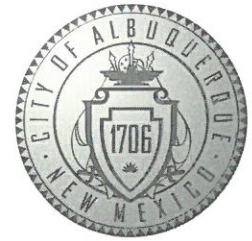


CITY OF ALBUQUERQUE



September 3, 2019

Devin Cannady, R.A.
Cannady Architect Studio
300 Adams Dr. NW
Albuquerque, NM 87108

Re: Ladera Self Storage
2100 Ladera Dr. NW, 87120
Request for Certificate of Occupancy
Transportation Development Final Inspection
Engineer's/Architect's Stamp dated 8-14-18 (H09D001F)
Certification dated 8-29-19

Dear Mr. Cannady

Based upon the information provided in your submittal received 8-30-19, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

If you have any questions, please contact Ernie Gomez at (505) 924-3981.

Sincerely,

Ernest Armijo, P.E.
Senior Engineer, Planning Dept.
Development Review Services

Ernie Gomez
Plan Checker, Planning Dept.
Development Review Services

EG via: email
C: CO Clerk, File

LADERA SELF STORAGE

LADERA & 72ND STREET

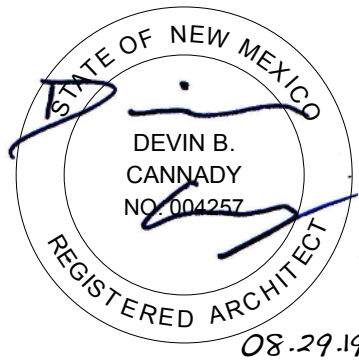
A

B

C

D

- AS-BUILT CERTIFICATION REDLINES:
- [01] MOTORCYCLE PARKING SIGN RELOCATED TO PLANTER BEHIND PARKING SPACE.
 - [02] STAIRS REQUIRED DUE TO GRADE DIFFERENTIAL THIS LOCATION. HANDRAILS COORDINATED AND INSTALLED PER ANSI REQUIREMENTS.
 - [03] CONCRETE ROLLER GATE PAD NOT REQUIRED BASED ON INSTALLATION OF FLOATING GATE SYSTEM.
 - [04] CONCRETE RUNDOWN INSTALLED PER GRADING & DRAINAGE PLANS.



C3 Site Plan
Scale: 1" = 20 ft

Project Number: 2018-001344
Application Number: 91-2018-00072

Is an Infrastructure List required? () Yes (x) No If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

<i>Rosand M. M...</i>	8/14/18
Traffic Engineering, Transportation Division	Date
<i>Don Esteghamati</i>	7/25/18
ABRWUA	Date
<i>Samuel</i>	7/25/18
Parks and Recreation Department	Date
<i>R. M...</i>	7/25/18
City Engineer / Hydrology	Date
<i>...</i>	7/25/18
Code Enforcement	Date
<i>HIA</i>	4-23-18
Environmental Health Department (Conditional)	Date
<i>...</i>	8-14-18
Solid Waste Management	Date
<i>...</i>	
DRB Chairperson, Planning Department	

PROJECT INFORMATION:
TOTAL SITE AREA: 1.904 ACRE
82,938 S.F.

CURRENT ZONING: C-1
PROPOSED ZONING: SU-1 FOR C-1 USES TO INCLUDE STORAGE FACILITY W/ DIRECT ACCESS TO INDIVIDUAL UNITS FROM OUTSIDE.

PROPOSED BUILDING AREA
LEASING OFFICE: 440 S.F.
SELF STORAGE UNITS: 20,400 S.F.
TOTAL BUILDING AREA: 22,040 S.F.

LOT COVERAGE
PROPOSED LOT COVERAGE : 22,040 S.F.
FLOOR AREA RATIO: .27

PARKING ANALYSIS
REQUIRED WAREHOUSE (1 / 2,000 S.F.) = 11 SPACES REQUIRED
10% TRANSIT CREDIT = - 1 SPACE
10 REQUIRED

PROVIDED = 10 PROVIDED
* 8 SPACES PROVIDED AT LEASING OFFICE
* 2+ SPACES PROVIDED AT UNITS. (APPROVED BY EPC)

ACCESSIBLE SPACES 1 REQUIRED / 1 PROVIDED
MOTORCYCLE SPACES 1 REQUIRED / 1 PROVIDED
BICYCLE SPACES 1 REQUIRED / 1 PROVIDED
BENCH SEATING

SOLID WASTE
TRASH & RECYCLING ENCLOSURE 1 REQUIRED / 1 PROVIDED
* SHARED DUMPSTER AGREEMENT WITH TRACT A-1 AS FILED WITH COUNTY CLERKS OFFICE ON JUNE 1ST, 1994.

SITE PLAN GENERAL NOTES:
- PARKING LOT DIMENSIONS ARE GIVEN FROM FACE OF CURB TO FACE OF CURB UNLESS NOTED OTHERWISE.
- ALL PAVEMENT MARKINGS SHALL BE MADE WITH WHITE ALKYD STRIPING AND INSTALLED PER ALL GOVERNMENTAL TRAFFIC STANDARDS AND DETAILS.
- ALL EXTERIOR CONCRETE SHALL HAVE A ROCK SALT FINISH UNLESS SPECIFIED OTHERWISE.
- PROVIDE ACCESS AT GATES FOR FIRE DEPT.

SITE PLAN KEYED NOTES:
[01] CONCRETE PEDESTRIAN CROSSWALK.
[02] CONTROLLED ACCESS GATE.
[03] FIRE TRUCK TURNING RADIUS DIAGRAM.
[04] PROPERTY LINE.
[05] DRAINAGE POND / FIRST FLUSH REQUIREMENTS.
[06] EXISTING SIDEWALK IN PUBLIC RIGHT-OF-WAY.
[07] 8' HIGH DESIGN MASTER FENCING, TYP. AROUND PERIMETER OF SITE.
[08] ASPHALT DRIVE SURFACE.
[09] CONCRETE CURB & GUTTER, REFER TO SITE DETAILS SHEET.
[10] ACCESSIBLE PARKING STALL W/ SIGN AND PAINTED GRAPHICS, TYP. - SIGNAGE SHALL INCORPORATE TEXT "VIOLATORS SHALL BE SUBJECT TO A FINE AND/OR TOWING"
[11] MOTORCYCLE PARKING STALL W/ SIGN.
[12] CONCRETE CURB INLET LOCATIONS, COORDINATE W/ GRADING AND DRAINAGE PLAN.
[13] EXISTING CURB & GUTTER IN PUBLIC RIGHT-OF-WAY.
[14] CONCRETE ROLLER GATE PAD, REFER TO SITE PLAN DETAILS SHEET.
[15] BUILDING MOUNTED WALL PAK. COORDINATE WITH ELECTRICAL SHEETS.
[16] EXISTING BUS STOP. PROVIDE SECTION OF INFILL CONCRETE IN PARK STRIP APPROPRIATE TO ASSIST WITH ACCESSIBLE BUS LOADING / UNLOADING.
[17] BUILDING MOUNTED SITE LIGHTING.
[18] EXISTING CURB CUT W/ CONCRETE APRON FOR INGRESS / EGRESS.
[19] ACCESSIBLE RAMP. REFER TO SITE PLAN DETAILS SHEET.
[20] BICYCLE RACK, REFER TO SITE PLAN DETAILS SHEET.
[21] GATE ACCESS SYSTEM.
[22] PEDESTRIAN ACCESS GATE.
[23] SITE BENCH. PROVIDE FURNITURE PIECE AS SELECTED BY ARCHITECT.



THIS DRAWING IS THE PROPERTY OF DC ARCHITECT STUDIO AND SHALL NOT BE REPRODUCED OR USED IN ANY MANNER WITHOUT EXPRESSED WRITTEN CONSENT

Ladera Self Storage
Tract B1 of Tracts A1 & B1, Mariposa Square Subdivision
Albuquerque, NM 87120

Site Development Plan for Building Permit

Documents Issued For:
Site Development Plan for Building Permit

THIS DRAWING IS INCOMPLETE AND NOT TO BE USED FOR CONSTRUCTION UNLESS IT IS STAMPED, SIGNED AND DATED

Print Date: 07.11.18
Job Number: 17.08

DRB.01



August 29, 2019

City of Albuquerque
Planning Department
Transportation Development Section
600 Second Street NW
Albuquerque, NM 87102

Re: 2100 Ladera Dr. NW, Albuquerque NM 87120

Building Permit #: BP-2018-43414
Project #: 2018-001344
Application #: SI-2018-00072

SUBSTANTIAL COMPLIANCE VERIFICATION

I, Devin Cannady, NMRA 4257, of the Firm Devin Cannady Architect Studio, hereby attest that the above mentioned project is in substantial compliance with and in accordance with the design intent of the Traffic Circulation Layout approved plan dated August 14th, 2018. I further attest that I have personally visited the project site on August 29, 2019 and have determined by visual observation that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for Certificate of Occupancy.

Exceptions:

1. Motorcycle Parking Sign Relocated to Planter Behind Parking Space.
2. Stairs Installed due to Grade Differential at Pedestrian Sidewalk. Handrails Coordinated & Installed per ANSI Requirements.
3. Concrete Roller Gate Pad not Installed due to Cantilevered Gate System.
4. Concrete Rundown Installed per Grading & Drainage Requirements.

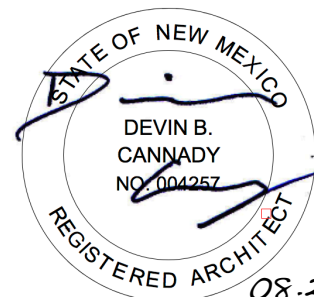
The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

Architect's Stamp

Sincerely,

Devin Cannady

Principal - Cannady Architect Studio



08.29.19