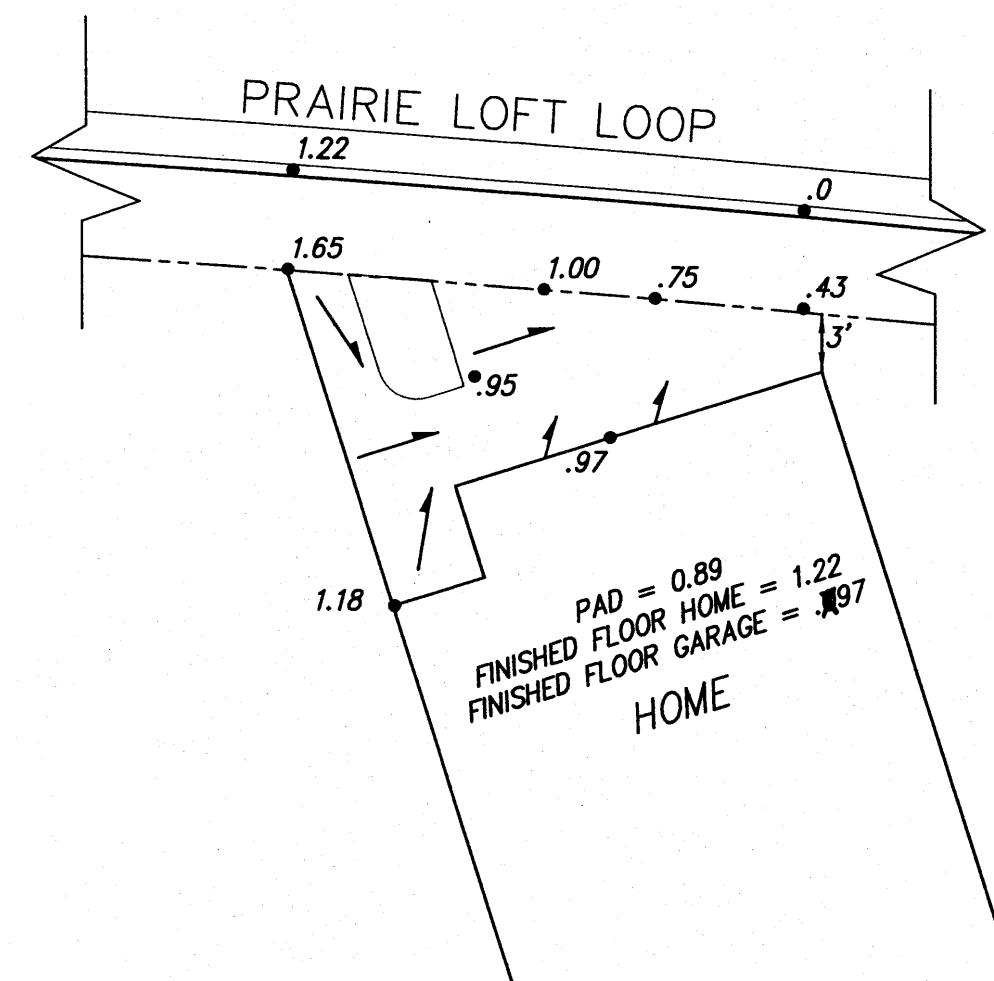


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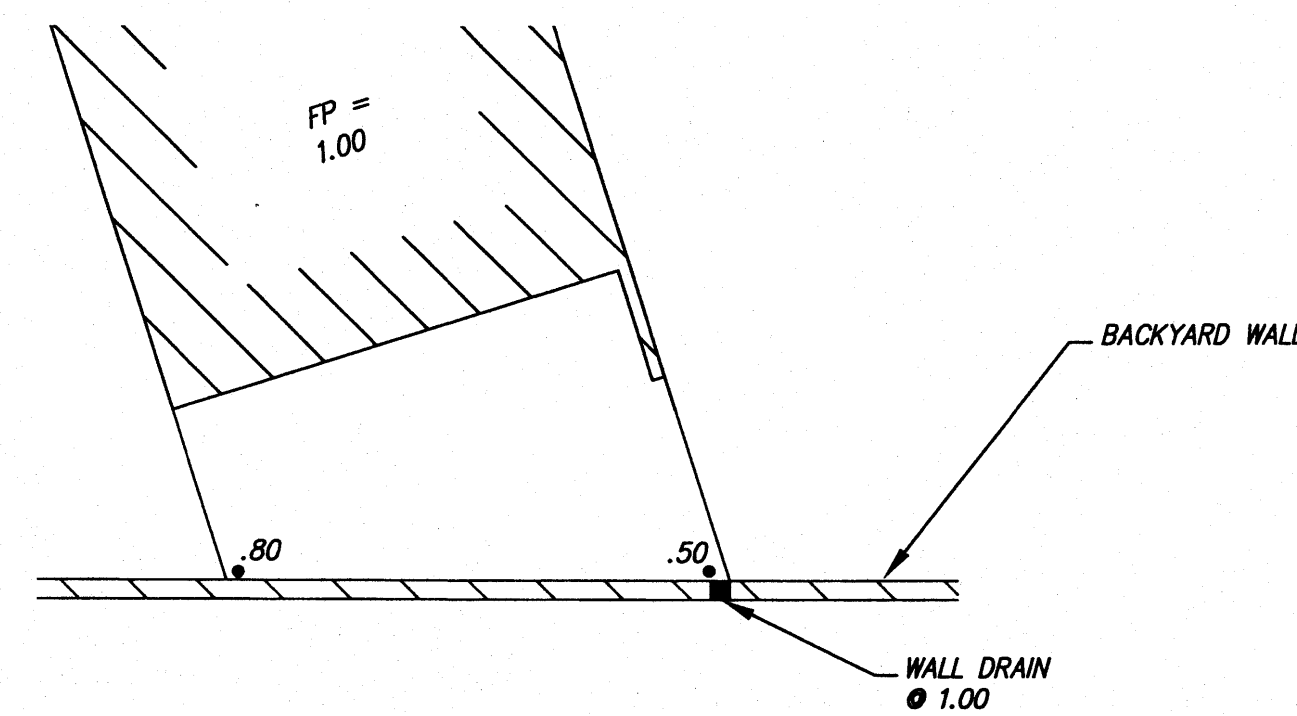




LOCATION MAP
ZONE ATLAS G-23-Z
SCALE: NONE



TYPICAL FRONT LOT DRAINAGE
1" = 10'



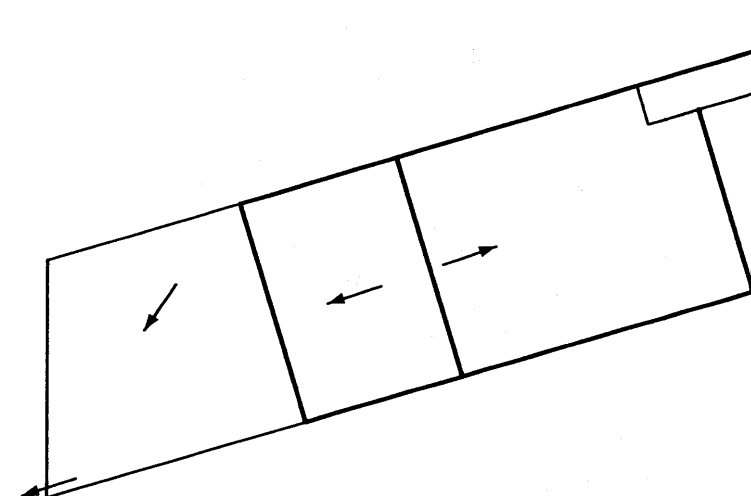
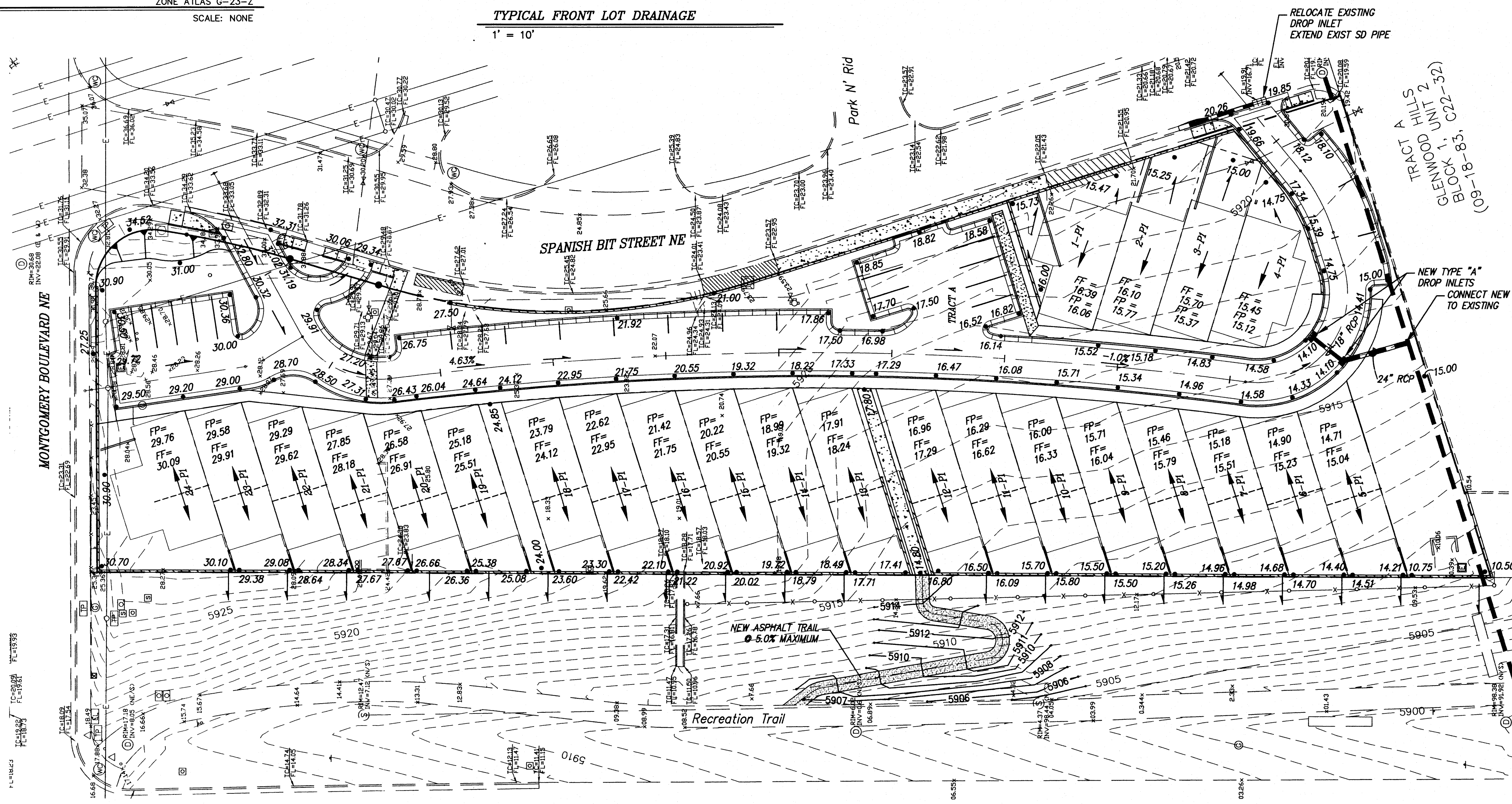
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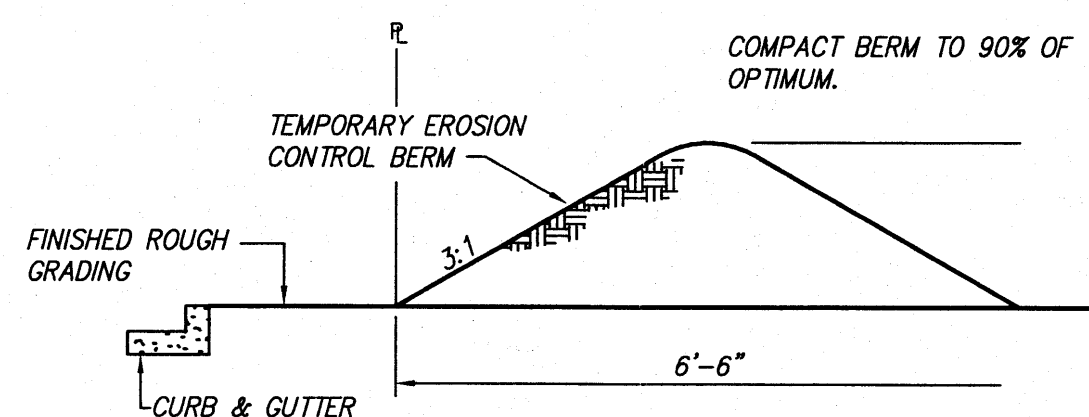
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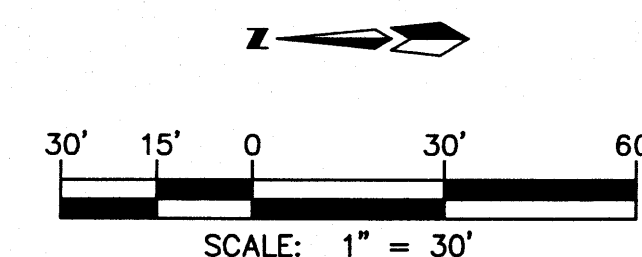
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EROSION CONTROL BERM DETAIL
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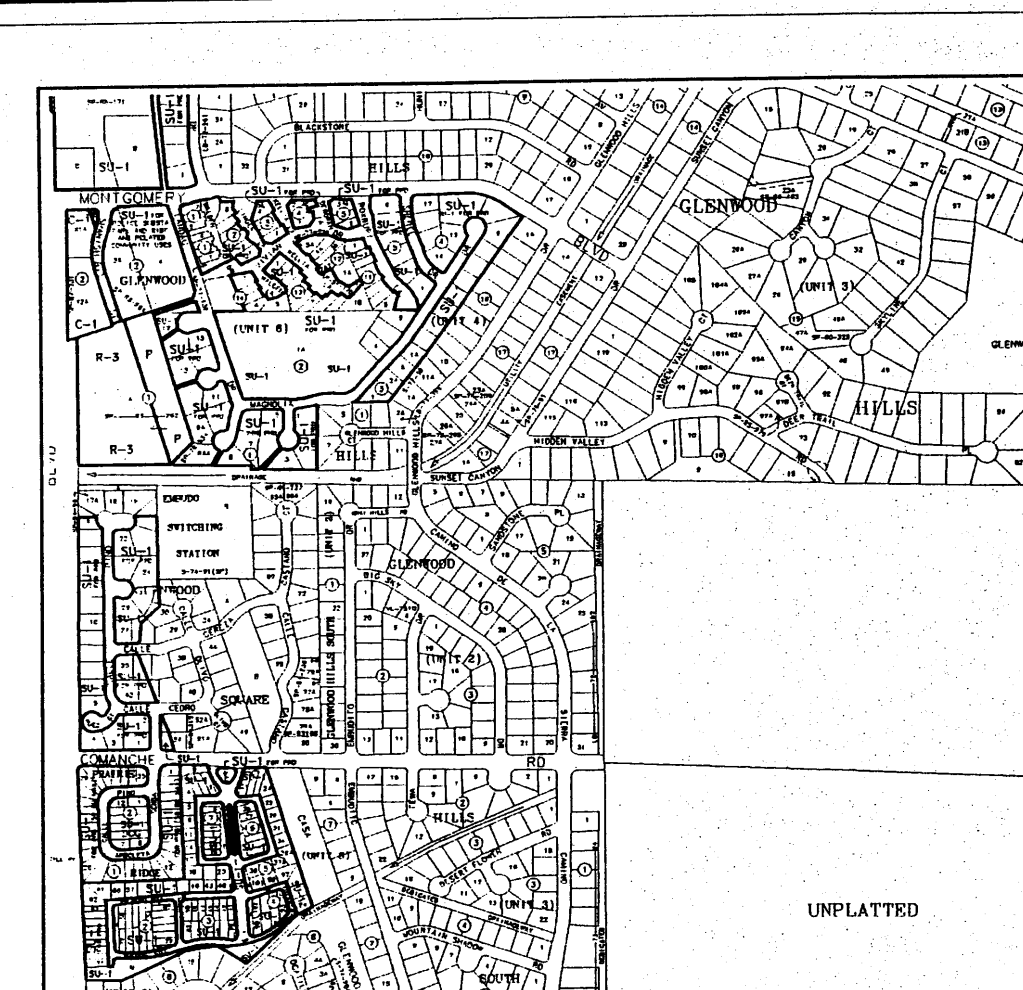
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CHECKED BY DMG DATE 07/05

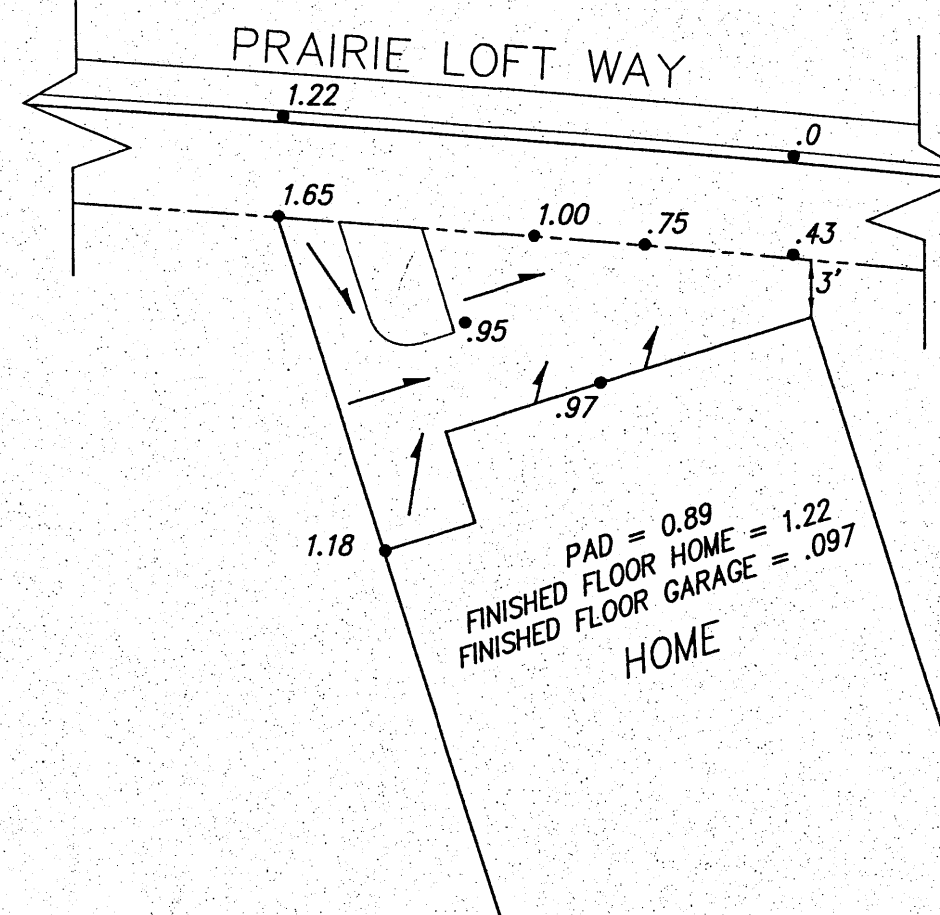
DESIGN REVIEW COMMITTEE CITY ENGINEER APPROVAL

CITY PROJECT NO. ZONE MAP NO. SHEET OF
G-23-Z 1 1

A04jobs\A4091\lofts\A4091 GD.dwg 08-19-05 TAS



LOCATION MAP
ZONE ATLAS G-23-Z
SCALE: NONE

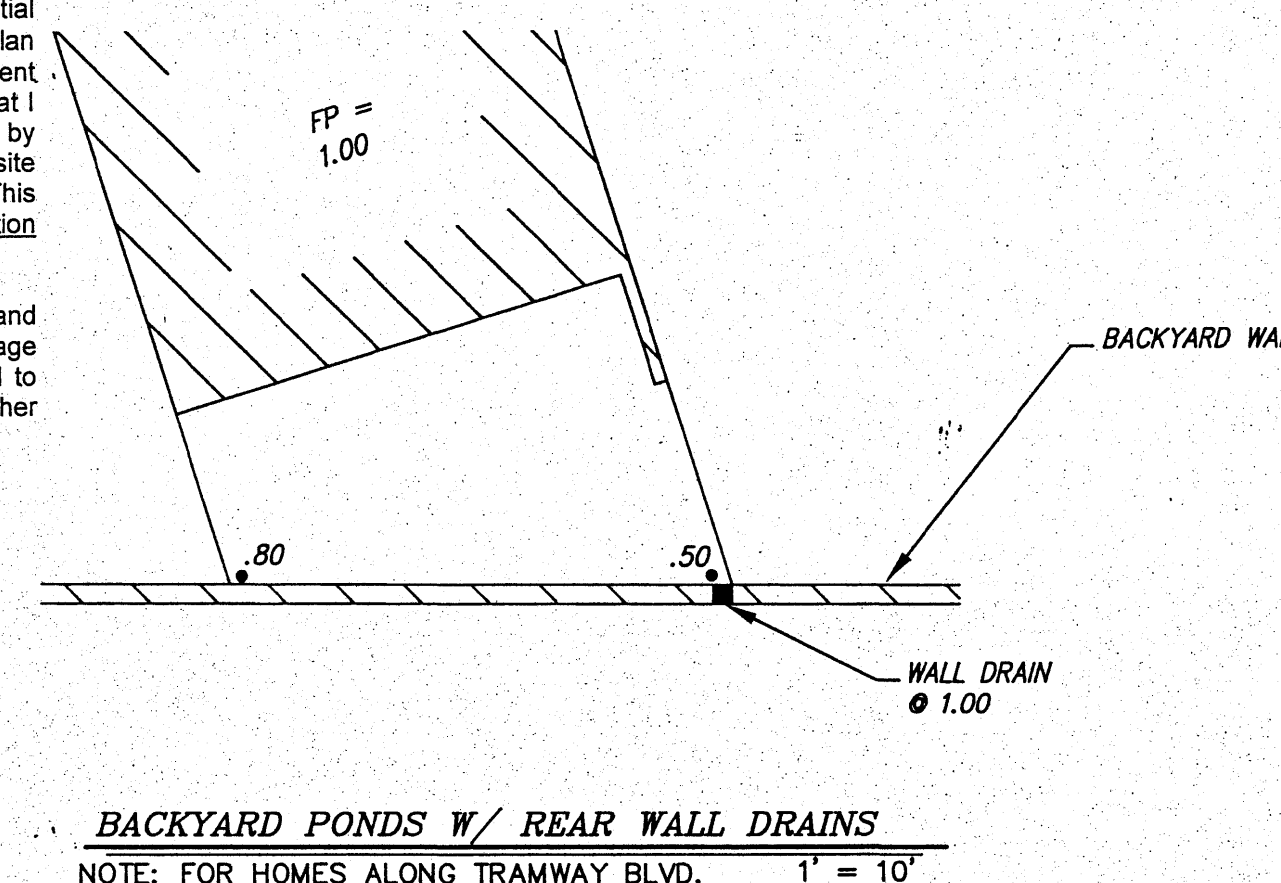
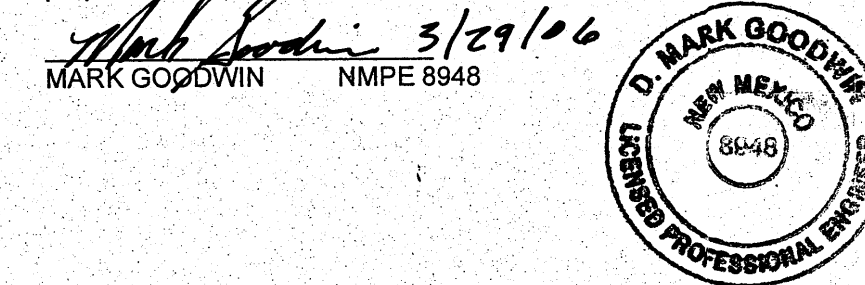


TYPICAL FRONT LOT DRAINAGE
SCALE: 1" = 10'

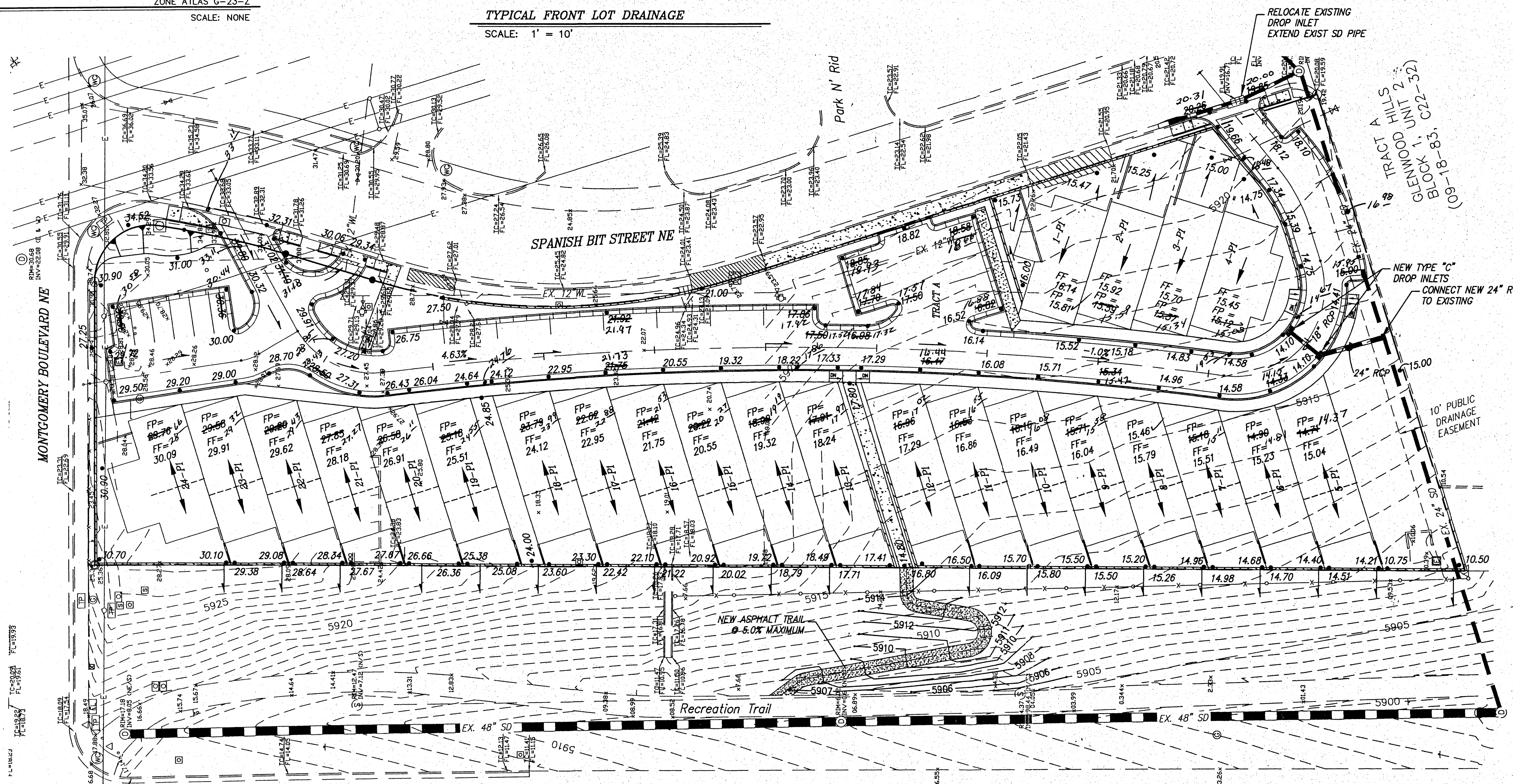
DRAINAGE CERTIFICATION

I, Mark Goodwin, NMPE 8948, of the firm Mark Goodwin & Associates, P.A., hereby certify that this project has been graded and will drain in substantial compliance with and in accordance with the design intent of the approved plan dated 9/20/05. The record information edited onto the original design document has been obtained by Joe Orloski, of the firm Surv-Tek. I further certify that I have personally visited the project site on 9/21/05, and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for Grading Certification approval.

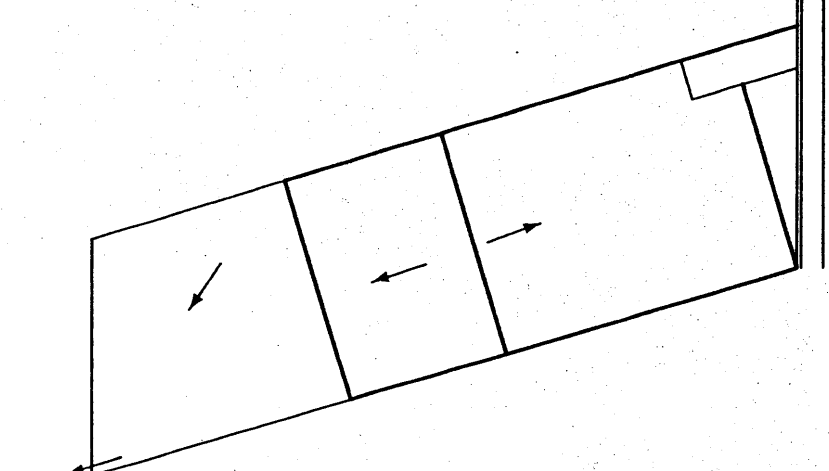
The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the grading and drainage aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.



BACKYARD PONDS W/ REAR WALL DRAINS
NOTE: FOR HOMES ALONG TRAMWAY BLVD.
1" = 10'

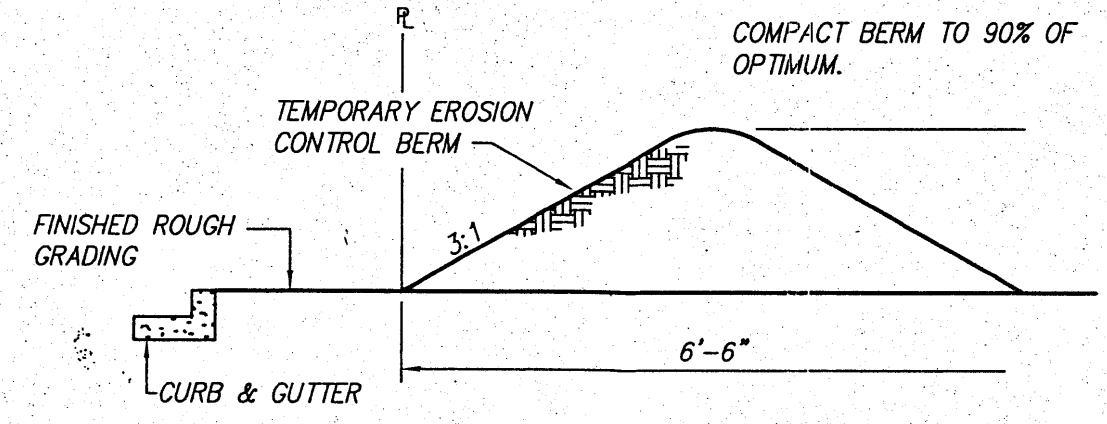


- LEGEND
- 5105 EXISTING CONTOUR (MAJOR)
 - 5104 EXISTING CONTOUR (MINOR)
 - x 00.00 EXISTING SPOT ELEVATION
 - EXISTING ASPHALT CURB
 - EXISTING CONCRETE CURB
 - EXISTING UNDERGROUND GAS MARKER
 - EXISTING WALL OR HEAD WALL
 - EXISTING SIGN
 - EXISTING FENCE
 - EXISTING SANITARY SEWER MANHOLE
 - EXISTING CLEANOUT
 - EXISTING WATER VALVE
 - EXISTING FIRE HYDRANT
 - EXISTING OVERHEAD UTILITY LINES
 - EXISTING POWER POLE
 - EXISTING GUYWIRE
 - EXISTING LIGHT POLE
 - EXISTING TELEPHONE PEDESTAL
 - EXISTING UNDERGROUND GAS MARKER
 - EXISTING GAS VALVE/METER
 - EXISTING STORM SEWER MANHOLE
 - EXISTING DROP INLET
 - DRAINAGE BASIN BOUNDARY
 - NEW CONCRETE HEADER CURB
 - EXISTING CHAINLINK FENCE
 - PROPOSED FIELD SWALE OR FLOWLINE
 - EXISTING SIDEWALK CULVERT
 - FF= 00.88 FINISH FLOOR ELEVATION
 - .02.02 NEW SPOT ELEVATION
 - 16.9 FLOWLINE ELEVATION
 - FLOW DIRECTION
 - ROOF DRAIN
 - P.U.E.

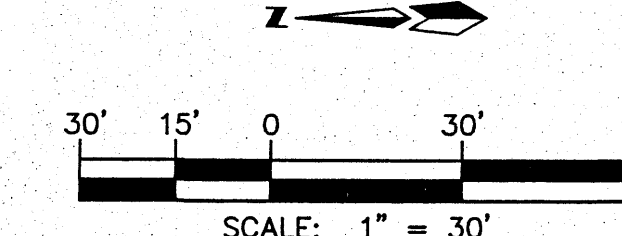


TYPICAL LOT LAYOUT DETAIL
N.T.S.

- EROSION CONTROL NOTES
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
 - CONTRACTOR IS RESPONSIBLE FOR KEEPING ALL SEDIMENT OUT OF EXISTING RIGHT-OF-WAY.
 - CONTRACTOR IS RESPONSIBLE FOR CLEANING UP ANY SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
 - EROSION CONTROL BERMS ARE REQUIRED AROUND THE ENTIRE SITE.
 - ALL EROSION CONTROL BERMS MUST BE IN PLACE AND ENGINEER CERTIFIED PRIOR TO BUILDING PERMIT RELEASE.



EROSION CONTROL BERM DETAIL
N.T.S.



- NOTES
- CONTRACTOR MUST OBTAIN A TOPSOIL DISTURBANCE PERMIT FROM THE ENVIRONMENTAL HEALTH DIVISION PRIOR TO CONSTRUCTION.
 - CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, LATEST EDITION SHALL GOVERN ALL WORK.
 - THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE AND FEDERAL DUST CONTROL MEASURES AND REQUIREMENTS AND WILL BE RESPONSIBLE FOR PREPARING AND OBTAINING ALL NECESSARY APPLICATIONS AND APPROVALS.
 - THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE LOTS INTO PUBLIC RIGHT-OF-WAY. THIS CAN BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS AND WETTING THE SOIL TO KEEP IT FROM BLOWING.
 - THE EARTHWORK CONTRACTOR SHALL STOCKPILE ENOUGH MATERIAL ADJACENT TO RETAINING WALL LOCATIONS TO BE UTILIZED FOR WALL BACKFILL.
 - WALL DRAINS FOR HOMES ALONG TRAMWAY BLVD. SHOULD BE PLACED 6" ABOVE LOW POINT IN BACKYARDS.

AS BUILT INFORMATION

CONTRACTOR	DATE

BENCH MARKS

CONTRACTOR	DATE

SURVEY INFORMATION

NO.	BY	DATE

ENGINEER'S SEAL

9-14-05

REVISIONS

NO.	DATE	REMARKS

DESIGNED BY: JSD DATE: 07/05

DRAWN BY: TMS DATE: 07/05

CHECKED BY: DMG DATE: 07/05

MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505) 828-2200, FAX (505) 797-9539

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT

TITLE: GLENWOOD LOFTS
GRADING & DRAINAGE PLAN

DESIGN REVIEW COMMITTEE APPROVED SEP 23 2005

CITY ENGINEER APPROVED OCT 20 2005

MO./DAY/YR. MO./DAY/YR.

LAST DESIGN UPDATE

CITY PROJECT NO. ZONE MAP NO. SHEET OF

G-23-Z 3 6