

H08/D006C

File



401 Coors Blvd. N.W.
Albuquerque, New Mexico 87121
(505) 831-9600
Fax (505) 831-4865
1-800-726-3250

December 4, 2006

Sheran Matson, Chairwoman
City of Albuquerque Development Review Board
P.O. Box 1293
Albuquerque, N.M. 87103

Faxed to 924-3864

Re: Project # 1002739, Anderson Heights, Unit 5A


Dear Madam Chairperson:

On behalf of Westland Development Co., Inc. ("Westland") I wish to notify you that a permanent easement, a copy of which is attached hereto, was improperly, illegally and without any consent of Westland granted by Mr. Pat Smith, as Manager of Rio Bravo Partners, LLC et al. to the City of Albuquerque on April 20, 2005 (the "Easement"). The Easement purports to encumber approximately 9 ½ acres of land owned by Westland located west of 118th St. and north of Dennis Chavez Blvd. in Bernalillo County.

Westland did not and does not agree to the Easement and has notified Mr. Pat Smith and Mark Goodwin in writing that the Easement is illegal. It is Westland's understanding that the Easement and pond directly benefit the above referenced project. We would ask that you defer action on this project to resolve this issue.

If you should have any question, please contact Mr. Leroy Chavez at the above number.

Sincerely,


Robert S. Simon,
Corporate Counsel

Cc: Richard Dourte, City Engineer
✓ Brad Bingham, City Hydrologist
Pat Smith, Arroyo Vista N.M. LLC
Rex P. Wilson, President of C and W Land Development, Inc.
Bill Allen, Mel Famie, LLC
Don Britt, K B Home New Mexico, Inc.
Mark Goodwin, Mark Goodwin & Assoc.
Barbara Page, President & CEO, Westland Dev. Co. Inc.

11/25

Returned
by L. Curtin

via

L Murray



Westland
File Copy

401 Coors Blvd. N.W.
Albuquerque, New Mexico 87121
(505) 831-9600
Fax (505) 831-4865
1-800-726-3250

October 24, 2006

Patrick N. Smith
Arroyo Vista New Mexico, LLC
805 Aerovista Place #202
San Luis Obispo, CA 93401

RE: Development Agreement between Westland
and Arroyo Vista New Mexico LLC

Dear Mr. Smith:

We have recently been made aware of an encroachment created by a document you signed and a pond built on lands owned by Westland. Enclosed please find a copy of the "Permanent Easement" dated April 20, 2005 granting an easement for a "drainage pond and appurtenances..." on lands owned by Westland located west of 118th Street and north of Dennis Chavez Blvd. The area is approximately 9.5 acres.

This letter is to request that you remove the pond and restore the area to its natural state. Additionally, we would ask that the easement be released.

We have also reviewed our Development Agreement and found that many of the requirements provided in our agreement were not met. Namely the Preliminary Plat/Infrastructure and Reports were never submitted to us for review and approval (Paragraph 3 & 4). Also, upon visual inspection of the improvements in 118th street, it appears the improvements are incomplete, namely curb and gutter and sidewalk on the east side of 118th street. Please provide us with plans showing all infrastructure as built so we can better evaluate what other improvements may be lacking. We would also like to have evidence of the waiver for pro-rata on the improvements.

Our agreement also provides for Arroyo Vista to pay for any upgrades to the Dennis Chavez storm drain and sewer system to the extent the Reports indicate Westland's allowed discharge is diminished (Paragraph 9).

Patrick N. Smith

Page Two

Lastly, we would ask that Arroyo Vista diligently pursue the dedication of the 118th St. R.O.W. to the appropriate Government Agency and to remove us from any liability.

We would appreciate your immediate response to these serious concerns.

Sincerely,

A handwritten signature in black ink, appearing to read "Leroy J. Chavez", with a stylized, flowing script.

Leroy J. Chavez

Vice President of Development

xc: Barbara Page, President & CEO, Westland Development Co., Inc.
Robert Simon, Counsel, Westland Development Co., Inc.
Bill Allen, Mel Famie LLC
Doug Hughes, Mark Goodwin & Associates

PERMANENT EASEMENT

Grant of Permanent Easement, between Albuquerque Rio Bravo Partners LLC and Peoria Car Wash Partners LLC and Tempe Car Wash Partners LLC and Tamarish, LLC ("Grantor"), whose addresses are 805 Aerovista Place #202, San Luis Obispo, CA 93401 and the City of Albuquerque, a New Mexico municipal corporation ("City"), whose address is P.O. Box 1293, Albuquerque, New Mexico, 87103.

Grantor grants to the City an exclusive, permanent easement ("Easement") in, over, upon and across the real property described on Exhibit "A" attached hereto ("Property") for the construction, installation, maintenance, repair, modification, replacement and operation of drainage ponds and appurtenances, together with the right to remove trees, bushes, undergrowth and any other obstacles upon the Property if the City determines they interfere with the appropriate use of this Easement.

In the event Grantor constructs any improvements ("Improvements") within the Easement, the City has the right to enter upon Grantors property at any time and perform whatever inspection, installation, maintenance, repair, modification or removal ("Work") it deems appropriate without liability to the City. If the Work effects any Improvements or encroachments made by the Grantor, the City will not be financially or otherwise responsible for rebuilding or repairing the Improvements or encroachments. If in the opinion of the City, the Work to be performed by the City could endanger the structural integrity or otherwise damage the Improvements or encroachments, the Grantor shall, at its own expense, take whatever protective measures are required to safeguard the Improvements or encroachments.

Grantor covenants and warrants that Grantor is the owner in fee simple of the Property, that Grantor has a good lawful right to convey the Property or any part thereof and that Grantor will forever warrant and defend the title to the Property against all claims from all persons or entities.

The grant and other provisions of this Easement constitute covenants running with the Property for the benefit of the City and its successors and assigns until terminated.

This Easement shall not be effective until approved by the City Engineer in the signature block below.

WITNESS my hand and seal this 20th day of April, 2005.

APPROVED:



City Engineer

4-20-05
Dated

3/24/05
4/20/05



Mary Herrera

Bern. Co. EASE

R 19.00

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Page: 1 of 8
04/20/2005 02:11P
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GRANTORS:

Albuquerque Rio Bravo Partners, LLC
a Delaware limited liability company


By: Patrick N. Smith, Manager

Peoria Car Wash Partners, LLC
an Arizona limited liability company

By: SBP, LLC
an Arizona limited liability company
Its: Manager

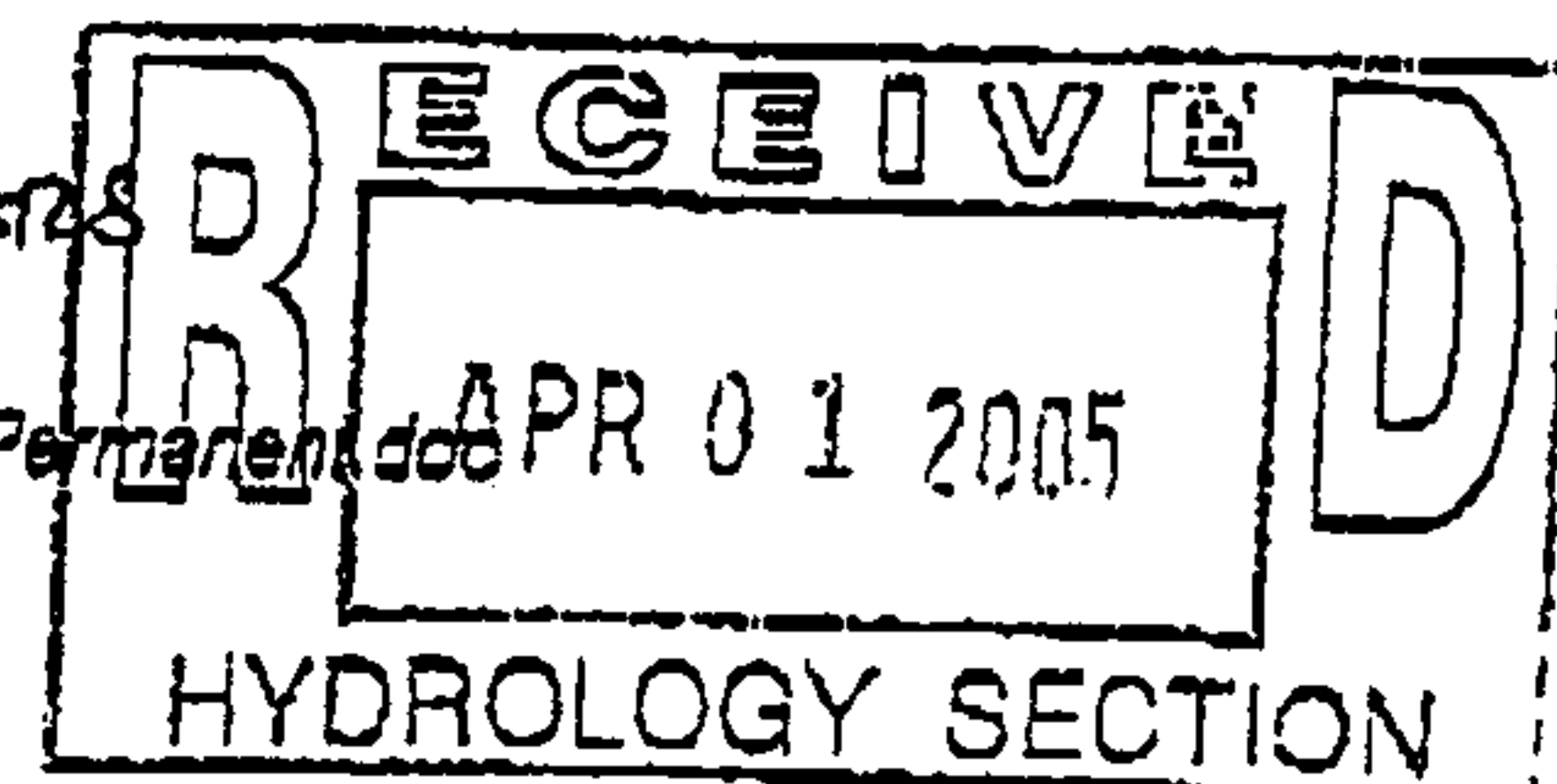

By: Patrick N. Smith, Manager

NOTE: ALL LOTS OWNED JOINTLY BY

ALBUQUERQUE RIO BRAVO PARTNERS AND PEORIA CAR WASH PARTNERS
AND TEMPE CAR WASH PARTNERS AND TAMARISH, LLC

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-1-



Tempe Car Wash Partners, LLC
an Arizona limited liability company

By: SBP, LLC
an Arizona limited liability company
Its: Manager


By: Patrick N. Smith, Manager

Tamarisk, LLC
an Arizona limited liability company


By: Patrick N. Smith, Manager

GRANTOR'S NOTARY

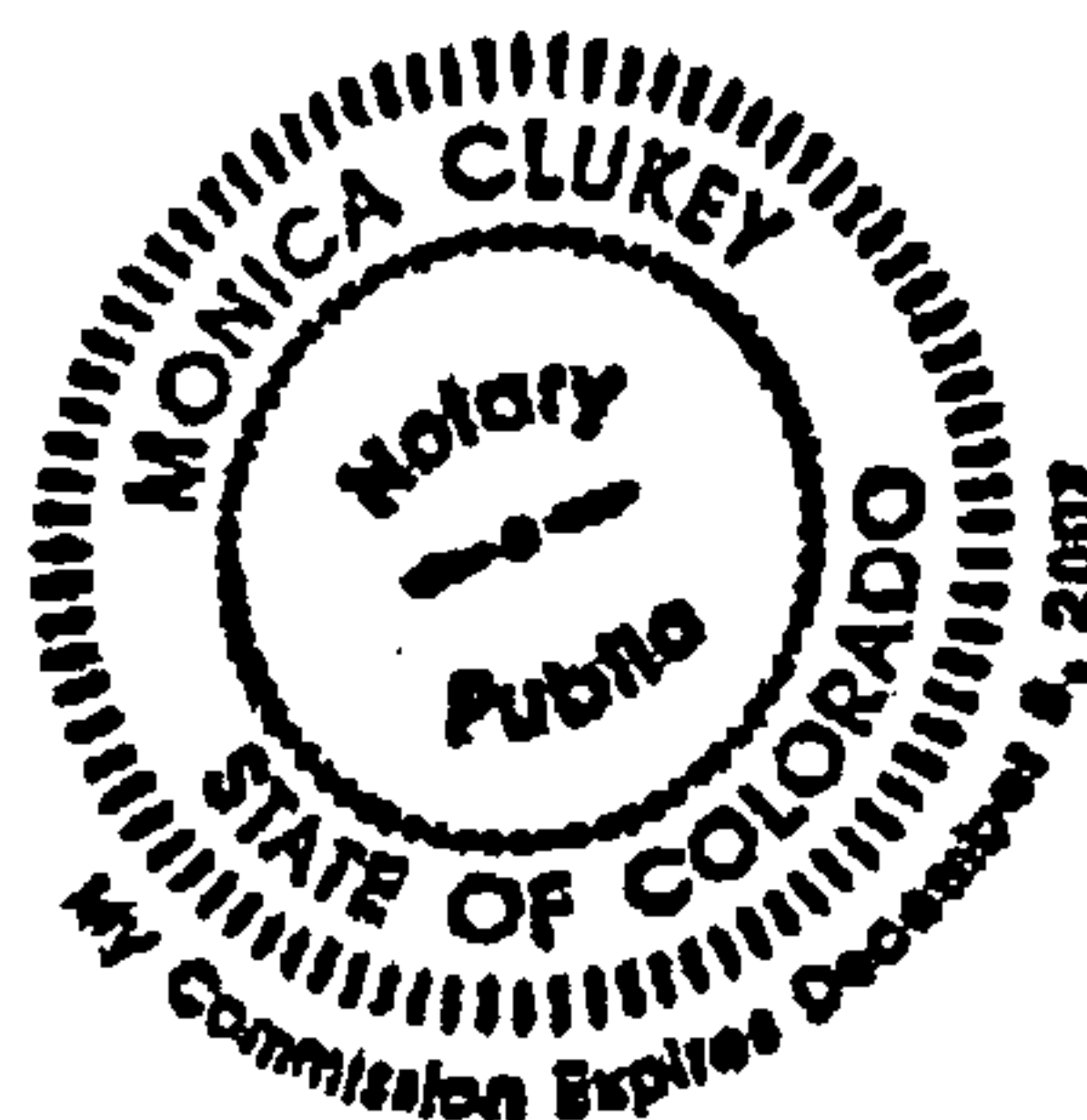
STATE OF Colorado
COUNTY OF Pitkin

This instrument was acknowledged before me on 30 day of March, 2005, by Patrick N. Smith, manager, on behalf of Albuquerque Rio Bravo Partners LLC and Peoria Car Wash Partners LLC and Tempe Car Wash Partners LLC and Tamarisk, LLC.


Notary Public

My Commission Expires:

Dec. 8 2007



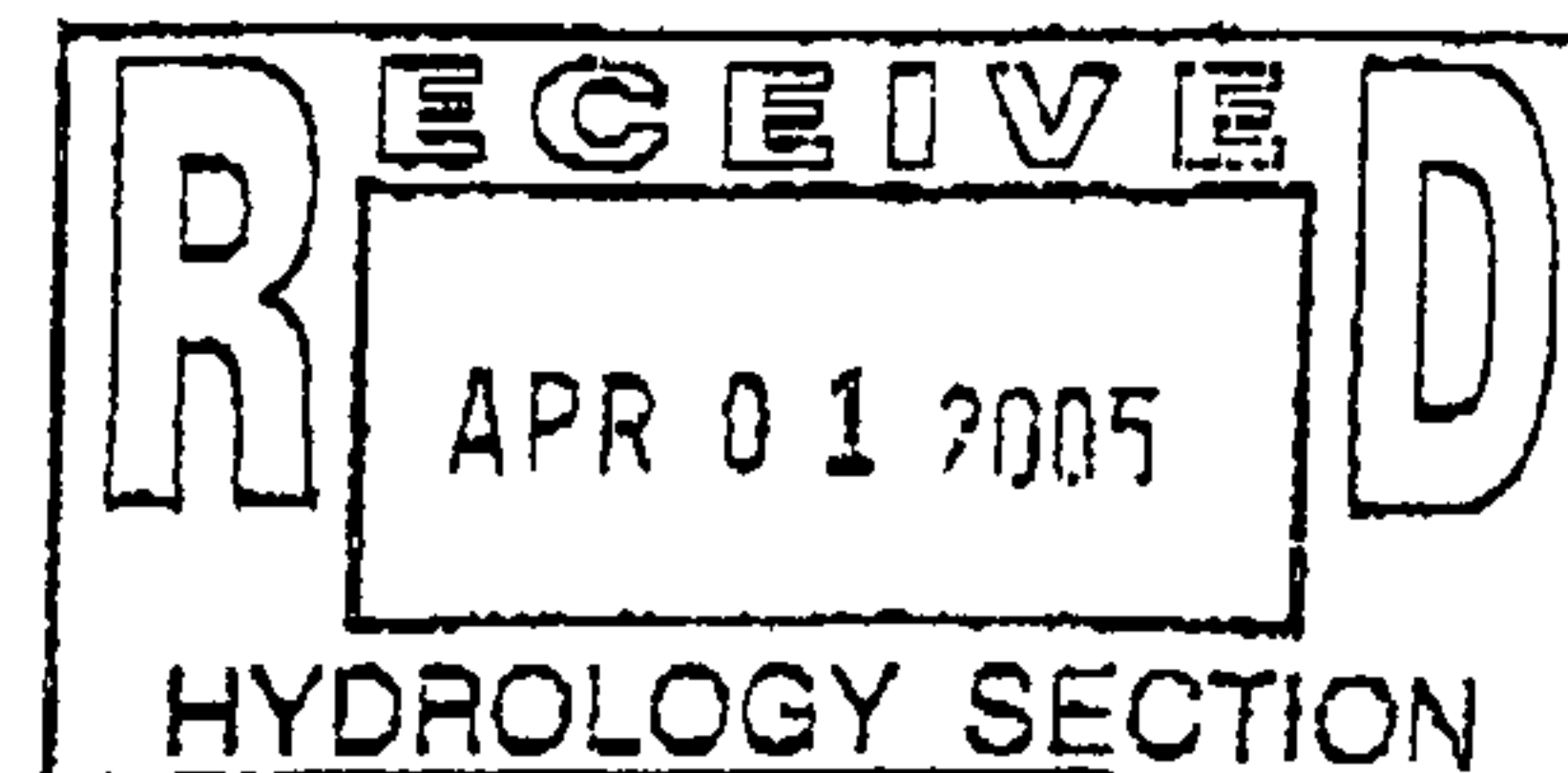
Mary Herrera

Bern. Co. EASE

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Page: 2 of 8
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(EXHIBIT "A" ATTACHED)



"EXHIBIT "A" CITY OF ALBUQUERQUE PUBLIC DRAINAGE EASEMENT

DESCRIPTION

A City of Albuquerque Public Drainage Easement within the Town of Atrisco Grant, projected Section 5, Township 9 North, Range 2 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico being within PARCELS 2-B THROUGH 2-D, LANDS OF RIO BRAVO PARTNERS, as the same is shown and designated on said plat filed for record of the office of the County Clerk of Bernalillo County, New Mexico on April 17, 1996 in Volume 96C, Folio 160 and being more particularly described as follows:

BEGINNING at the northwest corner of the herein described Easement from whence the Albuquerque Control Survey Monument "1-N8" bears N 09°20'48" W, 2201.13 feet;

THENCE N 78°44'25" E, 200.00 feet to the northeast corner;

THENCE S 11°15'35" E, 555.77 feet to the southeast corner;

THENCE S 00°01'24" W, 1022.21 feet to the southwest corner;

THENCE N 11°15'35" W, 1558.22 feet to the point of beginning and containing 4.8531 acres more or less.



AND

DESCRIPTION

A City of Albuquerque Public Drainage Easement within the Town of Atrisco Grant, projected Section 5, Township 9 North, Range 2 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico being within "SOUTH TRACT", WESTLAND DEVELOPMENT COMPANY, as the same is shown and designated on an un-filed plat dated August 19, 1974 and within PARCELS A AND B, ANDERSON HEIGHTS, as the same is shown and designated on said plat filed for record of the office of the County Clerk of Bernalillo County, New Mexico on December 03, 2003, Book 2003C, Page 361 and being more particularly described as follows:

BEGINNING at the northwest corner of the herein described Easement from whence the Albuquerque Control Survey Monument "1-N8" bears N 0°09'31" W, 4362.84 feet;

THENCE N 89°56'49" E, 318.41 feet to the northeast corner;

THENCE 167.46 feet along a curve to right, whose radius is 1875.00 feet through a central angle of 04°51'29" and whose chord bears S 02°22'34" W, 167.41 feet to a point of reverse curvature;

THENCE 263.37 feet along a curve to left, whose radius is 1125.00 feet through a central angle of 13°24'49" and whose chord bears S 01°54'06" E, 262.77 feet to a point of reverse curvature;

THENCE 129.47 feet along a curve to right, whose radius is 1075.00 feet through a central angle of 06°54'01" and whose chord bears S 05°09'29" E, 128.39 feet to a point;

THENCE S 01°42'29" E, 202.07 feet to a point of curvature;

THENCE 510.84 feet along a curve to left, whose radius is 3055.00 feet through a central angle of 09°34'51" and whose chord bears S 06°29'54" E, 510.25 feet to a point;

THENCE S 11°17'20" W, 452.34 feet to the southeast corner;

THENCE S 89°49'21" W, 238.94 feet to the southwest corner;

THENCE N 08°09'22" W, 1728.37 feet to the point of beginning and containing 9.4586 acres more or less.

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Page: 3 of 6

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R 19.00

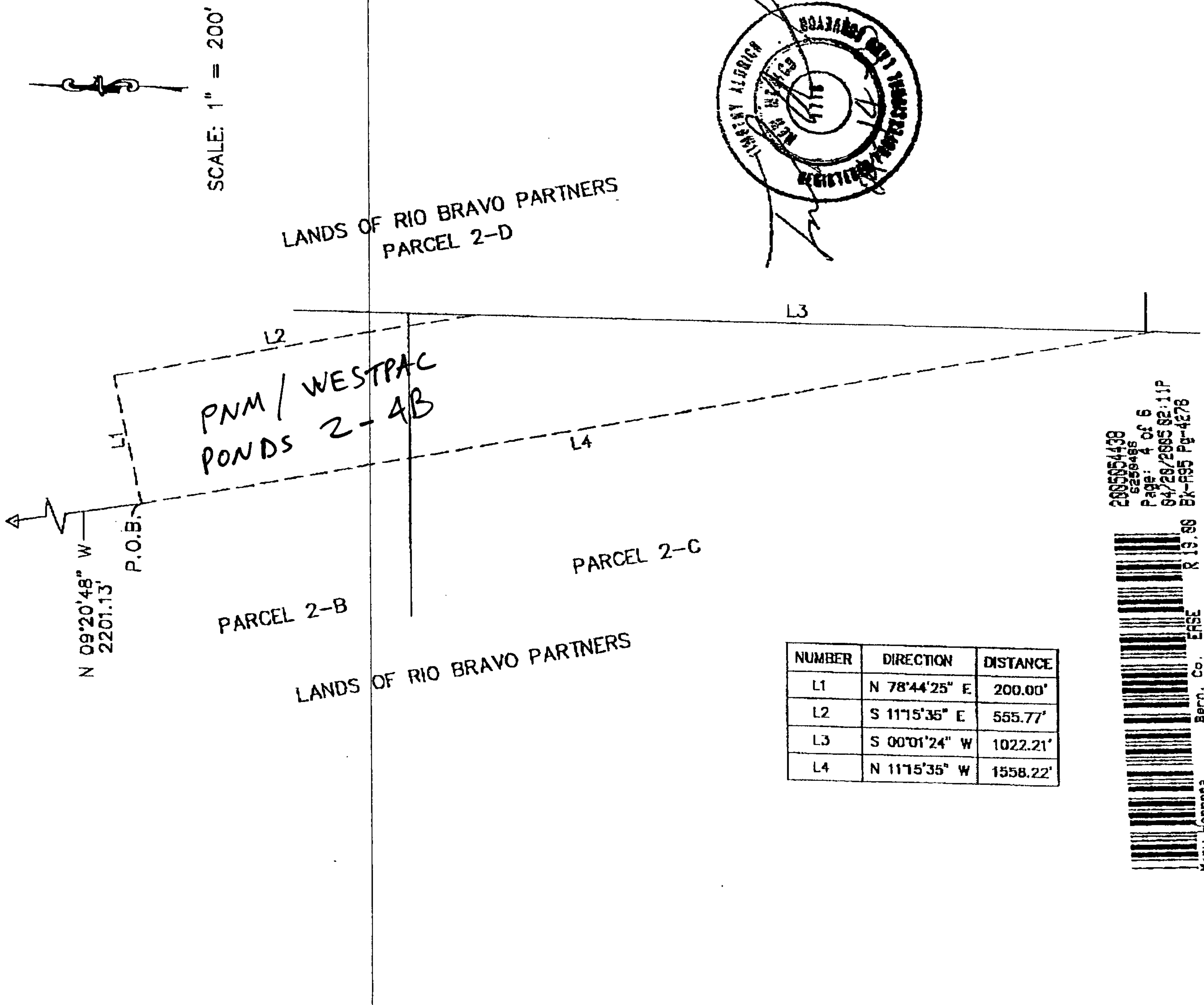
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Bern. Co.

Mary Herrera

2006 2:41 PM D. MARK GOODWIN AND ASSOCIATES No. 0334 P. 5

CITY OF ALBUQUERQUE PUBLIC DRAINAGE EASEMENT

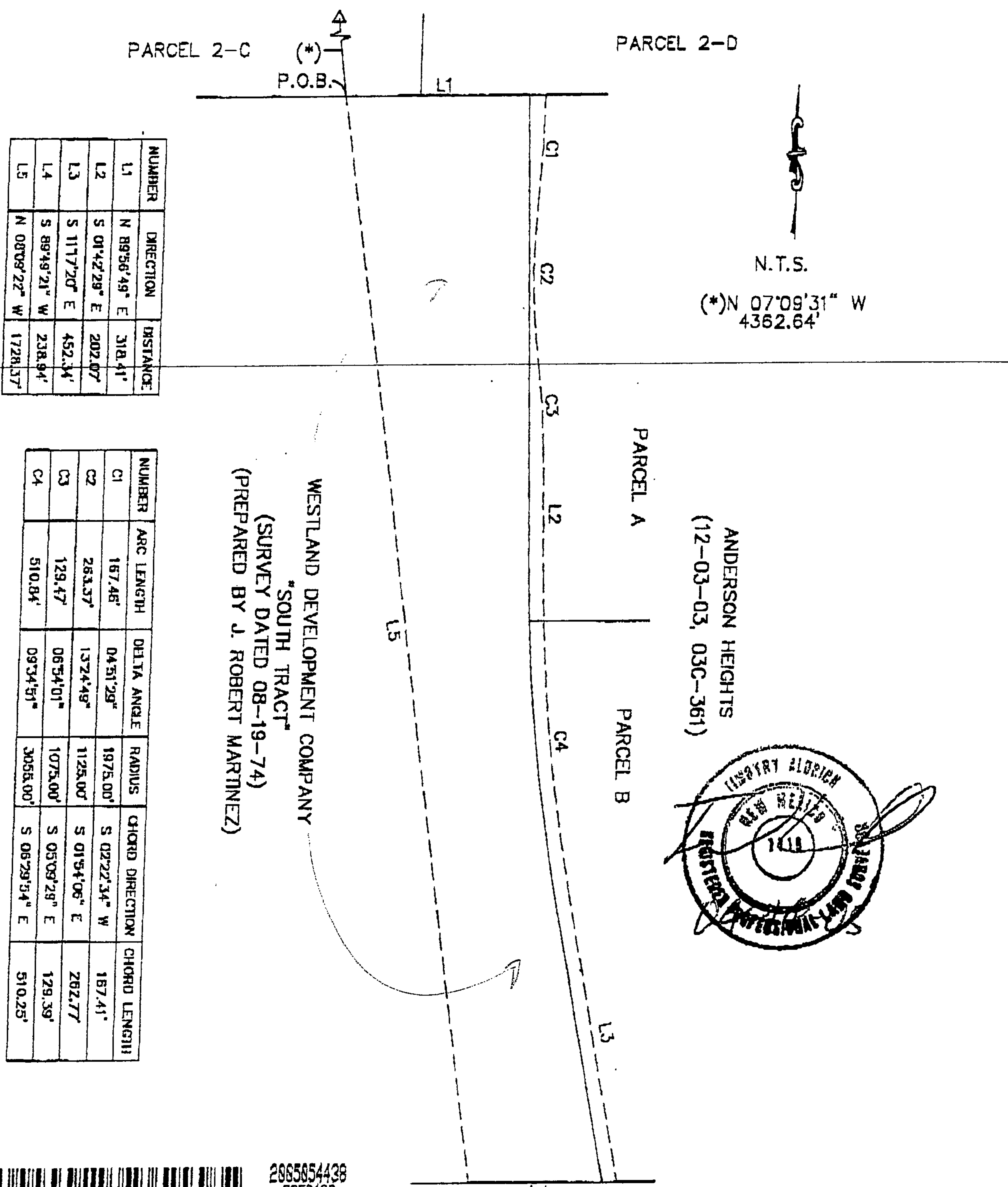


NUMBER	DIRECTION	DISTANCE
L1	N 78°44'25" E	200.00'
L2	S 11°15'35" E	555.77'
L3	S 00°01'24" W	1022.21'
L4	N 11°15'35" W	1558.22'

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Mary Herrera

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CITY OF ALBUQUERQUE PUBLIC DRAINAGE EASEMENT
LANDS OF RIO BRAVO PARTNERS

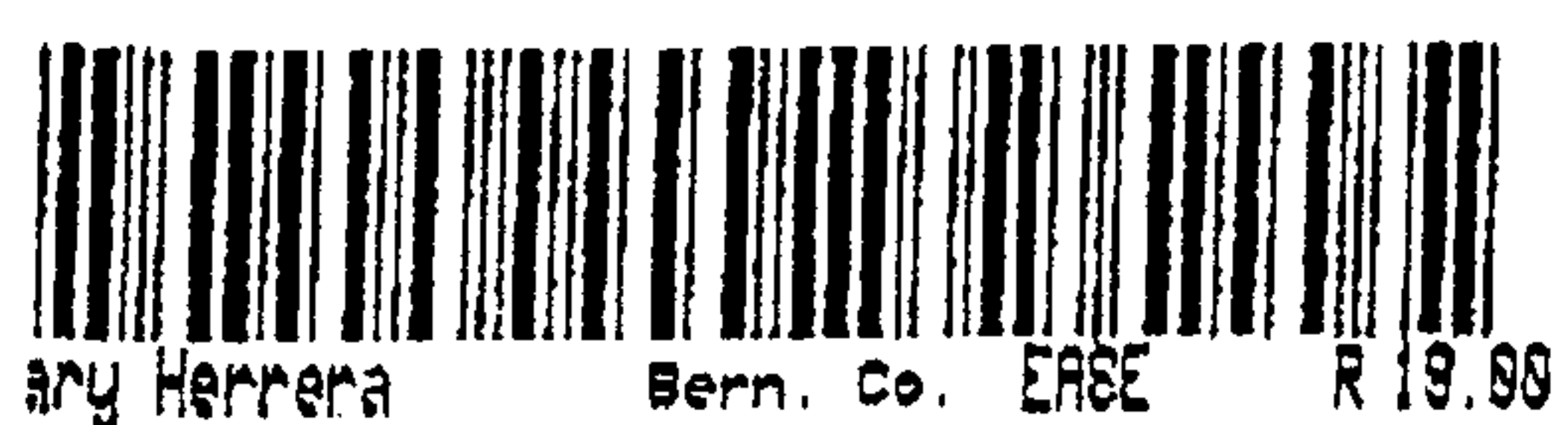
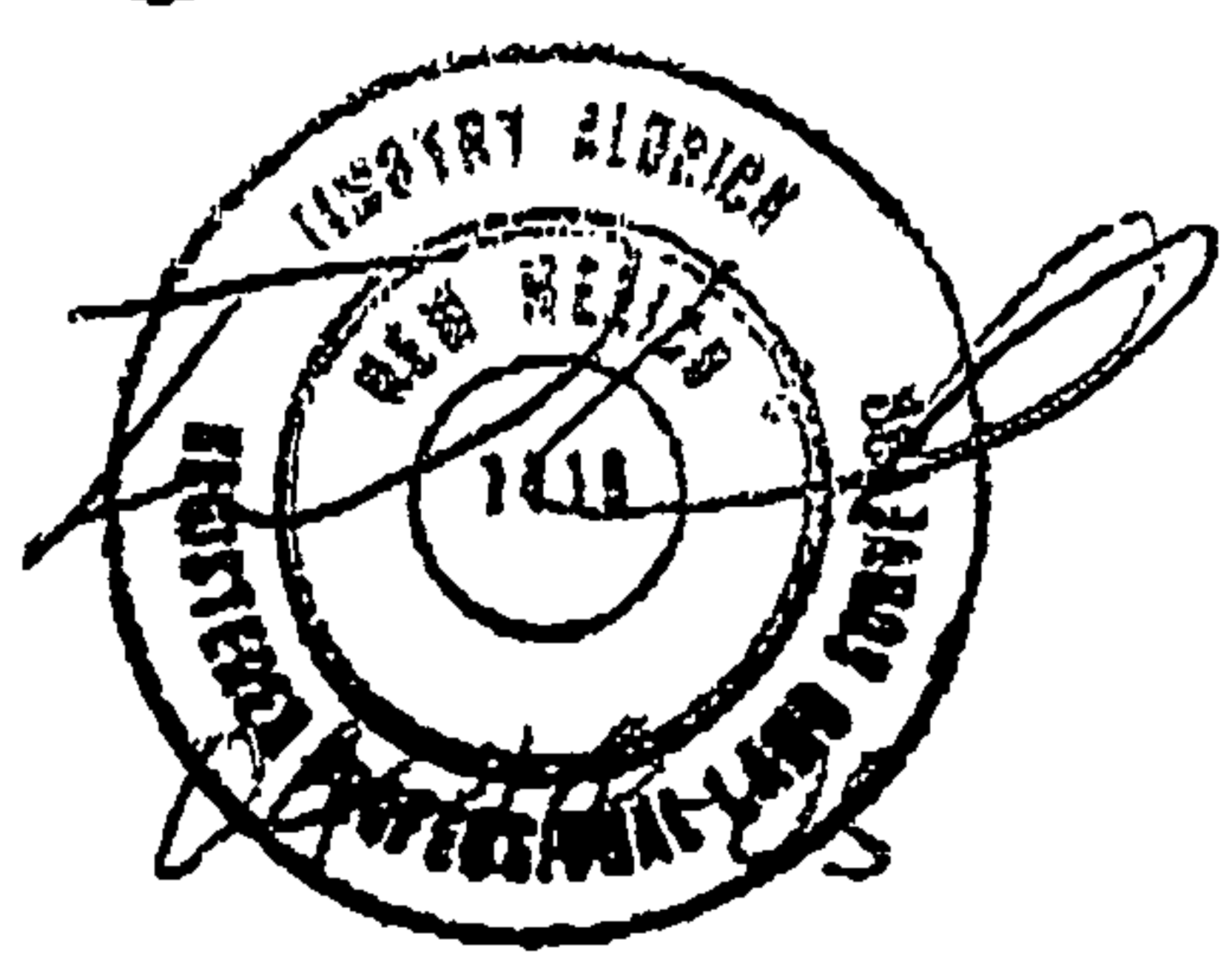


NUMBER	DIRECTION	DISTANCE
L1	N 89°56'49" E	318.41'
L2	S 01°42'29" E	202.07'
L3	S 11°17'20" E	452.34'
L4	S 89°49'21" W	238.94'
L5	N 08°09'22" W	1728.37'

NUMBER	ARC LENGTH	DELTA ANGLE	RADIUS	CHORD DIRECTION	CHORD LENGTH
C1	167.46'	04°51'29"	1975.00'	S 02°22'34" W	167.41'
C2	263.37'	13°24'49"	1125.00'	S 01°54'06" E	262.77'
C3	129.47'	06°54'01"	1075.00'	S 05°09'29" E	129.39'
C4	510.84'	09°34'51"	3055.00'	S 06°29'54" E	510.25'

WESTLAND DEVELOPMENT COMPANY
"SOUTH TRACT"
(SURVEY DATED 08-19-74)
(PREPARED BY J. ROBERT MARTINEZ)

ANDERSON HEIGHTS
(12-03-03, 03C-361)



any Herrera

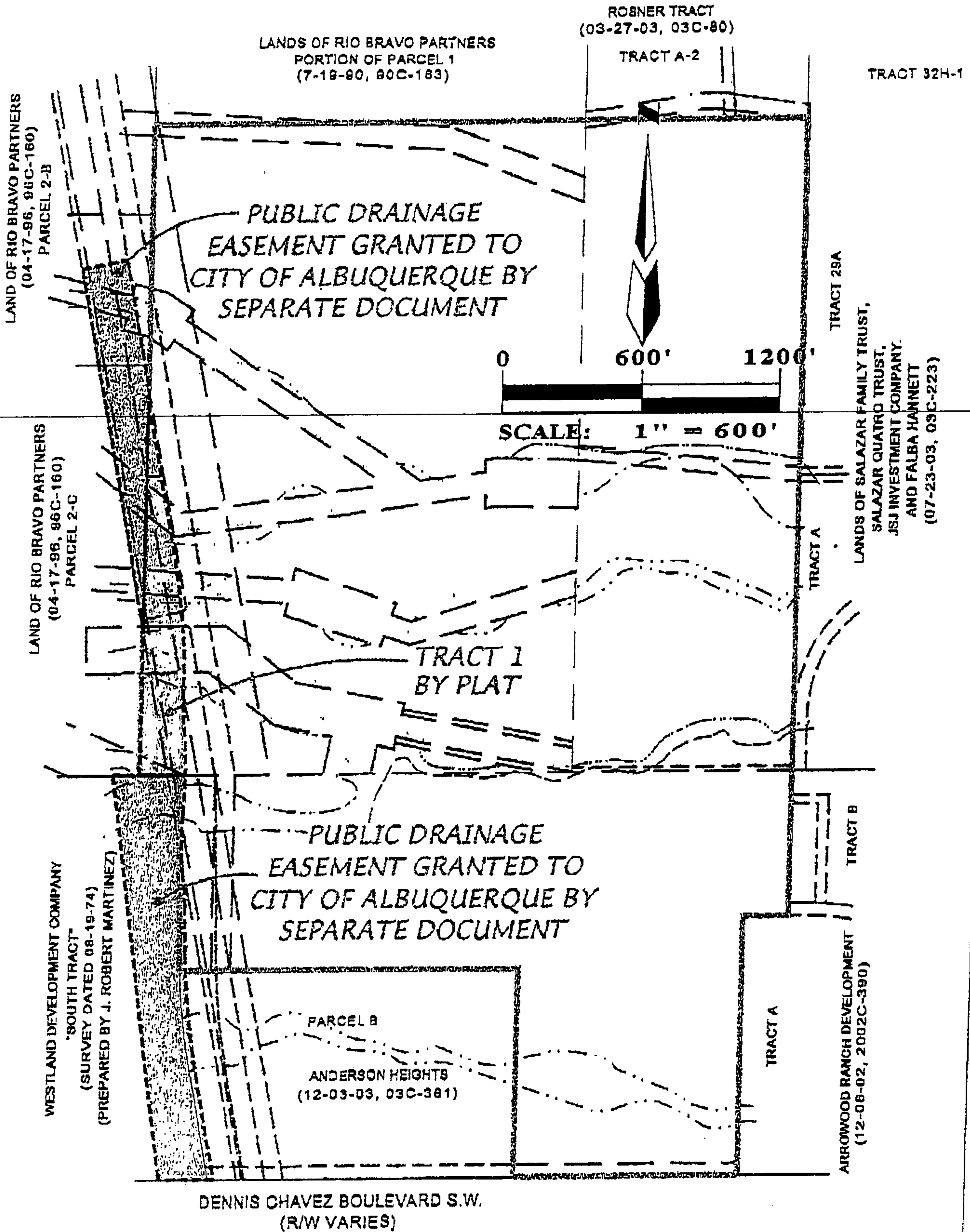
Bern. Co. EASE

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Page: 5 of 6
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DENNIS CHAVEZ BOULEVARD
SHEET 3 OF 4

EXHIBIT A



Mary Herrera

Bern. Co. ERSC

R 19.00

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Page: 6 of 6

04/28/2005 02:11P

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HEET 4 OF 4



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

April 13, 1994

James D. Hughes
Community Science
P.O. Box 1328
Corrales, NM 87048

RE: ENGINEER CERTIFICATION FOR FINANCIAL GUARANTEE RELEASE FOR
PARKWAY SUBDIVISION UNIT 4 & UNIT 5 (H9-D1A1) CERTIFICATION
STATEMENTS DATED 3/29/94.

Dear Mr. Hughes:

Based on the information provided on your April 1, 1994 submittal, Engineer Certification for the above referenced sites is acceptable for financial guarantee release.

If I can be of further assistance, please feel free to contact me at 768-2667.

Sincerely,

Bernie J. Montoya, CE
Engineering Associate

BJM/d1/WPHYD/8456

c: Andrew Garcia
Lynda Michelle DeVanti
File

49/DIA1

Project Title: Parkway Subdivision, Unit 4

Zone Atlas/Drng. File #: J-9-Z

COA Project No.: 4442.94

EPC #:

Work Order #:

Legal Description:

____ Address: Ladera NW & Unser Blvd. NW

Engineering Firm: Community Sciences

Address: n/a

Contact: D. Hughes

Phone: 897-0000

Owner: Sivage Thomas Homes, Inc.

Address: 5141 Masthead N.E., Alb. NM 87109

Contact: Ellery A. Biathrow, Jr., P.E.

Phone: 821-3511

Architect: n/a

Address: n/a

Contact: n/a

Phone: n/a

Surveyor: n/a

Address: n/a

Contact: n/a

Phone: n/a

Contractor: n/a

Address: n/a

Contact: n/a

Phone: n/a

Type of Submittal:

____ Drainage Report

____ Drainage Plan

____ Conceptual Grading & Drainage Plan

____ Grading Plan

____ Erosion Control Plan

X Engineer's Certification

____ Other

____ Drainage Report

Check Type of Approval Sought:

____ Sketch Plat Approval

____ Preliminary Plat Approval

____ S. Dev. Plan for Sub'd. Approval

____ S. Dev. Plan for Bldg. Permit Approval

____ Sector Plan Approval

____ Final Plat Approval

____ Foundation Permit Approval

____ Building Permit Approval

____ Certificate of Occupancy Approval

____ Grading Permit Approval

____ Paving Permit Approval

____ S.A.D. Drainage Report

____ Drainage Requirements

X Other Final Approval, Drainage

Subd. Cert

Pre-Design Meeting:


____ Yes

____ No

____ Copy Provided

Date Submitted: 04-01-94

By: Ellery A. Biathrow, Jr., P.E.



APR - 1 1994

Project Title: Parkway Subdivision, Unit 5

Zone Atlas/Drng. File #: J-9-Z

COA Project No.: 4442.95

EPC #:

Work Order #:

Legal Description:

____ Address: Ladera NW & Unser Blvd. NW

Engineering Firm: Community Sciences
Address: n/a

Contact: D. Hughes
Phone: 897-0000

Owner: Sivage Thomas Homes, Inc.
Address: 5141 Masthead N.E., Alb. NM 87109

Contact: Ellery A. Biathrow, Jr., P.E.
Phone: 821-3511

Architect: n/a
Address: n/a

Contact: n/a
Phone: n/a

Surveyor: n/a
Address: n/a

Contact: n/a
Phone: n/a

Contractor: n/a
Address: n/a

Contact: n/a
Phone: n/a

Type of Submittal:

- ____ Drainage Report
____ Drainage Plan
____ Conceptual Grading & Drainage Plan
____ Grading Plan
____ Erosion Control Plan
 X Engineer's Certification
____ Other
____ Drainage Report

Check Type of Approval Sought:

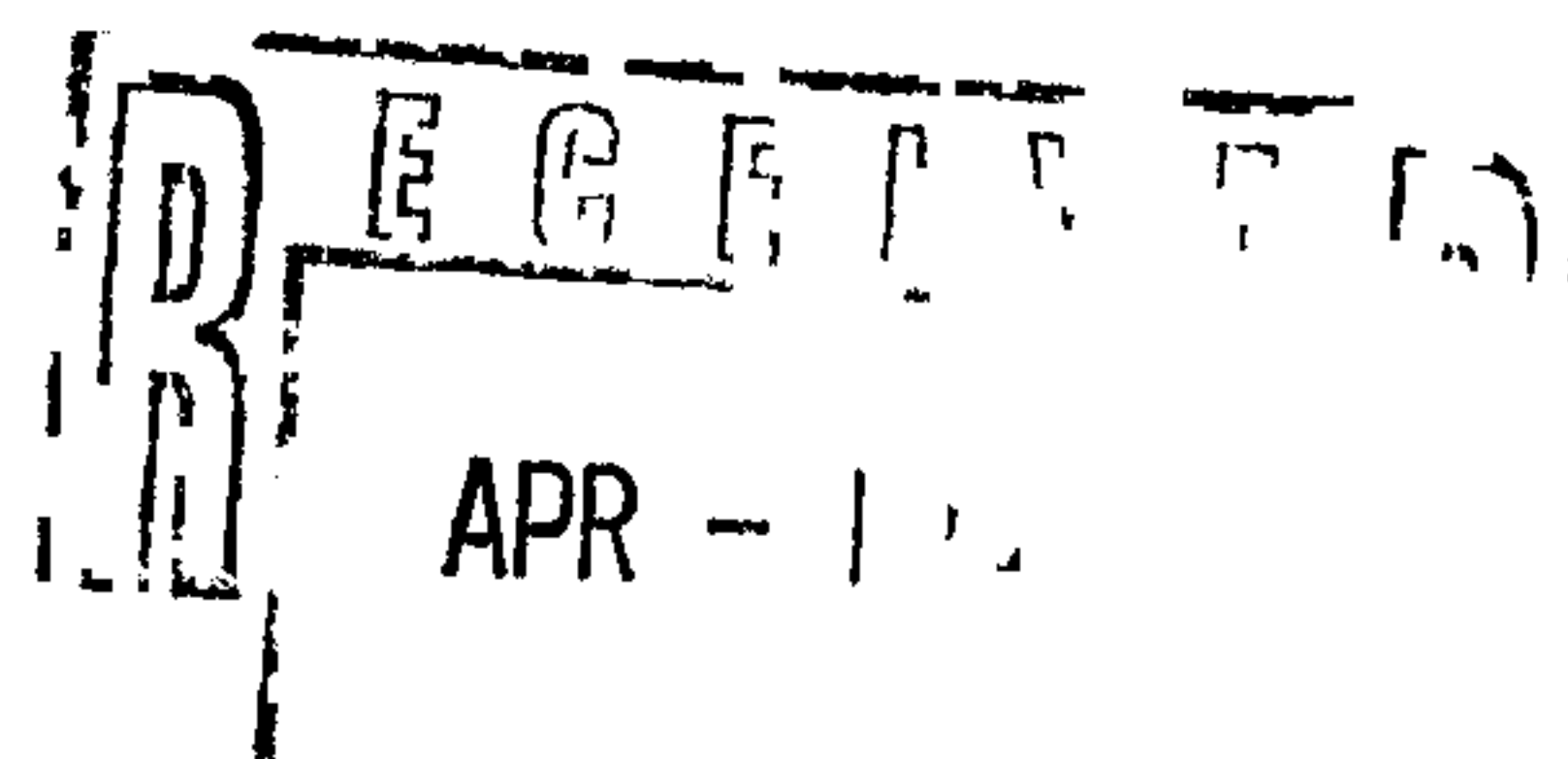
- ____ Sketch Plat Approval
____ Preliminary Plat Approval
____ S. Dev. Plan for Sub'd. Approval
____ S. Dev. Plan for Bldg. Permit Approval
____ Sector Plan Approval
____ Final Plat Approval
____ Foundation Permit Approval
____ Building Permit Approval
____ Certificate of Occupancy Approval
____ Grading Permit Approval
____ Paving Permit Approval
____ S.A.D. Drainage Report
____ Drainage Requirements
 X Other Final Approval, Drainage

Pre-Design Meeting:

- ____ Yes
____ No
____ Copy Provided

Date Submitted: 04-01-94

By: Ellery A. Biathrow, Jr., P.E.



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 93.8 \\
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 1.7 \\
 3 \\
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City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

March 16, 1994

CERTIFICATE OF COMPLETION AND ACCEPTANCE

Ellery A. Biathow, Jr.,
Sivage Thomas Homes, Inc.
5141 Masthead N.E.
Albuquerque, NM 87109

**RE: PROJECT NO. 4442.8A PARKWAY SUB'D UNIT V
(MAP H-9)**

Dear Mr. Biathow:

This is to certify that the City of Albuquerque accepts Project No. 4442.8A as being completed according to approved plans and construction specifications.

Please be advised this certificate of completion and acceptance shall only become effective upon final plat approval and filing in the office of the Bernalillo County Clerk's Office.

The project is described as follows:

- Parkway Unit 5 entailed water, sanitary sewer, curb & gutter, and paving improvements for all of Stony Brook Road, portions of Ladera Drive, Parkway Drive, and Somerset Drive.
- Item which is outstanding on this project is the plant mix seal item no. 0329.01. This item cannot be placed due to temperature restrictions per city standard specifications. This item will be done with Parkway Unit 6.

The contractor's correction period begins the date of this letter and will be effective for a period of one (1) year.

Sincerely,

Rick Roybal, P.E.
City Engineer,
Engineering Group
Public Works Department

Sincerely,

Russell B. Givler, P.E.
Chief Construction Engineer,
Engineering Group
Public Works Department

Certificate of Completion and Acceptance

March 16, 1994

Page 2

cc: Community Sciences Corp.
C.C.M., Inc.
Fred Myers Construction
~~Fred~~ Aguirre, Engineering Group, PWD
Lynda Michelle DeVanti, Engineering Group, PWD
Terri Martin, Engineering Group, PWD
Martin Barker, Engineering Group, PWD
Steve Gonzales, Special Assessments, DFM
A.N. Gaume, Operations Group, PWD
Sam Hall, Operations Group, PWD
Jim Fink, Operations Group, PWD
Ray Chavez, Engineering Group, PWD
Stuart Reeder, Water/Wastewater Group, PWD
Dave Parks, Engineering Group, PWD
Bill Coleman, Engineering Group, PWD
Josie Gutierrez, New Meter Sales, Finance Group, PWD
Richard Zamora, Engineering Group, PWD
f/Project No. 4442.8A
f/Readers
f/Warranty:Contract



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

October 19, 1993

Steve Crawford, P.E.
Community Sciences Corporation
Post Office Box 1328
Corrales, New Mexico 87048

RE: ENGINEER'S CERTIFICATION FOR PARKWAY UNIT THREE (H9-D1A1)
ENGINEER'S STAMP DATED SEPTEMBER 19, 1993.

Dear Mr. Crawford:

Based on the information provided on the referenced submittal received September 29, 1993, the plan meets the requirements for financial guarantee release as identified on the infrastructure list.

Please void the letter regarding certification acceptance for Unit Four dated October 14, 1993.

If you should have any questions, please do not hesitate to call me at 768-2650.

Cordially,

Gilbert Aldaz, P.E. & P.S.
Civil Engineer/Hydrology

xc: Lynda Michelle DeVanti, DRC

GA/WPHYD/363

File

PUBLIC WORKS DEPARTMENT



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

October 14, 1993

Steve Crawford, P.E.
Community Sciences Corporation
Post Office Box 1328
Corrales, New Mexico 87048

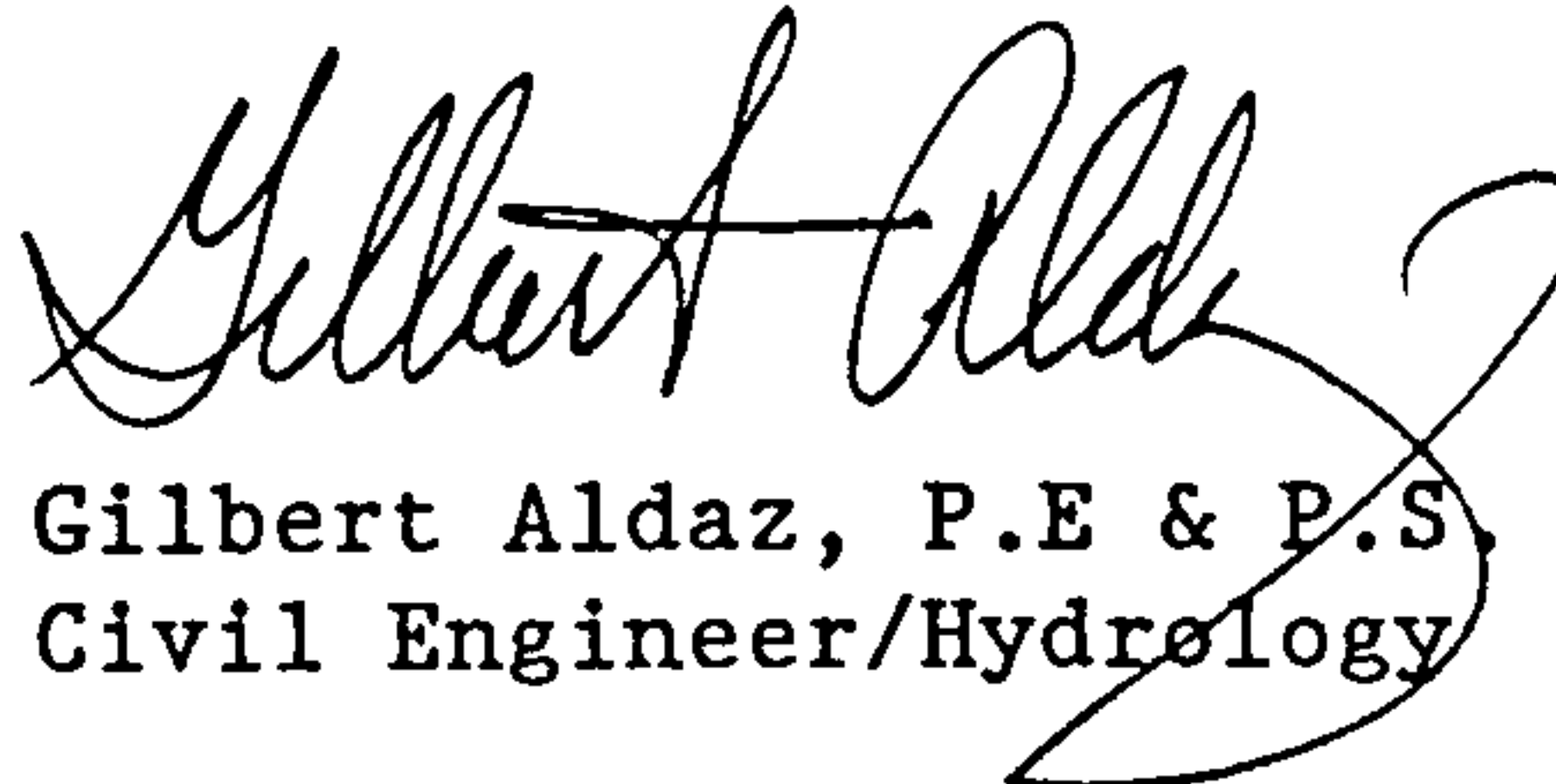
RE: ENGINEER'S CERTIFICATION FOR PARKWAY UNIT FOUR (H9-D1A1)
ENGINEER'S STAMP DATED SEPTEMBER 19, 1993.

Dear Mr. Crawford:

Based on the information provided on the referenced submittal received September 29, 1993, the plan meets the requirements for financial guarantee release as identified on the infrastructure list.

If you should have any questions, please do not hesitate to call me at 768-2650.

Please void the letter regarding certification acceptance for Unit Four dated October 14, 1993. Cordially,


Gilbert Aldaz, P.E. & P.S.
Civil Engineer/Hydrology

xc: Clifford E. Anderson, AMAFCA
Fred Aguirre, City Hydrologist

GA/WPHYD/363

File

PUBLIC WORKS DEPARTMENT

January 18, 1993

Mr. Gilbert Aldaz, P.E. & P.S.
Public Works Department, Hydrology Department
City of Albuquerque
Post Office Box 1293
Albuquerque, New Mexico 87103

Reference: Parkway Unit 3 Subdivision (COA Project No. 4449.92, DRB No. 91-222)

Dear Gilbert:

Please find enclosed the following:

- Drainage Information Sheet
- Your DRC Plan "Mark Ups"
- Final Construction Plans

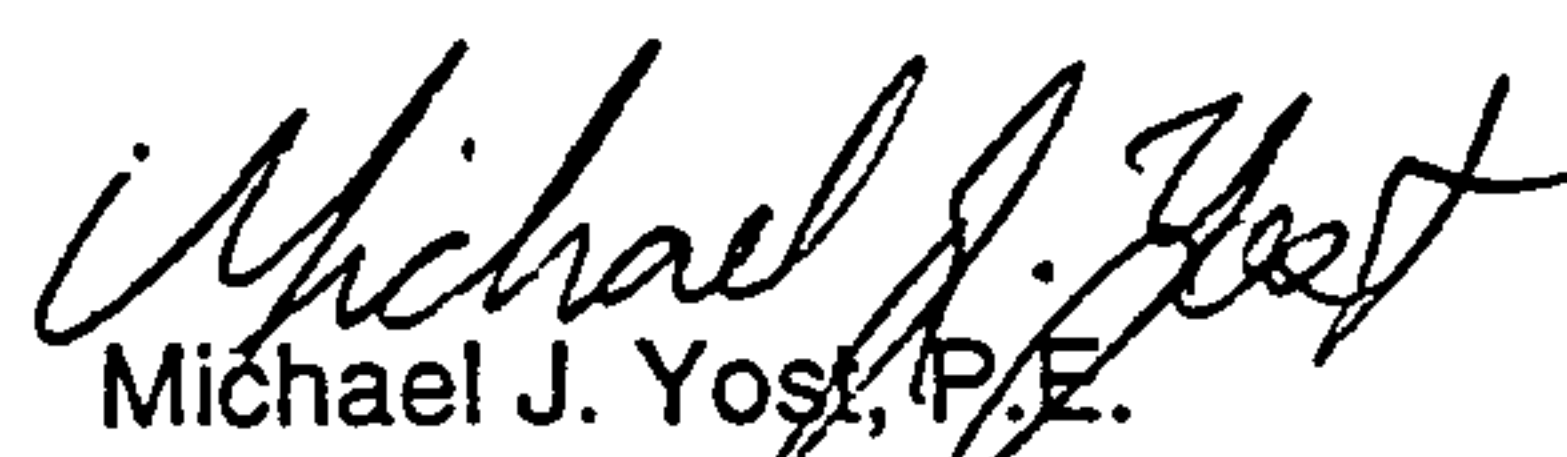
The grading and drainage elements of the plans are in complete accordance with the "Master Drainage Management Plan for Parkway Subdivision," originally submitted in September 1991, with final submittal in April 1992. All hydraulic calculations are on the plans.

A copy of the plans has been submitted to AMAFCA for their review and approval. A conceptual channel design which included lot grades for Units 3 and 4 was submitted to AMAFCA in early December, 1991.

My clients, Sivage Thomas Homes, Inc., take exception to your DRC comment regarding "hardlining" the temporary diversion along the southerly boundary of Unit 3. This diversion is designed to accommodate undeveloped off-site runoff from the southwest and some flow off of Ladera Drive, as was the case for Units 1 and 2. We respectfully request that you reconsider this comment.

If you have any questions, or wish to discuss this matter further, please do not hesitate to call me at 897-0000.

Very truly yours,


Michael J. Yost, P.E.
Vice President

Enclosures

CC: Mr. Jim Powell, Sivage Thomas Homes, Inc.

MJY:pm

CSC#143-12-050 - JAN-031.LET

SURVEYING
LAND PLANNING
CIVIL ENGINEERING
DEVELOPMENT CONSULTANTS

DRAINAGE INFORMATION SHEET

PROJECT TITLE: Parkway Subdivision Unit 3 ZONE ATLAS/DRNG. FILE#: H-9 & J-9LEGAL DESCRIPTION: Unplatted Land In Sections 9 & 16, T10N, RZE (58.1 Acres)CITY ADDRESS: West side of Unser Boulevard NW between I-40 and Ladera Drive NWENGINEERING FIRM: Community Sciences Corporation CONTACT: Michael Yost, P.E.
ADDRESS: PO Box 1328-Corralles, NM 87048 PHONE: 897-0000OWNER: Sivage Thomas Homes, Inc. CONTACT: Larry Collins
ADDRESS: 3807 Atrisco, NW, Alb., NM 87120 PHONE: 836-7400ARCHITECT: N/A CONTACT: N/A
ADDRESS: N/A PHONE: N/ASURVEYOR: Community Sciences Corporation CONTACT: C. A. Spirock, L.S.
ADDRESS: PO Box 1328-Corralles, NM 87048 PHONE: 897-0000CONTRACTOR: N/A CONTACT: N/A
ADDRESS: N/A PHONE: N/A

PRE-DESIGN MEETING:

☒ YES
☐ NO
☒ COPY OF CONFERENCE RECAP
SHEET PROVIDED

DRB NO. 91-0222
EPC NO. _____
PROJ. NO. 4449 92

TYPE OF SUBMITTAL:

☒ DRAINAGE REPORT
☒ DRAINAGE PLAN
☐ CONCEPTUAL GRADING &
DRAINAGE PLAN
☒ GRADING PLAN
☒ EROSION CONTROL PLAN
☐ ENGINEER'S CERTIFICATION

CHECK TYPE OF APPROVAL SOUGHT:

☐ SKETCH PLAT APPROVAL
☐ PRELIMINARY PLAT APPROVAL
☐ SITE DEVELOPMENT PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ BUILDING PERMIT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY
APPROVAL
☒ ROUGH GRADING PERMIT APPROVAL
☐ GRADING/PAVING PERMIT APPROVAL
☒ OTHER (SPECIFY) - Work Orders

DATE SUBMITTED: January 19, 1993BY: Community Sciences CorporationMichael J. Yost, P.E.



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

143-12-090

FEB 1 1993

DESIGN REVIEW COMMITTEE MEETING

01-27-93

2:30 P.M.

PROJECT: Parkway Subdivision Unit 3

Project No. 4442.92

CONSULTANT: Community Sciences

PRESENT: *BG* Billy Goolsby, DRC Chairman
✓ Ed Adams, Transportation Development
✓ Gilbert Aldaz, Hydrology
✓ Mike Yost, Consultant
Jim Powell, Sivage-Thomas
✓ Stuart Reeder, Utility Development

COMMENTS:

1. Gilbert Aldaz provided verbal comments that the Consultant responded to. An agreement for maintenance will need to be established between the Developer and AMAFCA. AMAFCA's approval will be required for the channel adjacent to the site. Mark-ups were also provided.
2. Ed Adams provided verbal comments and mark-ups.
3. Stuart Reeder asked if the waterline was to go over or under the Ladera crossing. The Consultant said it is to go under and will be provided with the channel design.

The Consultant will make appropriate corrections and submit the mylars and five (5) sets of plans to the Master Scheduler to schedule a signature session.

BG:vgl(WP+125455)

JAN 20 1993



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

DESIGN REVIEW COMMITTEE MEETING

01-08-93

9:00 A.M.

PROJECT: Parkway Subdivision Unit 3

Project No. 4442.92

CONSULTANT: Community Sciences

PRESENT: *BG* Billy Goolsby, DRC Chairman
Gilbert Aldaz, Hydrology
Bob Kane, Utility Development
Mike Yost, Consultant
Jim Powell, Sivage-Thomas

COMMENTS:

1. Gilbert Aldaz, Hydrology, requested the submittal of a drainage report for approval. He also, provided verbal comments and mark-ups. The Consultant noted and responded to the verbal comments.
2. AMAFCA approval and a drainage covenant are required for final sign-off by Hydrology.
3. Bob Kane, Utility Development, provided verbal comments that were addressed by the Consultant. He also provided mark-ups.
4. The DRC Chairman provided mark-ups with minor comments.
5. No other representation was present. The Consultant was advised that late comments may be supplied.

The Consultant will incorporate the appropriate revisions or additions from the comments received and submit the mylars, along with five (5) sets of prints and the mark-ups provided, to the Master Scheduler to schedule a final review/ sign-off session.

BG:vgl(WP+125455)

COMMUNITY SCIENCES CORPORATION

P.O. Box 1328
CORRALES, NEW MEXICO 87048-1328

LETTER OF TRANSMITTAL

(505) 897-0000

TO

PROJECT REVIEW SECTION

PUBLIC WORKS DEPT.

CITY OF ALBUQUERQUE

DATE	2/2/93	JOB NO.	143-12-040
ATTENTION	TERRY MARTIN		
RE:	PARKWAY UNIT III		
	PROJECT 4442.92		

WE ARE SENDING YOU ☒ Attached ☐ Under separate cover via _____ the following items:

- ☐ Shop drawings ☐ Prints ☐ Plans ☐ Samples ☐ Specifications
☐ Copy of letter ☐ Change order ☒ SEE BELOW

COPIES	DATE	NO.	DESCRIPTION
1	1/27	1.	ED ADAM'S MARK UPS
1	"	2.	STUART REEDER'S MARK UPS
1	"	3.	GILBERT ALDRE'S MARK UPS
5	2/2	4.	PLAN SETS - PRINTS
1	"	5.	MYLARS
1	"	6.	FIG. 7 ESTIMATE ~ UPDATED 2/2/93

THESE ARE TRANSMITTED as checked below:

- ☒ For approval ☐ Approved as submitted ☐ Resubmit _____ copies for approval
☐ For your use ☐ Approved as noted ☐ Submit _____ copies for distribution
☐ As requested ☐ Returned for corrections ☐ Return _____ corrected prints
☐ For review and comment ☐ _____
☐ FOR BIDS DUE _____ 19____ ☐ PRINTS RETURNED AFTER LOAN TO US

REMARKS: PLEASE SCHEDULE FOR NEXT AVAILABLE DRC FOR "SIGN-OFF" SESSION.

COPY TO: Jim Power, STH

SIGNED:

Michael J. York

ESTIMATE SHEET INFRASTRUCTURE IMPROVEMENTS

Quantities and Cost Estimate

Date Prepared: 2/3/93

Agreement Procedure B
(A, B, or C)

D.R.C. Chairman

Date Approved:

Work Order

Date Accepted:

1. APPLICANT INFORMATION:

- a. Developer: Sivage Thomas Homes, Inc.
Mailing Address: 5141 Masthead NE, Albuquerque, NM Zip Code 87109
Phone No.: (505)821-3511
- b. Consulting Engineer: Community Sciences Corporation
Mailing Address: P.O. Box 1328, Corrales, NM Zip Code 87043
Phone No.: (505)897-0000
- c. Person to contact regarding this form: Michael J. Yost, P.E.
Mailing Address: P.O. Box 1328, Corrales, NM Zip Code 87043
Phone No.: (505)897-0000

2. TITLE & GENERAL SCOPE OF PROJECT:

Water, Sewer, Grading, Drainage and Paving Improvements

3. NAME OF SUBDIVISION AND LEGAL DESCRIPTION OF PROPERTY TO BE SERVED:

Parkway Phase III: A portion of unplatted lands situated in the Town of Atrisco Grant (Lands of Westland Development Co., Inc.) within "projected" Sections 9 & 16, T10N, R2E, N4PM, City of Albuquerque, Bernalillo County, New Mexico

4. Specific Location:	From	To	5. W	SAS	SD	P	Misc.
Ladera Blvd.	Immediately adjacent		X	X		X	
Parkway Drive	End Phase II to proposed AMAFCA channel		X			X	
Glenbrook Place	Parkway to end		X	X		X	
Lynnhaven Place	Parkway to end		X	X		X	

6. Item No.	7. Short Description	8. Est. Unit Price	9. Est. Quantity	10. Est. Amount	11. As-Built Quantity	12. As-Built Amount
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See attached sheets

Estimate Sheet

If retyped, use 8 1/2" x 11" paper only

REV. 11-89

ENGINEER'S ESTIMATE
PARKWAY SUBDIVISION PHASE III

ITEM	SHORT DESCRIPTION	ESTIMATED QUANTITY	UNIT PRICE	ESTIMATED AMOUNT	AS-BUILT QUANTITY	AS-BUILT AMOUNT
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PAVING ITEMS

0019.01	TRAFF CONT & BARR, JOB	1	\$100.00	\$100.00		
0301.02	SUBGRADE PREP, ART 12", SY	736	\$1.20	\$883.20		
0301.03	SUBGRADE PREP, RES 6", SY	3600	\$1.00	\$3,600.00		
0302.01	GRVL BS, 6", SY	736	\$3.50	\$2,576.00		
0303.01	SUBBS, 4", SY	3080	\$1.00	\$3,080.00		
0329.01	SEAL CT, PM, 5/8", SY	683	\$1.80	\$1,229.40		
0336.02	1 1/2" AC BS, 1500, M, SY	3080	\$3.00	\$9,240.00		
0336.04	2 1/2" AC BS, 1500, M, SY	683	\$4.75	\$3,244.25		
0336.12	TK CT, SY	3763	\$0.22	\$827.86		
0336.14	1 1/2" AC SFC, 1500, M, SY	3080	\$2.90	\$8,932.00		
0336.17	1 1/2" AC SCF, 1800, M, SY	683	\$3.05	\$2,083.15		
0340.01	SDWK, 4" PCC, SY	453	\$20.70	\$9,377.10		
0340.03	VLV GUT & CURB, PCC, SY	124	\$36.00	\$4,464.00		
0340.05	C & G, STD, PCC, LF	1580	\$8.70	\$13,746.00		
0340.09	ROLL CURB, PCC, LF	1105	\$7.70	\$8,508.50		
0341.0X	CONC CURB, M EXTD, LF	267	\$3.00	\$801.00		
0510.10	CUT OFF WALL, PCC, CY	2	\$250.00	\$500.00		

SUBTOTAL PAVING ITEMS

\$73,192.46

SANITARY SEWER ITEMS

0701.01	TRCHG, BF & COMP, 4-15" SAS, <8', LF	1514	\$8.90	\$13,474.60		
0901.03	8" PVC SDR35 PIPE, SAS, LF	1245	\$5.50	\$6,847.50		
0901.05	12" PVC SDR35 PIPE, SAS, LF	269	\$10.00	\$2,690.00		
0901.50	MH CONN, <15", EA	2	\$300.00	\$600.00		
0905.05	4" CISP, SAS, LF	38	\$5.50	\$209.00		
0920.07	MH, 4' DIA, C OR E, 6'-10' D, EA	4	\$1,400.00	\$5,600.00		

SUBTOTAL SANITARY SEWER ITEMS

\$29,421.10

WATER LINE ITEMS

0801.02	6" PVC C-900 PIPE, WL, LF	520	\$9.00	\$4,680.00		
0801.03	8" PVC C-900 PIPE, WL, LF	1182	\$12.00	\$14,184.00		
0801.59	NON PRESS CONN, W/FIT, WL, EA	3	\$500.00	\$1,500.00		
0801.65	CI/DIT FIT, MJ, 4-14", WL, LB	1465	\$2.20	\$3,223.00		
0801.69	CAP, CI/DI, 4-6", WL, EA	3	\$60.00	\$180.00		
0801.81	6" GATE VLV, EA	1	\$450.00	\$450.00		
0801.82	8" GATE VLV, EA	2	\$650.00	\$1,300.00		
0801.113	FH, 4', EA	2	\$1,100.00	\$2,200.00		
0802.76	3/4" NS WTR LN, SS, NWM, EA	2	\$380.00	\$760.00		
0802.70	3/4" NS WTR LN, DS, NWM, EA	18	\$570.00	\$10,260.00		

SUBTOTAL WATER ITEMS

\$38,737.00

**ENGINEER'S ESTIMATE
PARKWAY SUBDIVISION PHASE III**

ITEM	SHORT DESCRIPTION	ESTIMATED QUANTITY	UNIT PRICE	ESTIMATED AMOUNT	AS-BUILT QUANTITY	AS-BUILT AMOUNT
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DRAINAGE ITEMS

0603.03	PLAIN RIPRAP, CY	13	\$45.00	\$585.00		
0603.04	GVL FILTER MTL, CY	7	\$20.00	\$140.00		
0701.10	TRCHG, BF & COMP, 18-36" SAS, <8', LF	497	\$11.00	\$5,467.00		
0701.11	TRCHG, BF & COMP, 18-36" SAS, 8-12', LF	141	\$13.00	\$1,833.00		
0701.2X	TRCHG, BF & COMP, >36" SAS, <8', LF	114	\$23.00	\$2,622.00		
0910.05	18" RCP, III, IN OPEN TRENCH, C.I.P., LF	64	\$21.00	\$1,344.00		
0910.09	24" RCP, III, IN OPEN TRENCH, C.I.P., LF	276	\$26.00	\$7,176.00		
0910.17	36" RCP, III, IN OPEN TRENCH, C.I.P., LF	298	\$46.00	\$13,708.00		
0910.19	42" PCP, III, IN OPEN TRENCH, C.I.P., LF	114	\$55.00	\$6,270.00		
0915.1X	CMP RISER, PER DETAIL, EA	1	\$1,000.00	\$1,000.00		
0915.XX	CTH BSN, A, DG, DBLE THROAT, EA	2	\$2,600.00	\$5,200.00		
0920.07	MH, 4' DIA, D, 6-10', EA	1	\$1,400.00	\$1,400.00		
0920.13	MH, 6' DIA, C <6' D, EA	1	\$1,700.00	\$1,700.00		
0920.14	MH, 6' DIA, C, 6-10', EA	3	\$2,300.00	\$6,900.00		
0920.21	MH, 8' DIA, COST OVER 4' DIA, VF	7	\$300.00	\$2,100.00		

SUBTOTAL DRAINAGE ITEMS				\$45,454.00		
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TRAFFIC ITEMS

0420.XX	STREET LIGHT, EA	3	\$1,500.00	\$4,500.00		
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SUBTOTAL TRAFFIC ITEMS				\$4,500.00		
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TOTAL PAVING, SANITARY SEWER, WATER LINE, TRAFFIC AND DRAINAGE ITEMS				\$191,304.56		
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DEFERRED ITEMS

0340.01	SDWK, 4", PCC, SY	829	\$19.80	\$16,414.20		
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SUBTOTAL DEFERRED ITEMS				\$16,414.20		
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13. Subtotal
N.M.G.R.T. 5.5%
Contingencies 10%
Engineering Fee % ..
Testing Fee 2%

Total Construction Cost ..

Amount of DESIGN DEPOSIT FEE (Figure 4) paid: \$

14. (Procedure C only)

CITY-TO-PAY		DEVELOPER-TO-PAY	
CONST.	\$		\$
CONT.			
ENG.			
TESTING			
SUB-TOTALS	\$		\$

TOTAL CITY COST: \$

TOTAL DEVELOPER COST: \$

15. Required Information (to be completed by City Project Review Section)

- Outstanding Pro-rata: _____
(See outstanding Pro-Rata Charge Form, Figure 8).
- This work shall be done in accordance with the City of Albuquerque Standard Specifications for Public Works Construction 1986.
- If Work Order is not issued within one (1) year of D.R.C. Chairman's Approval (Item 17), then this document must be revised and resubmitted prior to entering into construction contract.
- Recorded Plat _____ Recording No. _____
- Types of easements required _____
- N.M.S.H.D. Permit Required _____
- Other Permits Required: _____

Work Order Excavation Ordinance Permits

Sanitary Sewer Lines.....	Block(s)	@	\$42.00 =	
Sewer Services (see NOTE 1).....	Each	@	\$42.00 =	
Water Lines.....	Block(s)	@	\$42.00 =	
Storm Drainage Facilities.....	Block(s)	@	\$42.00 =	
Street Grading.....	Block(s)	@	\$N.C. =	N C
Curb & Gutter.....	Block(s)	@	\$42.00 =	
Valley Gutter.....	Block(s)	@	\$42.00 =	
Drive Pads (see NOTE 2).....	Block(s)	@	\$42.00 =	
Wheelchair Ramps (see NOTE 3).....	Block(s)	@	\$42.00 =	
Sidewalk (unless deferred).....	Block(s)	@	\$42.00 =	

Subtotal =

NOTE 1 - No charge if these are constructed in conjunction with a new sewer line.

NOTE 2 - No charge if these are constructed contiguous with curb & gutter at time of Work Order.

NOTE 3 - No charge if these are constructed contiguous with sidewalk at time of Work Order.

*****FOR CONSTRUCTION*****

19. RECEIPT OF FEES (Procedures "A" and "B")

Outside funds for City fees in the amount of \$_____ have been received.

Project Administrator /Date

20. RECEIPT OF DEVELOPER COSTS (Procedure "C" only)

Outside funds in the amount of \$_____ have been received in accordance with Procedure "C" Agreement between City and Developer for this Project and are to be expended as described in said Agreement. These funds have been credited to

- Account - Project/Activity

Project Administrator /Date

21. APPROVED FOR CONSTRUCTION

City Engineer-Design/Construct Division /Date

22. WORK ORDER RECEIVED:

PROPOSED STARTING DATE:

Contractor /Date

FOR ACCEPTANCE

23. RECOMMENDED:

Chief Construction Engineer /Date
/Construction Mgmt. Div.

*****FOR CONSTRUCTION*****

19. RECEIPT OF FEES (Procedures "A" and "B")

Outside funds for City fees in the amount of \$_____ have been received.

Project Administrator /Date

20. RECEIPT OF DEVELOPER COSTS (Procedure "C" only)

Outside funds in the amount of \$_____ have been received in accordance with Procedure "C" Agreement between City and Developer for this Project and are to be expended as described in said Agreement. These funds have been credited to

to - Account - Project/Activity

Project Administrator /Date

21. APPROVED FOR CONSTRUCTION

City Engineer-Design/Construct Division /Date

22. WORK ORDER RECEIVED:

PROPOSED STARTING DATE:

Contractor /Date

FOR ACCEPTANCE

23. RECOMMENDED:

Chief Construction Engineer /Date
/Construction Mgmt. Div.

DRAINAGE INFORMATION SHEET

PROJECT TITLE: Parkway Unit 3 ZONE ATLAS/DRNG. FILE #: H-9 / Δ / A 1
Parkway Unit 3 Subdivision
 LEGAL DESCRIPTION: _____
 CITY ADDRESS: Ladera Blvd. & Unser Blvd.
 ENGINEERING FIRM: Community Sciences Corp. CONTACT: Steve Crawford
 ADDRESS: P.O. Box 1328, Corrales, NM PHONE: 897-0000
87048
 OWNER: Sivage Thomas Homes CONTACT: Ellery Baithrow
 ADDRESS: 5141 Masthead NE Alb., NM PHONE: 821-3511
87109
 ARCHITECT: N/A CONTACT: _____
 ADDRESS: _____ PHONE: _____
 SURVEYOR: Same as Engineer CONTACT: _____
 ADDRESS: _____ PHONE: _____
 CONTRACTOR: CCM CONTACT: Tom Kryfko
 ADDRESS: 8019 Edith NE Alb., NM 87113 PHONE: 898-7777

PRE-DESIGN MEETING:

☐ YES DRB NO. _____
☒ NO EPC NO. _____
☐ COPY OF CONFERENCE RECAP SHEET PROVIDED PROJ. NO. 4442.92

TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT
☐ DRAINAGE PLAN
☐ CONCEPTUAL GRADING AND DRAINAGE PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☒ ENGINEER'S CERTIFICATION

SEP 30

DATE SUBMITTED: September 29, 1993

BY: _____

CHECK TYPE OF APPROVAL SOUGHT:

☐ SKETCH PLAT APPROVAL
☐ PRELIMINARY PLAT APPROVAL
☐ SITE DEVELOPMENT PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ BUILDING PERMIT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY APPROVAL
☐ ROUGH GRADING PERMIT APPROVAL
☐ GRADING/PAVING PERMIT APPROVAL
☒ OTHER Release of Financial (SPECIFY)
Guarantees



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

September 22, 1993

SEP 27 1993

LETTER OF ACCEPTANCE

Ricardo Roybal
City of Albuquerque
P.O. Box 1293
Albuquerque, NM 87103

RE: PROJECT NO. 4442.8 , PARKWAY SUB'D UNIT III

Dear Mr. Roybal:

This is to certify that the construction of the infrastructure listed below has been completed and accepted.

The Project is described as follows:

- This project consists of Water, sanitary sewer and paving improvements on the following streets - Ladera Blvd., Parkway Drive, Glennbrook Place, and Lynnehaven Place.
- There were also storm drain improvements along the West side of Unser and on Ladera Blvd.

Sincerely,

Russell Givler, PE
Chief Construction Engineer
Public Works Department

SEP 30 1993

Letter of Acceptance
September 22, 1993
Page 2

cc: C.C.M.
Sivage Thomas Homes, Inc.
Community Sciences Corp.
Jim Hicks, Engineering Group, PWD
Denise Wilcox, Engineering Group, PWD
Fred Aguirre, Engineering Group, PWD
Lynda Michelle DeVanti, Engineering Group, PWD
Terri Martin, Engineering Group, PWD
Martin Barker, Engineering Group, PWD
Steve Gonzales, Special Assessments, DFM
A.N. Gaume, Operations Group, PWD
Sam Hall, Operations Group, PWD
Jim Fink, Operations Group, PWD
Ray Chavez, Engineering Group, PWD
Stuart Reeder, Water/Wastewater Group, PWD
Dave Parks, Engineering Group, PWD
Bill Coleman, Engineering Group, PWD
Josie Gutierrez, New Meter Sales, Finance Group, PWD
Claudia Gallegos, Standby Clerk, Finance Group, PWD
Richard Zamora, Engineering Group, PWD
f/Project No. 4442.8
f/Readers
f/Warranty:Contract

SEP 30 1993

— 0 0 0 1 —

H9 - 1A1

MEMORANDUM OF UNDERSTANDING

between

SIVAGE THOMAS HOMES, INC. and AMAFCA

pertaining to

(PARKWAY - UNITS 3 and 4)

On Friday, January 29, 1993, a meeting was held in the office of Mr. Fred Aguirre of the Hydrology Section of the Public Works Department of the City of Albuquerque, New Mexico. Present at the meeting with Mr. Aguirre were:

Gilbert Aldaz -	Hydrology Section of the Public Works Department
Cliff Anderson -	AMAFCA
Larry Collins -	Sivage Thomas Homes, Inc.
Jim Powell -	Sivage Thomas Homes Inc.

The subject of the meeting was to conclude any drainage issues and allow Sivage Thomas Homes, Inc. to proceed with development of PARKWAY - UNIT 3 as approved by the City of Albuquerque on the Preliminary Plat and Infrastructure List at its Development Review Board (DRB) meeting on October 8, 1991.

The development of Parkway Unit - 3 requires the installation of a temporary drainage swale (Temporary Swale) adjacent the southern boundary of Unit 3 from Ladera Drive on the west to Unser Boulevard on the east, and the construction of a detention pond adjacent to the southeast corner of Unit 3. These facilities are proposed to be installed within an area defined as a future AMAFCA drainage right of way and are detailed on the construction drawings for the "Improvements For Grading, Paving and Utilities for PARKWAY - UNIT 3" (the Plans) as prepared by Community Sciences Corporation and signed by Mr. Michael Yost, P.E. #9665, on January 18, 1993. The Plans were introduced into the meeting with a brief explanation by Mr. Yost.

Prior to approval of the final plat of PARKWAY - UNIT 3 the City of Albuquerque requires that Sivage Thomas Homes and AMAFCA enter into a maintenance agreement for the Temporary Swale as it is to be constructed within the area to be dedicated to AMAFCA with the development of PARKWAY - UNIT 4. The City of Albuquerque requires the approval of AMAFCA on sheet 4 of the Plans entitled "Parkway - Unit 3, Grading and Erosion Control Plan" prior to the issuance of a Rough Grading Approval. Also, prior to the recording of the Final Plat of PARKWAY - UNIT 3, the City of Albuquerque requires that AMAFCA concur with the City's approval of the Plans.

SIVAGE THOMAS HOMES, INC. agrees to construct and maintain the Temporary Swale until such time as either:

1. The construction of the Interim Channel as approved by AMAFCA within the AMAFCA right of way dedicated by the final plat of PARKWAY - UNIT 4, at

I signed off on the final plot
for Unit III, on 4-14-93

the developer has to secure
ANAFCA's signature

[Signature] 4-14-93

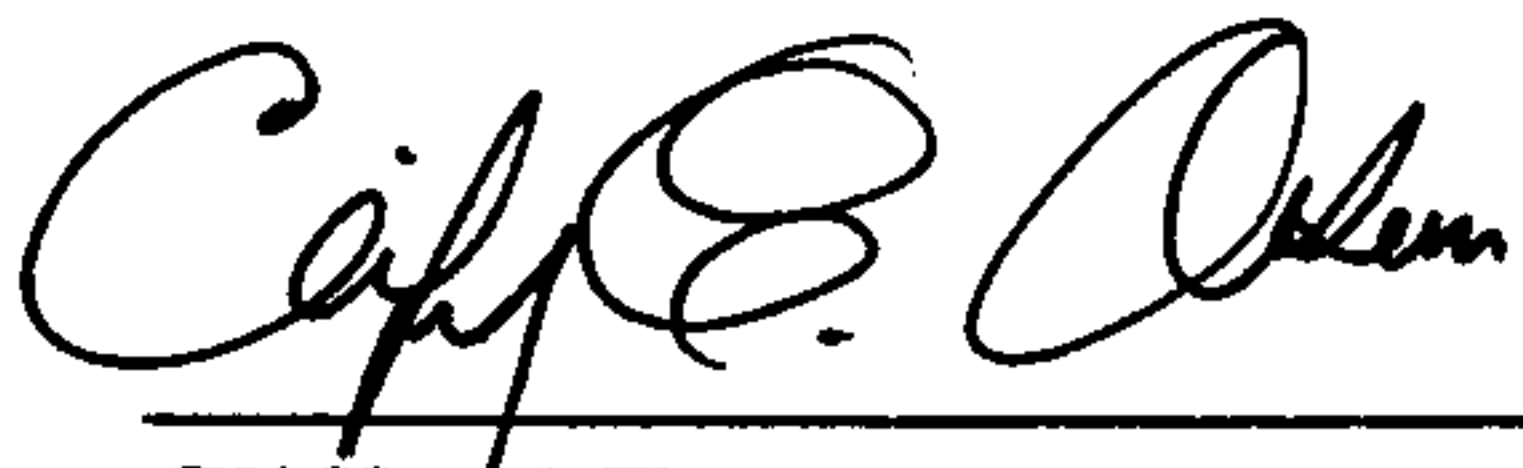
which time a new Maintenance Agreement will be completed which provides for AMAFCA maintenance, subject to approval by AMAFCA's Board of Directors, or

2. If at the expiration of one year from the date of recording of the final plat of PARKWAY - UNIT 3, construction has not commenced on PARKWAY - UNIT 4, then SIVAGE THOMAS HOMES, INC. shall post a financial guarantee with AMAFCA in an amount sufficient to install improvements to the Temporary Swale to prevent erosion from occurring and AMAFCA shall assume maintenance responsibilities, subject to approval by AMAFCA's Board of Directors.

In conclusion, SIVAGE THOMAS HOMES, INC. and AMAFCA will enter into a License Agreement regarding maintenance of the Temporary Swale and WESTLAND DEVELOPMENT CO., INC. will grant the easement required by the Temporary Swale to AMAFCA prior to approval of the final plat of PARKWAY - UNIT 3.

Agreed to:

AMAFCA



Clifford E. Anderson
Drainage Engineer

2/8/93

Date

SIVAGE THOMAS HOMES, INC.



James E. Powell

2/8/93

Date



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

July 7, 1994

Stephen Crawford
Community Sciences Corp.
P.O. Box 1328
Corrales, NM 87048

REVISED ENGINEER CERTIFICATION FOR FINANCIAL GUARANTEE RELEASE FOR
PARKWAY UNIT 6 (H9-D1A1) CERTIFICATION STATEMENT DATED 6/27/94.

Dear Mr. Crawford:

Based on the information provided on your June 29, 1994 resubmittal, Engineer Certification for the above referenced site is acceptable for Financial Guarantee release.

If I can be of further assistance, please feel free to contact me at 768-2667.

Sincerely,

Bernie J. Montoya, CE
Engineering Associate

Andrew Garcia
LyndaMichelle DeVanti

~~File~~

BJM/d1/WPHYD/8456

DRAINAGE INFORMATION SHEET

PROJECT TITLE: Parkway Unit 6 ZONE ATLAS/DRNG. FILE #: H-9-7 and J-9-7 ^{01A1}LEGAL DESCRIPTION: Town of Atrisco Grant "Projected" Section 16, T10N, R2E, NMPMCITY ADDRESS: Intersection of Ladera Drive and Unser Blvd.ENGINEERING FIRM: Community Sciences Corporation CONTACT: _____ADDRESS: P.O. Box 1328, Corrales, N. M. 87048 PHONE: 897-0000OWNER: Sivage Thomas Homes, Inc. CONTACT: W. David SivageADDRESS 5141 Masthead St NE Alb. NM 87109 PHONE: 821-3511

ARCHITECT: _____ CONTACT: _____

ADDRESS: _____ PHONE: _____

SURVEYOR: _____ CONTACT: _____

ADDRESS: _____ PHONE: _____

CONTRACTOR: _____ CONTACT: _____

ADDRESS: _____ PHONE: _____

PRE-DESIGN MEETING:

☐ YES☒ NODRB NO. 91-222

EPC NO. _____

☐ COPY OF CONFERENCE RECAP SHEET PROVIDED PROJ. NO. _____

TYPE OF SUBMITTAL:

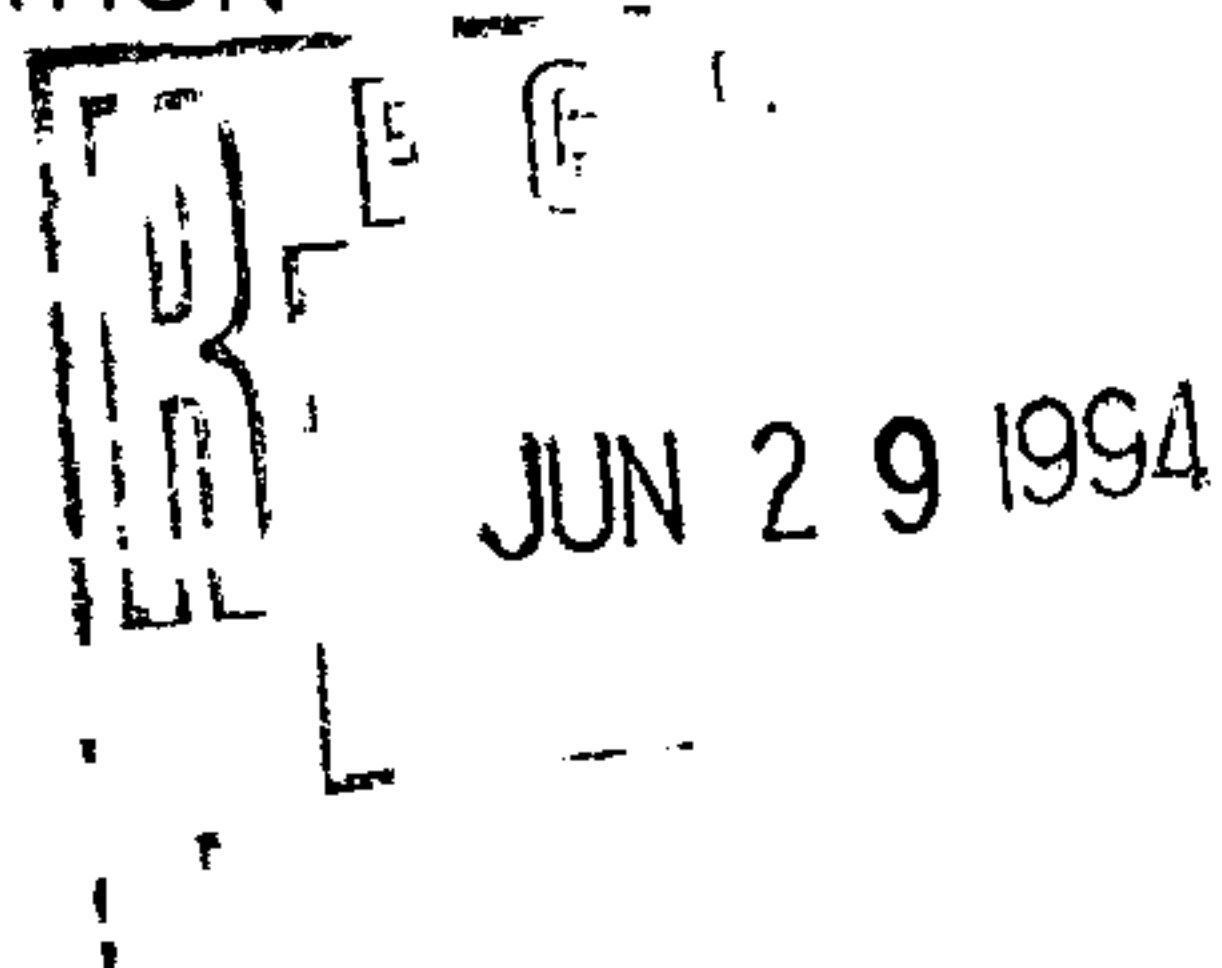
☐ DRAINAGE REPORT☐ DRAINAGE PLAN☐ CONCEPTUAL GRADING AND DRAINAGE PLAN☐ GRADING PLAN☐ EROSION CONTROL PLAN☒ ENGINEER'S CERTIFICATION

CHECK TYPE OF APPROVAL SOUGHT:

☐ SKETCH PLAT APPROVAL☐ PRELIMINARY PLAT APPROVAL☐ SITE DEVELOPMENT PLAN APPROVAL☐ FINAL PLAT APPROVAL☐ BUILDING PERMIT APPROVAL☐ FOUNDATION PERMIT APPROVAL☐ CERTIFICATE OF OCCUPANCY APPROVAL☐ ROUGH GRADING PERMIT APPROVAL☐ GRADING/PAVING PERMIT APPROVAL☒ OTHER Bond Release (SPECIFY)

DATE SUBMITTED: _____

BY: _____



June 27, 1994

Bernie Montoya
COA Hydrology
P.O. Box 1293
Albuquerque, NM 87103

RE: Financial Guarantee Release for Parkway Unit 6

Dear Mr. Montoya:

Attached you will find a revised grading plan for the Parkway Unit 6 development. Per your request, we have included a reference to the certification statement on each page as well as an "As Built" legend.

Please note that the wall referred to in note 2 is referenced on the plan, but the wall is not required by the grading plan. Note 2 has been appended to explain the necessary existence of the weep hole in the garden walls.

If you have any further questions regarding this grading plan, please do not hesitate to call us at (505) 897-0000.

Very truly yours,

John J. Dipollino

JJD/amh

CSC #143-16-677 JUNE039.LET



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

June 9, 1994

Stephen Crawford
Community Sciences Corp.
P.O. Box 1328
Corrales, NM 87048

RE: ENGINEER CERTIFICATION FOR FINANCIAL GUARANTEE RELEASE FOR
PARKWAY UNIT 6 (H9-D1A1) CERTIFICATION STATEMENT DATED 5/17/94.

Dear Mr. Crawford:

Based on the information provided on your May 19, 1994 submittal, listed are some concerns that will need to be addressed prior to financial guarantee release:

1. Certification statement must be included within all the sheets involved with Parkway Unit 6.
2. Please identify on your legend what symbol you are using for the as-built information.
3. Please identify on the plan drawing which wall identified on note 2 is located. Keep in mind that no developed run-off is allowed onto the weep holes.

If I can be of further assistance, please feel free to contact me at 768-2667.

Sincerely,

Bernie J. Montoya, CE
Engineering Associate

BJM/d1/WPHYD/8456

c: ~~File~~

DRAINAGE INFORMATION SHEET

H9/DIA1

PROJECT TITLE: Parkway Unit 6 ZONE ATLAS/DRNG. FILE #: H-9-Z and J-9-ZLEGAL DESCRIPTION: Town of Atrisco Grant "Projected" Section 16, T10N, R2E, NMPMCITY ADDRESS: Intersection of Ladera Drive and Unser Blvd.ENGINEERING FIRM: Community Sciences Corporation CONTACT: _____ADDRESS: P.O. Box 1328, Corrales, N. M. 87048 PHONE: 897-0000OWNER: Sivage Thomas Homes, Inc. CONTACT: W. David SivageADDRESS 5141 Masthead St. NE Alb. NM PHONE: 821-3511
87109

ARCHITECT: _____ CONTACT: _____

ADDRESS: _____ PHONE: _____

SURVEYOR: _____ CONTACT: _____

ADDRESS: _____ PHONE: _____

CONTRACTOR: _____ CONTACT: _____

ADDRESS: _____ PHONE: _____

PRE-DESIGN MEETING:

☐ YES☒ NO☐ COPY OF CONFERENCE RECAP SHEET PROVIDED PROJ. NO. _____

TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT☐ DRAINAGE PLAN☒ CONCEPTUAL GRADING AND DRAINAGE PLAN☐ GRADING PLAN☐ EROSION CONTROL PLAN☐ ENGINEER'S CERTIFICATIONDRB NO. 91-222

EPC NO. _____

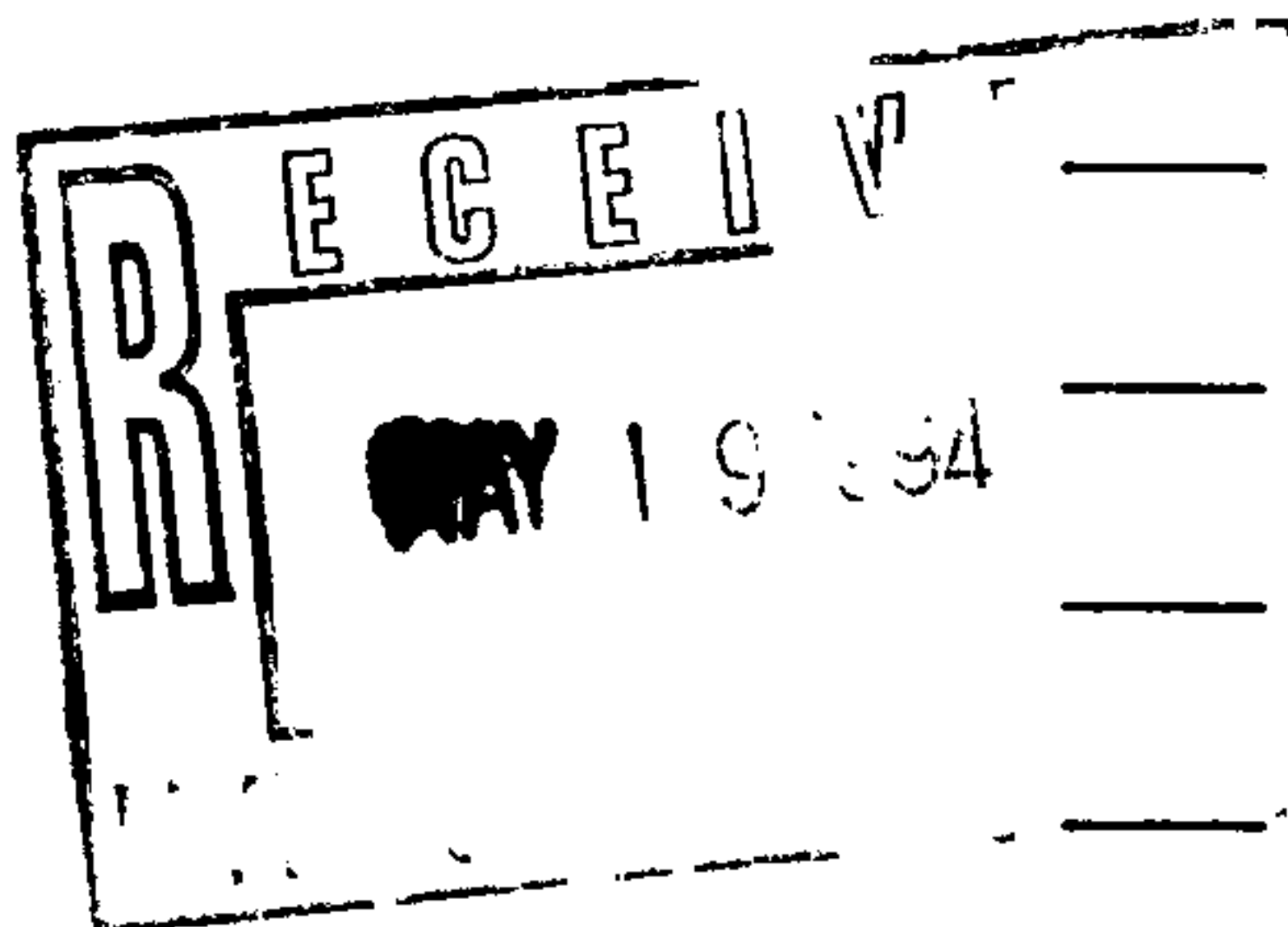
PROJ. NO. _____

CHECK TYPE OF APPROVAL SOUGHT:

☐ SKETCH PLAT APPROVAL☐ PRELIMINARY PLAT APPROVAL☐ SITE DEVELOPMENT PLAN APPROVAL☐ FINAL PLAT APPROVAL☐ BUILDING PERMIT APPROVAL☐ FOUNDATION PERMIT APPROVAL☐ CERTIFICATE OF OCCUPANCY APPROVAL☐ ROUGH GRADING PERMIT APPROVAL☐ GRADING/PAVING PERMIT APPROVAL☒ OTHER _____ (SPECIFY)

DATE SUBMITTED: _____

BY: _____

Resubmittal of plans. Originals
not on file.

DRAINAGE INFORMATION SHEET

PROJECT TITLE: Parkway Unit 6 ZONE ATLAS/DRNG. FILE #: H-9-7 ^{D/1A1} and J-9-ZLEGAL DESCRIPTION: Town of Atrisco Grant "Projected" Section 16, T10N, R2E, NMPMCITY ADDRESS: Intersection of Ladera Drive and Unser Blvd.ENGINEERING FIRM: Community Sciences Corporation CONTACT: _____ADDRESS: P.O. Box 1328, Corrales, N. M. 87048 PHONE: 897-0000OWNER: Sivage Thomas Homes, Inc. CONTACT: W. David SivageADDRESS: 5141 Masthead St NE Alb. NM 87109 PHONE: 821-3511

ARCHITECT: _____ CONTACT: _____

ADDRESS: _____ PHONE: _____

SURVEYOR: _____ CONTACT: _____

ADDRESS: _____ PHONE: _____

CONTRACTOR: _____ CONTACT: _____

ADDRESS: _____ PHONE: _____

PRE-DESIGN MEETING:

☐ YES☒ NO☐ COPY OF CONFERENCE RECAP SHEET PROVIDED PROJ. NO. _____

TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT☐ DRAINAGE PLAN☐ CONCEPTUAL GRADING AND DRAINAGE PLAN☐ GRADING PLAN☐ EROSION CONTROL PLAN☒ ENGINEER'S CERTIFICATION

110 EUC 15
MAY 19 1994

DATE SUBMITTED: _____

BY: _____

DRB NO. 91-222

EPC NO. _____

PROJ. NO. _____

CHECK TYPE OF APPROVAL SOUGHT:

☐ SKETCH PLAT APPROVAL☐ PRELIMINARY PLAT APPROVAL☐ SITE DEVELOPMENT PLAN APPROVAL☐ FINAL PLAT APPROVAL☐ BUILDING PERMIT APPROVAL☐ FOUNDATION PERMIT APPROVAL☐ CERTIFICATE OF OCCUPANCY APPROVAL☐ ROUGH GRADING PERMIT APPROVAL☐ GRADING/PAVING PERMIT APPROVAL☒ OTHER Bond Release (SPECIFY)