

CITY OF ALBUQUERQUE

Planning Department
Brennon Williams, Director



Mayor Timothy M. Keller

November 13, 2019

David Soule, P.E.
Rio Grande Engineering
P.O. Box 93924
Albuquerque, NM 87199

**RE: 4417 Hidden Valley Court NE
Revised Grading and Drainage Plan
Engineer's Stamp Date: 11/129/19
Engineer's Certification Date: 11/12/19
Hydrology File: G23D014**

Dear Mr. Soule:

PO Box 1293

Albuquerque

NM 87103

Based upon the information provided in your submittal received 11/13/19, the Revised Grading and Drainage Plan are approved for Building Permit and Building Pad Certification for 4417 Hidden Valley Court NE. Please attach a copy of this approved plan in the construction sets for Building Permit processing along with a copy of this letter.

Prior to approval in support of Permanent Release of Occupancy by Hydrology, Engineer Certification per the DPM checklist will be required.

If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gov.

www.cabq.gov

Sincerely,

Renée C. Brissette, P.E. CFM
Senior Engineer, Hydrology
Planning Department



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: 4417 HIDDEN VALLEY **Building Permit #:** _____ **Hydrology File #:** _____

DRB#: _____ **EPC#:** _____ **Work Order#:** _____

Legal Description: lot 107 block 15 Glenwood Hills unit 3

City Address: 4417 HIDDEN VALLEY

Applicant: BILLY NINOPOULOUS **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Other Contact: RIO GRANDE ENGINEERING **Contact:** DAVID SOULE

Address: PO BOX 93924 ALB NM 87199

Phone#: 505.321.9099 **Fax#:** 505.872.0999 **E-mail:** david@riograndeengineering.com

TYPE OF DEVELOPMENT: _____ PLAT ☒ RESIDENCE _____ DRB SITE _____ ADMIN SITE

Check all that Apply:

DEPARTMENT:

☒ HYDROLOGY/ DRAINAGE
_____ TRAFFIC/ TRANSPORTATION

TYPE OF SUBMITTAL:

_____ ENGINEER/ARCHITECT CERTIFICATION
_____ PAD CERTIFICATION
_____ CONCEPTUAL G & D PLAN
☒ GRADING PLAN
_____ DRAINAGE REPORT
_____ DRAINAGE MASTER PLAN
_____ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
_____ ELEVATION CERTIFICATE
_____ CLOMR/LOMR
_____ TRAFFIC CIRCULATION LAYOUT (TCL)
_____ TRAFFIC IMPACT STUDY (TIS)
_____ STREET LIGHT LAYOUT
_____ OTHER (SPECIFY) _____
_____ PRE-DESIGN MEETING?

IS THIS A RESUBMITTAL?: _____ Yes ☒ No

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

☒ BUILDING PERMIT APPROVAL
_____ CERTIFICATE OF OCCUPANCY
_____ PRELIMINARY PLAT APPROVAL
_____ SITE PLAN FOR SUB'D APPROVAL
_____ SITE PLAN FOR BLDG. PERMIT APPROVAL
_____ FINAL PLAT APPROVAL
_____ SIA/ RELEASE OF FINANCIAL GUARANTEE
_____ FOUNDATION PERMIT APPROVAL
_____ GRADING PERMIT APPROVAL
_____ SO-19 APPROVAL
_____ PAVING PERMIT APPROVAL
_____ GRADING/ PAD CERTIFICATION
_____ WORK ORDER APPROVAL
_____ CLOMR/LOMR
_____ FLOODPLAIN DEVELOPMENT PERMIT
_____ OTHER (SPECIFY) _____

DATE SUBMITTED: _____ **By:** _____

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____

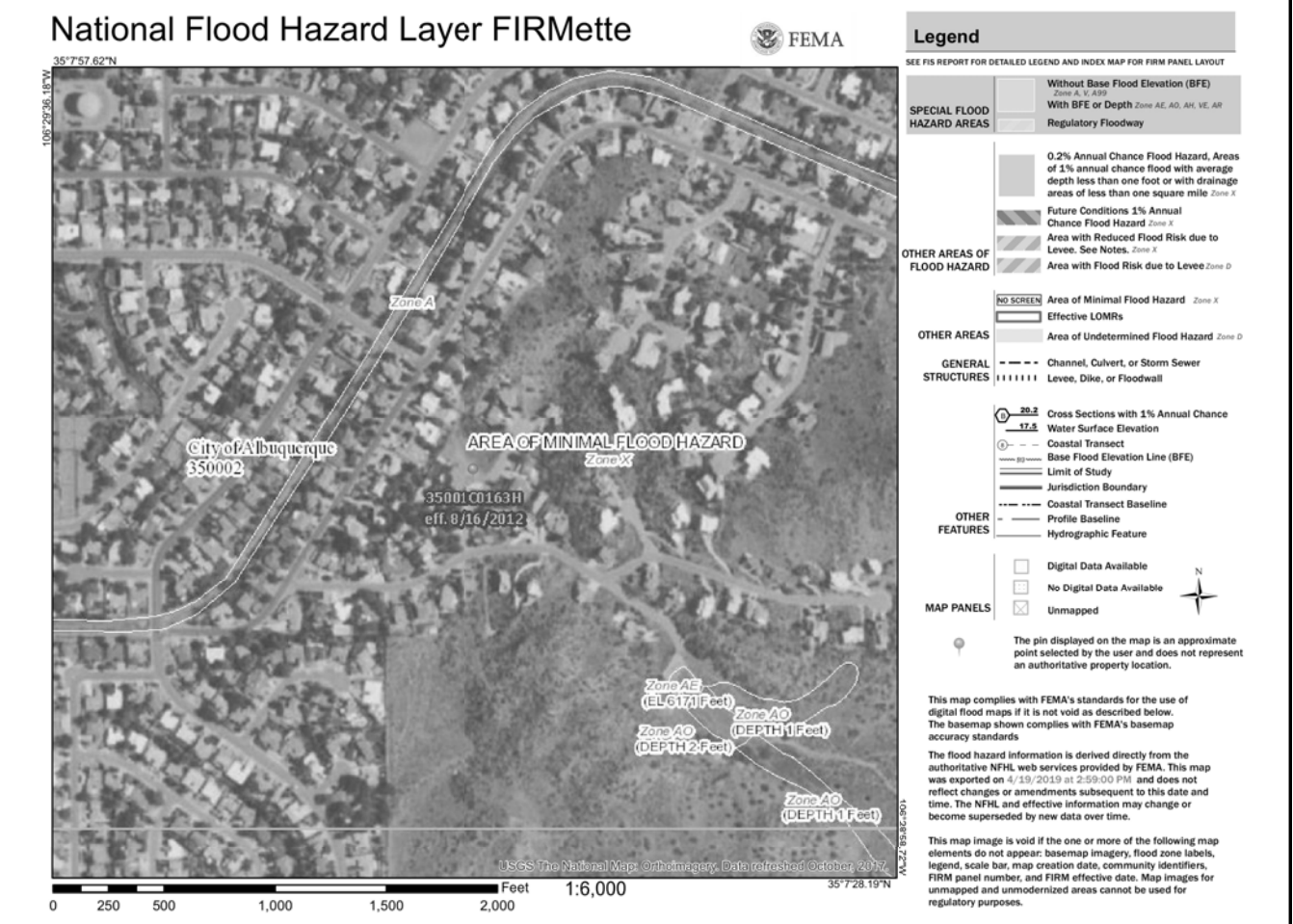
I, DAVID SOULE HAVE PERSONALLY INSPECTED THE SITE. I HEREBY CERTIFY THE PAD HAS BEEN CONSTRUCTED SUCH THAT IT IS IN SUBSTANTIAL CONFORMANCE TO THE APPROVED GRADING PLAN DATED 11/12/19

EROSION CONTROL NOTES:

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.



VICINITY MAP: G-22-Z



FIRM MAP:

LEGAL DESCRIPTION:
LOT 107, BK 15 UN 3 GLENWOOD HILLS SUB
CITY OF ALBUQUERQUE BERNILLO COUNTY, NEW MEXICO

- NOTES:**
1. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.
 2. ALL SLOPES SHALL BE 3:1 MAX. AND GRAVEL OR NATIVE SEEDING PRIOR TO CO.
 3. ANY PERIMETER WALLS MUST BE PERMITTED SEPARATELY. ALL RETAINING WALL DESIGN SHALL BE BY OTHERS.
 4. SURVEY INFORMATION PROVIDED BY COMMUNITY SCIENCES CORPORATION USING NAVD DATUM 1988.

LEGEND

- XXXX--- EXISTING CONTOUR
- XXXX--- EXISTING INDEX CONTOUR
- XXXX--- PROPOSED CONTOUR
- XXXX--- PROPOSED INDEX CONTOUR
- +XXXX EXISTING SPOT ELEVATION
- XXXX PROPOSED SPOT ELEVATION
- BOUNDARY
- PROPOSED EARTHEN SWALE
- ADJACENT BOUNDARY
- ===== EXISTING CURB AND GUTTER
- PROPOSED RETAINING WALL
- PROPOSED GRAVEL DRIVEWAY
- PROPOSED CONCRETE DRIVEWAY
- PROPOSED 2' WIDE COBBLE SWALE

Weighted E Method
HIDDEN VALLEY

Existing Developed Basins										100-Year, 6-hr		10-DAY		
Basin	Area (sf)	Area (acres)	Treatment A % (acres)	Treatment B % (acres)	Treatment C % (acres)	Treatment D % (acres)	% (acres)	Weighted E (ac-ft)	Volume (ac-ft)	Flow cfs	Volume (ac-ft)			
EXISTING	17066	0.392	50%	0.19589	24.0%	0.094	20.0%	0.07836	6%	0.024	1.110	0.036	1.12	0.039
FRONT BASIN	5112	0.117	0%	0	20.0%	0.023	32.0%	0.03735	49%	0.058	1.977	0.019	0.51	0.027
REAR BASIN	11954	0.274	0%	0	35.0%	0.096	22.0%	0.06037	43%	0.118	1.834	0.042	1.13	0.058

Equations:

Weighted E = Ea*²Aa + Eb*²Ab + Ec*²Ac + Ed*²Ad / (Total Area)

Volume = Weighted D * Total Area

Flow = Qa * Aa + Qb * Ab + Qc * Ac + Qd * Ad

Where for 100-year, 6-hour storm (zone 4)

Ea= 0.8
Eb= 1.08
Ec= 1.46
Ed= 2.64

Qa= 2.2
Qb= 2.92
Qc= 3.73
Qd= 5.25

	FRONT		BACK	
	REQUIRED	PROVIDED	REQUIRED	PROVIDED
FIRST FLUSH VOLUME	70.97 CF	145.64	145.64	1473
FLOOD CONTROL	168 CF			
REQUIRED PROVIDED	NA		798.1667	1023

DRAINAGE NARRATIVE

THIS SITE IS A LOT WITHIN A FULLY DEVELOPED RESIDENTIAL SUBDIVISION. THE SITE IS CURRENTLY DRAINS 1.12 CFS TO THE ADJACENT TRACT AT THE SOUTHWEST C THE SUBDIVISION IS FULLY DEVELOPED AND ALL LOTS FREE DISCHARGE. THE DRAINAGE MANAGEMENT WILL REQUIRE THE LOT TO NOT INCREASE FLOW TO THE ADJAC PROPERTY. THIS IS ACCOMPLISHED BY DRAINING THE MAJORITY OF THE HOUSE TO THE STREET AND RETAINING THE INCREASE IN FLOW BASED UPON A 100-YEAR 10-1 VOLUME BASED UPON HISTORICAL AND PROPOSED VOLUMES LEAVING THE SITE AT THE SOUTHWEST CORNER. THE FIRST FLUSH VOLUMES ARE RETAINED FOR BOTH

CAUTION:

EXISTING UTILITIES ARE NOT SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES & OTHER IMPROVEMENTS.



11/12/19

LOT 3, BLOCK 15, UNIT 3
GLENWOOD HILLS SUBDIVISION
FD. 7/09/1993
BK. D3, PG. 73

REAR BASIN
11,954 SF

WATER HARVEST POND
TOP=6064.50
BOTTOM=6063.00
VOL= 1,023 CF

LOT 106, BLOCK 15, UNIT 3
GLENWOOD HILLS SUBDIVISION
FD. 7/09/1993
BK. D3, PG. 73

INSTALL ROOF GUTTER SYSTEM
TO DISCHARGE ROOF DRAINAGE TO STREET

RECONFIGURED RETAINING WALLS

LOWER FLOOR
FF = 6074.50
FP = 6074.00
UPPER FLOOR 6086.50

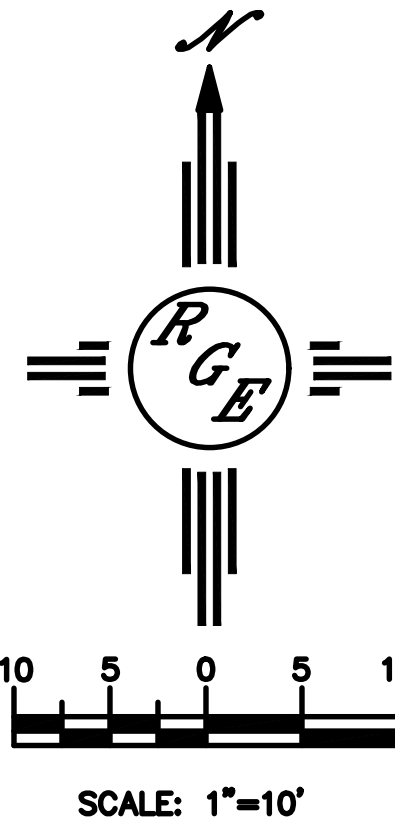
DRAINAGE
BREAK LINE

RETAINING WALL INTEGRAL
WITH FOUNDATION TO BE DESIGNED
BY OTHERS

FIRST FLUSH POND
TOP = 85.25
BOTTOM= 84.00
VOLUME = 168 CF

LOT 108, BLOCK 15, UNIT 3
GLENWOOD HILLS SUBDIVISION
FD. 7/09/1993
BK. D3, PG. 73

HIDDEN VALLEY COURT N.E.
50' PUBLIC RIGHT OF WAY



ENGINEER'S SEAL	LOT 107, BK 15 UN 3 GLENWOOD HILLS SUB HIDDEN VALLEY COURT	DRAWN BY DEM
	GRADING AND DRAINAGE PLAN	DATE 4-22-19
DAVID SOULE P.E. #14522	1606 CENTRAL AVENUE SE SUITE 201 ALBUQUERQUE, NM 87108 (505) 872-0999	LOT 107 BLK 15 UN 3 GLENWOOD HILLS.DWG
		SHEET # C1
		JOB #