

CITY OF ALBUQUERQUE



January 23, 2020

Emily Brudenell
Scout Design LLC
2722 San Joaquin Ave SE
Albuquerque, NM 87106

Re: Tramway Lofts
12711 Candelaria rd NE
Traffic Circulation Layout
Engineer's/Architect's Stamp 12-15-2019 (G23D015)

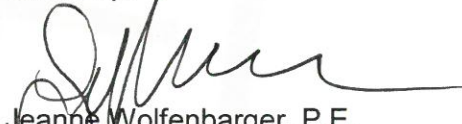
Dear Ms. Brudenell,

The TCL submittal received 01-21-2020 is approved for Building Permit. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

When the site construction is completed and an inspection for Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification, the TCL, and a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation.

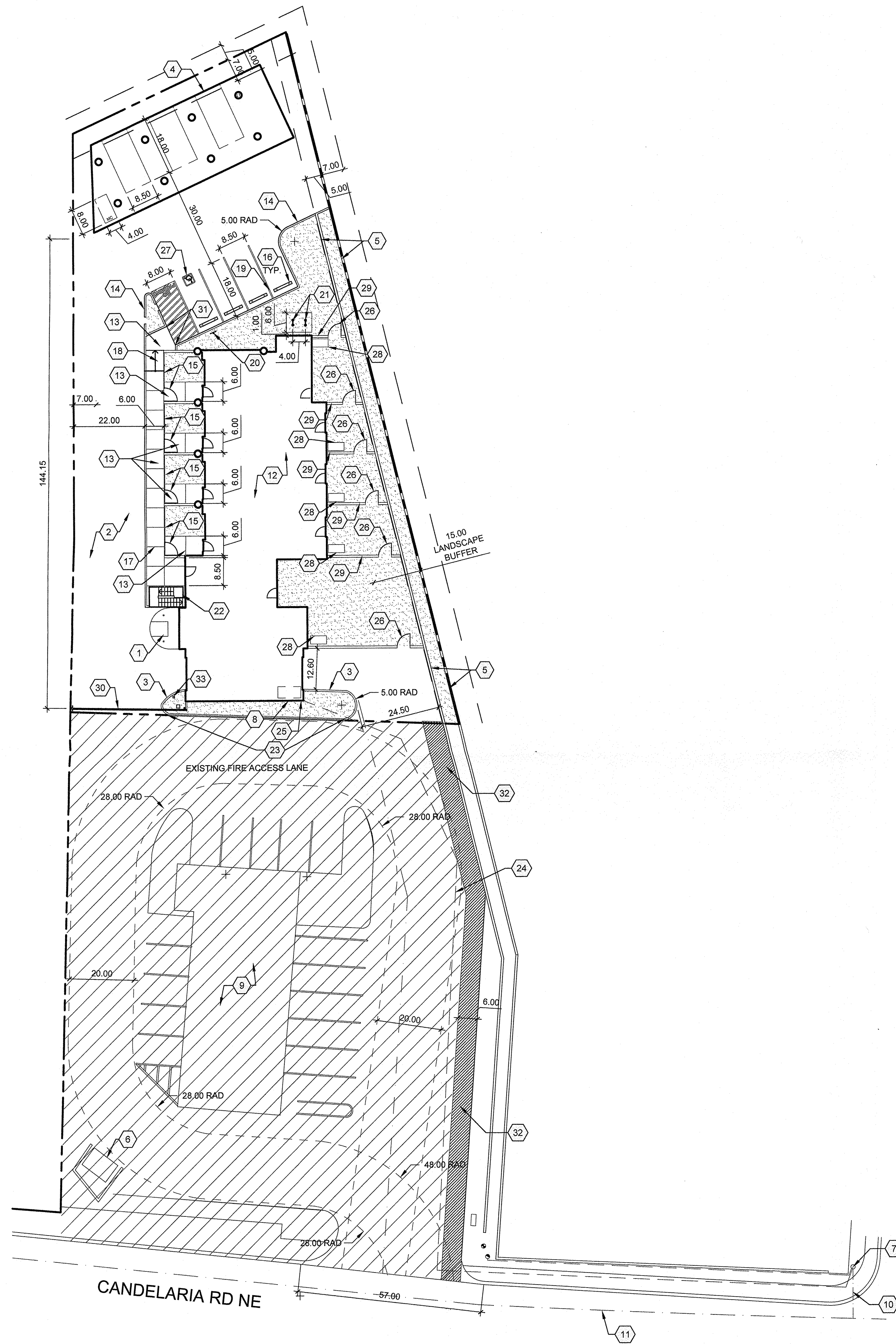
Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,


Jeanne Wolfenbarger, P.E.
Traffic Engineer, Planning Dept.
Development Review Services

Mojgan Maadandar, E.I.
Associate Engineer, Planning Dept.
Development Review Services

\MM via: email
C: CO Clerk, File



TRAFFIC CIRCULATION LAYOUT
APPROVED

[Signature] 1-27-20
Signed Date

ALL WHEELCHAIR RAMPS LOCATED
WITHIN THE PUBLIC RIGHT OF WAY
MUST HAVE TRUNCATED DOMES.



GENERAL SHEET NOTES

1. CONTRACTOR SHALL PROTECT EXISTING IMPROVEMENTS TO REMAIN INCLUDING, BUT NOT LIMITED TO, BUILDINGS, PAVING, CURBS, SITE WALLS, FOUNDATIONS AND UTILITIES. EXISTING FOUNDATIONS SHALL MAINTAIN THEIR ORIGINAL STRUCTURAL INTEGRITY AS THEY WERE DESIGNED.
2. GENERAL CONTRACTOR SHALL PATCH, REPAIR AND/OR REPLACE ITEMS TO REMAIN THAT HAVE BEEN DAMAGED DURING CONSTRUCTION, TO THE OWNER'S SATISFACTION AND AT NO COST TO THE OWNER.
3. CONTRACTOR IS TO VERIFY ALL EXISTING UTILITY LOCATIONS BEFORE EXCAVATION.
4. EXISTING UTILITIES AND ASSOCIATED EQUIPMENT SHOWN FOR REFERENCE ONLY.
5. ALL SITE PLAN DIMENSIONS ARE IN DECIMAL UNITS.
6. SIDEWALK JOINTS SHALL FOLLOW PATTERN AS SHOWN ON SITE PLAN.
7. CONTRACTOR TO PRESERVE AND PROTECT ALL EXISTING PLANT MATERIAL TO REMAIN.

PROJECT INFORMATION

LEGAL DESCRIPTION:
FORTY A40-A, IN BLOCK NUMBERED SIX (6) PLAT UNIT 1, CASA GRANDE ESTATES, CITY OF ALBUQUERQUE, BERNALILLO COUNTY

PROJECT DESCRIPTION:
RENOVATION AND CHANGE OF USE FOR EXISTING CARWASH INTO TOWNHOMES WITH ADDITION.

BUILDING INFORMATION:
TOTAL AREA: 4,011 GSF, TWO STORIES, TOTAL HEIGHT 25'-0"
TOWNHOMES

TYPE VB CONSTRUCTION

PARKING CALCULATIONS:

REQUIRED PARKING SPACES (1 STALLS PER UNIT)	5
PARKING PROVIDED SPACES	8
ACCESSIBLE SPACES REQUIRED	1 (VAN)
ACCESSIBLE SPACES PROVIDED	1 (VAN)
REQUIRED BICYCLE STALLS	2
PROVIDED BICYCLE STALLS	2

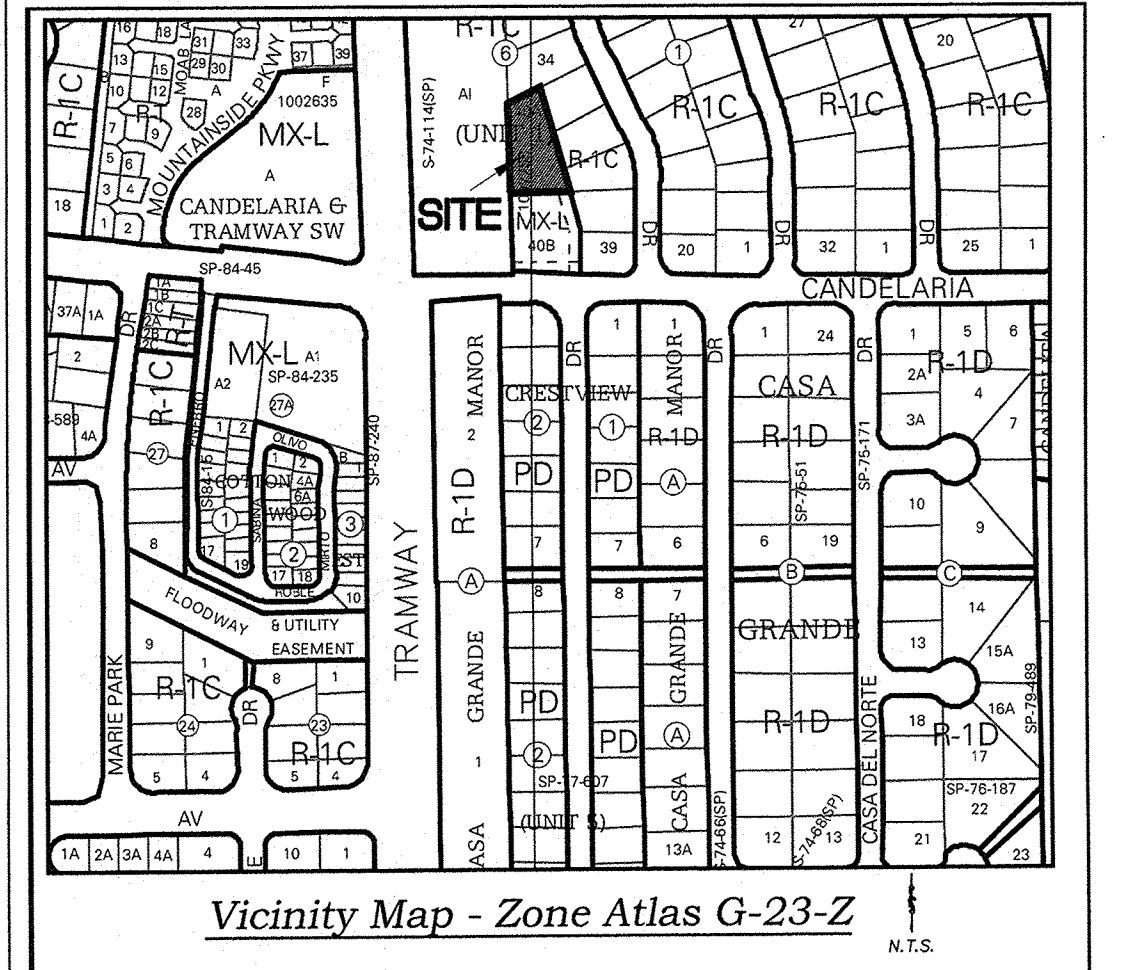
SHEET KEYED NOTES

CODE	DESCRIPTION
1	EXISTING CONCRETE SIDEWALK TO REMAIN
2	EXISTING ASPHALT PAVING TO REMAIN
3	EXISTING CURB TO REMAIN
4	EXISTING CARPORT TO REMAIN, NOT IN SCOPE
5	EXISTING RETAINING WALL TO REMAIN
6	EXISTING DUMPSTER FOR PROPERTY USE THROUGH EASEMENT AGREEMENT
7	EXISTING FIRE HYDRANT
8	EXISTING PREMISE ID
9	EXISTING NEIGHBORHOOD BUILDING, NOT IN SCOPE
10	EXISTING 6" FIRE HYDRANT SUPPLY LINE
11	EXISTING 8" WATER MAIN LINE
12	NEW BUILDING, SEE ARCHITECTURAL SHEETS
13	CONCRETE SIDEWALK, SEE A1/AS501
14	CONCRETE HEADER CURB, SEE A5/AS501
15	5'-0" TALL PERFORATED METAL GATE AND FENCING, SEE ARCHITECTURAL SHEETS
16	PARKING BUMPER, SEE B2/AS501
17	CONCRETE JOINT
18	CONCRETE RAMP, SEE A3/AS501
19	PARKING STRIPING, SEE B3/AS501
20	ACCESSIBLE PARKING SIGN, SEE B1/AS501
21	BIKE RACKS, SEE B5/AS501
22	STAIRS, SEE ARCHITECTURAL SHEETS
23	6" WHITE LETTERS 'NO PARKING FIRE LANE' OVER RED PAINT ON CURB
24	DISTANCE FROM FIRE HYDRANT TO BUILDING DETERMINED BY IFC 2015 TABLE C102.1 NOTE G FOR NFPA 13R SPINKLERS AND EXCEPTION UNDER C103.2 FOR EXISTING FIRE HYDRANTS. ALLOWABLE DISTANCE 337'-6", ACTUAL DISTANCE 324'.
25	KNOX BOX
26	FIRE DEPARTMENT ACCESS GATE
27	ACCESSIBLE PAVEMENT MARKING
28	CONDENSER
29	5'-6" TALL CMU WALL, SEE B4/AS501
30	CANTILEVER VEHICULAR GATE. KNOX BOX ACCESS TO BE PROVIDED, SEE DETAIL C1/AS501
31	FLUSH CONCRETE WALKWAY
32	PEDESTRIAN PATHWAY CONNECTION TO PUBLIC SIDEWALK
33	PEDESTRIAN EXIT BUTTON ON PEDESTAL

LEGEND

SYMBOL	DESCRIPTION
---	PROPERTY LINE
- - - -	EASEMENT
[Pattern]	LANDSCAPE AREA
[Pattern]	EXISTING NEIGHBORING PROPERTY, NOT IN SCOPE OF WORK

VICINITY MAP



scout
ARCHITECTURE + DESIGN

ARCHITECT/ ENGINEER

STATE OF NEW MEXICO
[Signature]
SHANNON PARKS
No. 005140
01/23/20
REGISTERED ARCHITECT

TRAMWAY LOFTS
11216 PHOENIX AVE NE
ALBUQUERQUE NM 87112

PERMIT DOCUMENTS

REVISION	DATE

DATE 12.23.19

PROJECT NO.

TRAFFIC CIRCULATION LAYOUT

SHEET NO.

TCL