

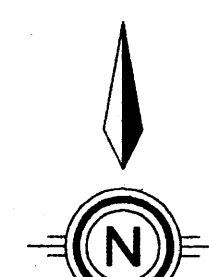
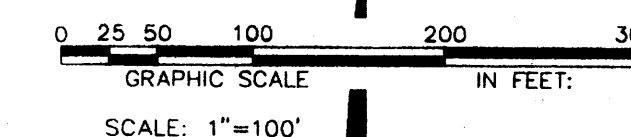
WORK MAP FOR LADERA CHANNEL FEBRUARY, 1995

LEGEND

- 73.6 @ EXISTING SPOT ELEVATION (GRND & TC)
- 4973 EXISTING CONTOUR W/ INDEX ELEVATION
- 100 YEAR FLOOD CONFINED TO CONSTRUCTED CHANNEL
- FIRM 100 YEAR FLOOD PLAIN
- REVISED 100 YEAR FLOOD BOUNDARY
- CROSS-SECTIONS AT GEOMETRIC CHANGES
- PARKWEST DR. PROPOSED STREET R/W
- SUBDIVISION BOUNDARY
- BASIN BOUNDARY
- FLOOD WALL
- 118 BASIN NUMBER
- WATER BLOCK
- EXIST. FEMA FLOODPLAIN LIMITS
- FLOODPLAIN LIMITS THIS STUDY

NOTE: DESIGN FLOWS INCLUDE 52 cfs OF SEDIMENT AS A 1.10 BULKING FACTOR APPLIED TO THE FLOW IN THE UPSTREAM FLOODPLAIN. AHYMO INDICATED 34cfs SEDIMENT AND THE SEDIMENT TRANSPORT CAPACITY OF EACH INDIVIDUAL SECTION VARIES.

NOTE: EXISTING FEMA FLOOD PLAIN IS SHOWN FROM CENTER OF BANK TO CENTER OF BANK OF PREVIOUSLY CONSTRUCTED CHANNEL. (SEE RECORD DRAWING OF SAD-215 UNSER BLVD. NOT PART OF THIS PROJECT.)



EXISTING TRIPLEX 10'x5' BOX CULVERTS

DOWN STREAM LIMIT OF PROPOSED MAP REVISION

REFERENCE MARK
RM 33
APPROX. 2880' EAST
OF DIST. 3179)

ELEVATION
(FT. NGVD)
5142.74

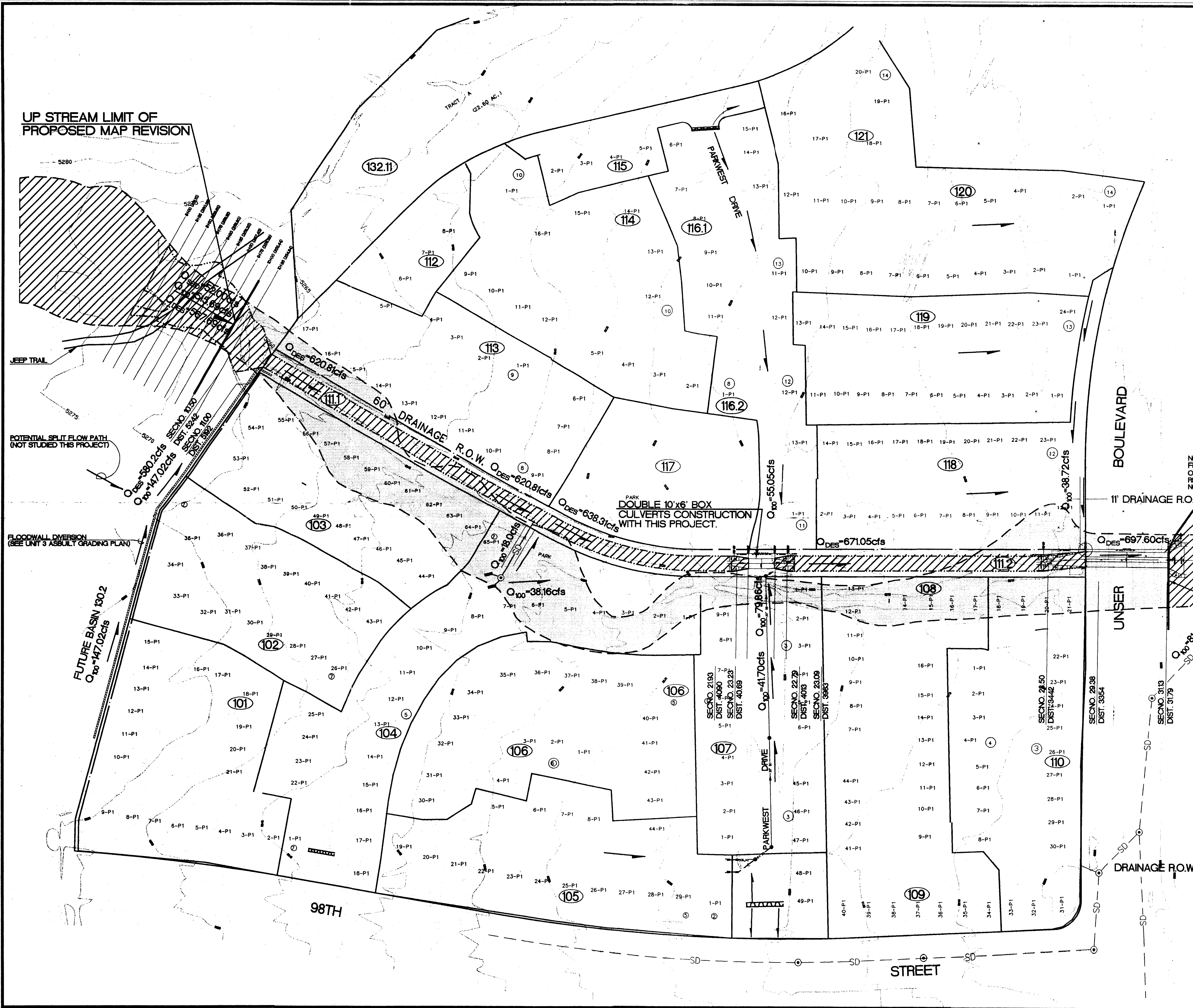
DESCRIPTION OF LOCATION
A 60-PENNY NAIL IN POWER POLE
NO. 1556, LOCATED APPROX. 120'
SW. OF THE SE. CORNER OF THE
PLAINS ELECTRIC CO-OP SUBSTATION,
5500' NW. OF THE INTERSTATE 40
AND COORS ROAD INTERCHANGE.

JUL 14 1997
HYDRAULIC SECTION

DATE: MARCH, 1995
SCALE: 1"=100'
DESIGNED: B.C.M.
DRAWN: A.M.
JOB NO.: 14318-038

**community
sciences
corporation**

LAND PLANNING
P.O. Box 1328
CORRALES, N.M. 87046





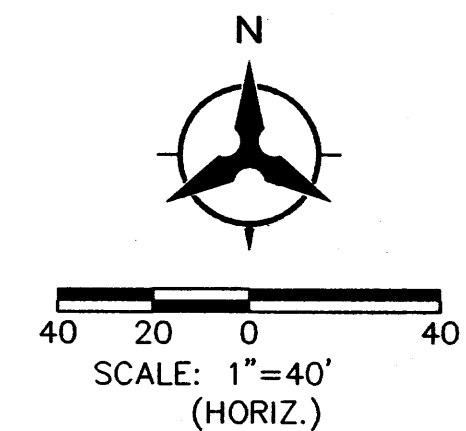
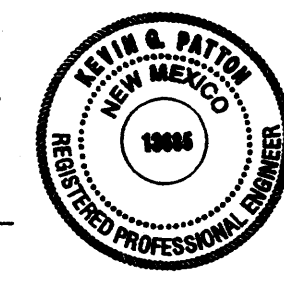
NOTE FOR LOTS 47 - 58 IN THE WATERSHED SUBDIVISION: EACH INDIVIDUAL LOT (OF THOSE LOTS 47 - 58) IS REQUIRED TO SUBMIT A SEPARATE GRADING AND DRAINAGE PLAN TO THE CITY OF ALBUQUERQUE, PREPARED BY A NEW MEXICO PROFESSIONAL ENGINEER, PRIOR TO BUILDING PERMIT APPROVAL. EACH LOT SHALL PROVIDE AN ON-SITE RETENTION POND DESIGNED FOR THE 100 YR 6 HR STORM EVENT AND MAY NOT DISCHARGE STORM WATER TO THE PETROGLYPH NATIONAL PARK.

NOTE:
TEMPORARY DESILTATION POND SHALL BE BUILT ON EACH LOT (SEE SHEET 7 FOR DETAIL)

LEGEND

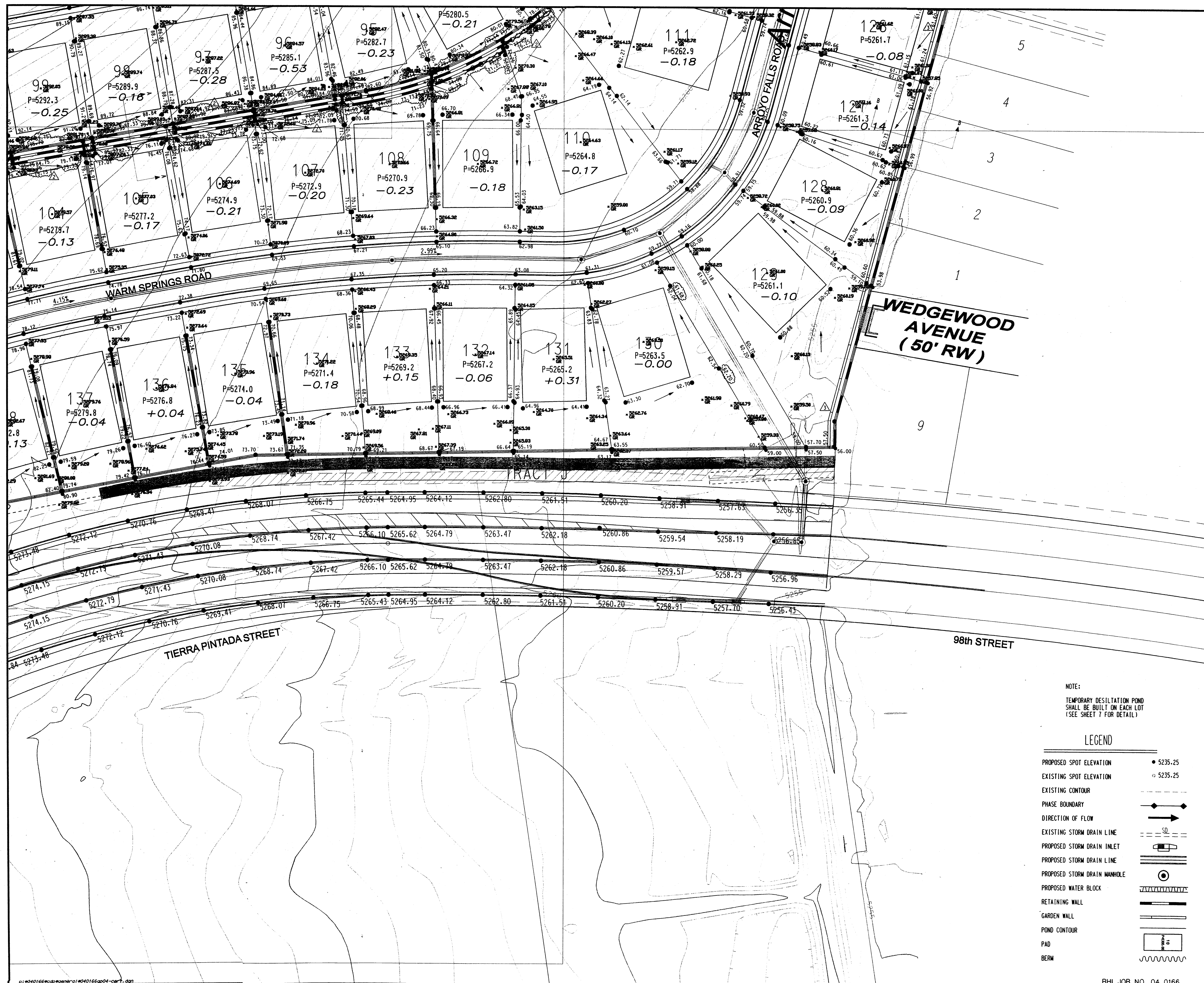
- PROPOSED SPOT ELEVATION
- EXISTING SPOT ELEVATION
- EXISTING CONTOUR
- PHASE BOUNDARY
- DIRECTION OF FLOW
- EXISTING STORM DRAIN LINE
- PROPOSED STORM DRAIN INLET
- PROPOSED STORM DRAIN LINE
- PROPOSED STORM DRAIN MANHOLE
- PROPOSED WATER BLOCK
- RETAINING WALL
- GARDEN WALL
- POND CONTOUR
- PAD
- BERM

DRAINAGE CERTIFICATION
I, KEVIN PATTON, OF BOHANNAN HUSTON HEREBY CERTIFY THAT THE AS-BUILT DRAINAGE CONDITIONS OF THE SITE ARE IN SUBSTANTIAL COMPLIANCE WITH THE APPROVED GRADING AND DRAINAGE PLAN, TO THE BEST OF MY KNOWLEDGE AND BELIEF. AS-BUILT ELEVATIONS ARE SHOWN ON THE PLANS WHERE THE ORIGINAL ELEVATION HAS BEEN CROSSED OUT AND THE AS-BUILT ELEVATION ADDED. AS-BUILT ELEVATIONS WERE PROVIDED BY DAVID L. VANCE, P.E. THIS STATEMENT DOES NOT REPRESENT CERTIFICATION OF CONTRACTOR'S METHODS OR MATERIALS.
DATE: 12/1/04

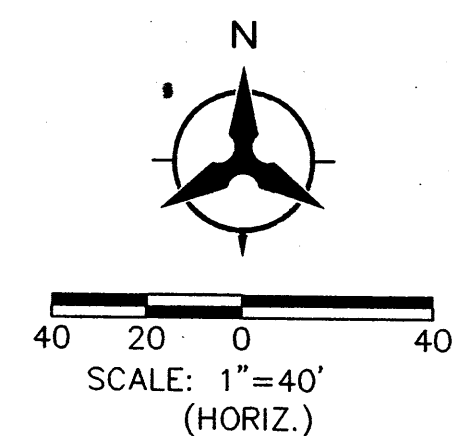


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ENGINEERING & SPATIAL DATA & ADVANCED TECHNOLOGIES

CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT ENGINEERING DEVELOPMENT GROUP	
WATERSHED SUBDIVISION OVERALL GRADING PLAN	
DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL
ENGINEERING	NO. DATE
REMARKS	REVISIONS
DESIGNED BY	DATE
DRAWN BY	DATE
CHECKED BY	DATE
CITY PROJECT NO.	742981
ZONE MAP NO.	H-9
SHEET	4 OF 7



NOTE:
TEMPORARY DESILTATION POND
SHALL BE BUILT ON EACH LOT
(SEE SHEET 7 FOR DETAIL)



Bohannon ▲ Huston

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ENGINEERING ▲ SPATIAL DATA ▲ ADVANCED TECHNOLOGIES



CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP

**WATERSHED SUBDIVISION
OVERALL GRADING PLAN**

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	MO./DAY/YR.	MO./DAY/YR.
-------------------------	------------------------	-------------	-------------

LAST DESIGN
UPDATE

RECEIVED
DEC 21 2005
HYDROLOGY SECTION

CITY PROJECT NO.	ZONE MAP NO.	SHEET	OF
742981	H-9	5	7

DRAINAGE CERTIFICATION

1. KELIA PATTON OF BOHANNAN HUSTON HEREBY CERTIFY THAT THE AS-BUILT DRAINAGE CONDITIONS OF THE SITE ARE IN SUBSTANTIAL COMPLIANCE WITH THE APPROVED GRADING AND DRAINAGE PLAN. TO THE BEST OF MY KNOWLEDGE AND BELIEF. AS-BUILT ELEVATIONS ARE SHOWN ON THE PLANS WHERE THE ORIGINAL ELEVATION HAS BEEN CROSSED OUT AND THE AS-BUILT ELEVATION ADDED. AS-BUILT ELEVATIONS WERE PROVIDED BY JUSTIN HUGHES. THIS STATEMENT DOES NOT REPRESENT CERTIFICATION OF CONTRACTOR'S METHODS OR MATERIALS.

NAME W. M. J. J.
DATE 12/21/06



ENGINEER'S SEAL		SURVEY INFORMATION		FIELD NOTES		BENCH MARKS		AS-BUILT INFORMATION	
 Damage Control 2/24 9/10/04				NO.	BY	DATE	ACS STATION NAMED 4 - K6, 3 - 1/4" ALUM. CAP		CONTRACTOR
		JML					HW18 = 4 - K6 GEOGRAPHIC POSITION (1927)		ENGINEER BY
		JML					N.M. STATE PLANE COORDINATES (CENTRAL ZONE)		INSPECTOR'S
		BY					X=3,369,918.47,Y=1,483,515.05		ACCEPTANCE BY
REMARKS								DATE	
NO.								DATE	
DESIGN								MICRO-FILM INFORMATION	
DESIGNED BY		JPE/JML	DATE					RECORDED BY	
DRAWN BY		BS	DATE					DATE	
CHECKED BY		KGP	DATE					NO.	

Drainage Certificate

2/2/10

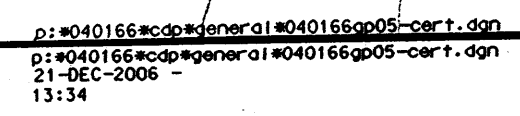
5/18/04

ENGINEER 3 SEAL

KEVIN G. PATTON
NEW MEXICO
REGISTERED PROFESSIONAL ENGINEER
1996

p:040166#cdp#general#040166gp04-cert.dgn
p:040166#cdp#general#040166gp04-cert.dgn
21-DEC-2006 -
13:34

BHI JOB NO. 04 0166



NOTE:
TEMPORARY DESILTATION POND
SHALL BE BUILT ON EACH LOT
(SEE SHEET 7 FOR DETAIL)

-

 **CITY OF ALBUQUERQUE**
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	<table border="1"> <tr> <td>MO./DAY/YR.</td> <td>MO./DAY/YR.</td> </tr> <tr> <td>RECEIVED</td> <td>RECEIVED</td> </tr> <tr> <td>DEC 21 2005</td> <td></td> </tr> <tr> <td colspan="2">HYDROLOGY SECTION</td> </tr> </table>	MO./DAY/YR.	MO./DAY/YR.	RECEIVED	RECEIVED	DEC 21 2005		HYDROLOGY SECTION	
MO./DAY/YR.	MO./DAY/YR.									
RECEIVED	RECEIVED									
DEC 21 2005										
HYDROLOGY SECTION										

CITY PROJECT NO.	ZONE MAP NO.	SHEET	OF
742981	H-9	6	7

[illegible]



NOTE FOR LOTS 47 - 58 IN THE WATERSHED SUBDIVISION: EACH INDIVIDUAL LOT OF THOSE LOTS 47 - 58 IS REQUIRED TO SUBMIT A SEPARATE GRADING AND DRAINAGE PLAN TO THE CITY OF ALBUQUERQUE, PREPARED BY A NEW MEXICO PROFESSIONAL ENGINEER, PRIOR TO BUILDING PERMIT APPROVAL. EACH LOT SHALL PROVIDE AN ON-SITE RETENTION POND DESIGNED FOR THE 100 YR 6 HR STORM EVENT AND MAY NOT DISCHARGE STORM WATER TO THE PETROGLYPH NATIONAL PARK.

DRAINAGE CERTIFICATION

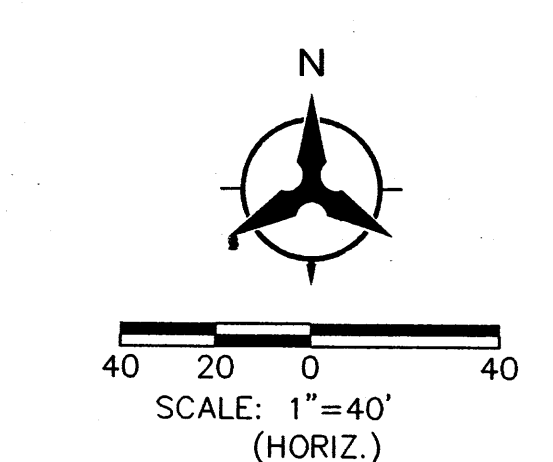
I, Kevin P. Patton, of BOHANNAN HUSTON HEREBY CERTIFY THAT THE AS-BUILT DRAINAGE CONDITIONS OF THE SITE ARE IN SUBSTANTIAL COMPLIANCE WITH THE APPROVED GRADING AND DRAINAGE PLAN, TO THE BEST OF MY KNOWLEDGE AND BELIEF. AS-BUILT ELEVATIONS ARE SHOWN ON THE PLANS WHERE THE ORIGINAL ELEVATION HAS BEEN CROSSED OUT AND THE AS-BUILT ELEVATION ADDED. AS-BUILT ELEVATIONS WERE PROVIDED BY BOHANNAN HUSTON (SIGNED BY Kevin P. Patton). THIS STATEMENT DOES NOT REPRESENT CERTIFICATION OF CONTRACTOR'S METHODS OR MATERIALS.

DATE: 12/21/05

NOTE:
TEMPORARY DESILTATION POND SHALL BE BUILT ON EACH LOT (SEE SHEET 7 FOR DETAIL)

LEGEND

PROPOSED SPOT ELEVATION: 5235.25
EXISTING SPOT ELEVATION: 5235.25
EXISTING CONTOUR: 5235.25
PHASE BOUNDARY: [Symbol]
DIRECTION OF FLOW: [Symbol]
EXISTING STORM DRAIN LINE: [Symbol]
PROPOSED STORM DRAIN INLET: [Symbol]
PROPOSED STORM DRAIN LINE: [Symbol]
PROPOSED STORM DRAIN MANHOLE: [Symbol]
PROPOSED WATER BLOCK: [Symbol]
RETAINING WALL: [Symbol]
GARDEN WALL: [Symbol]
POND CONTOUR: [Symbol]
PAD: [Symbol]
BERM: [Symbol]



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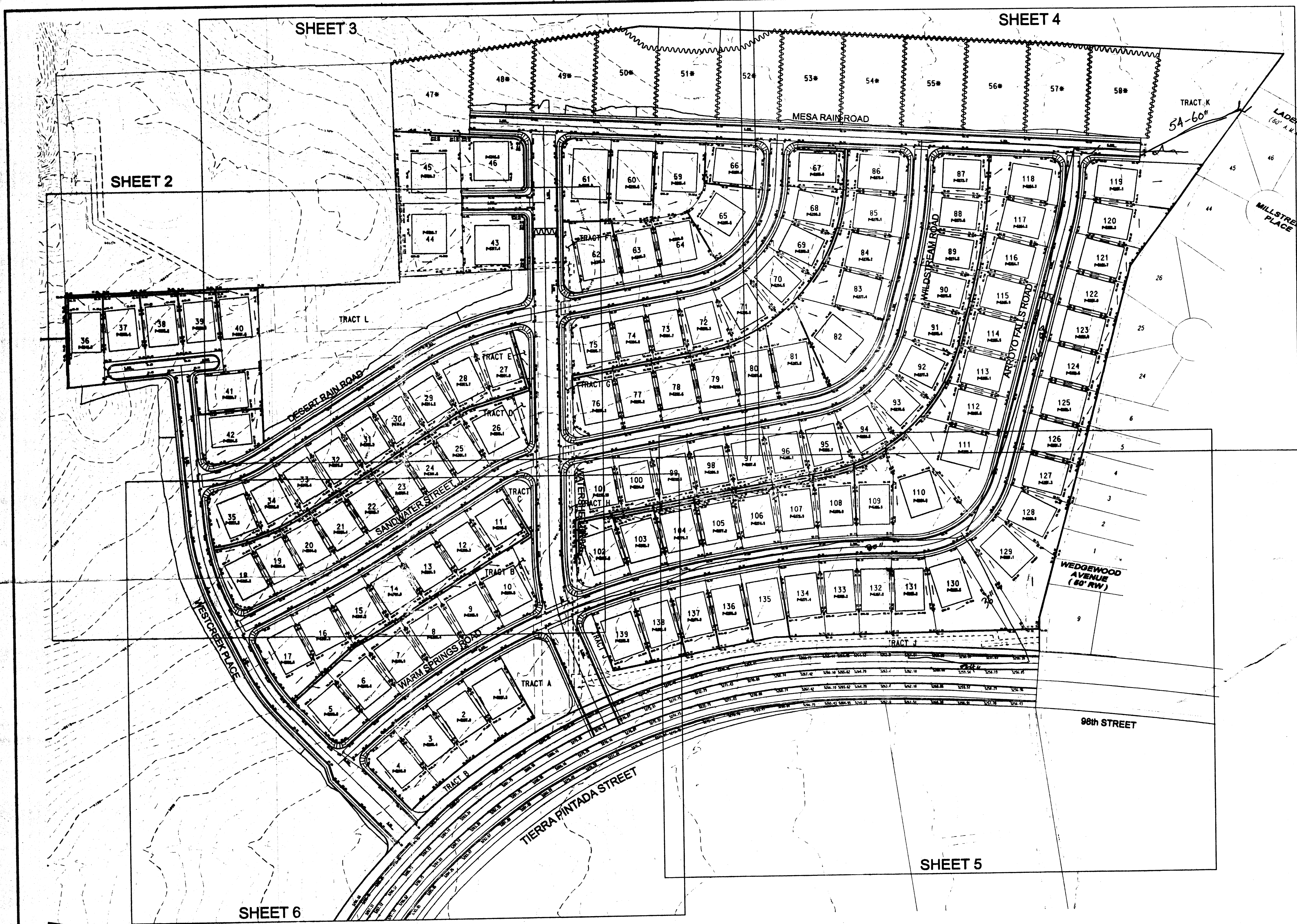
CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP

WATERSHED SUBDIVISION
OVERALL GRADING PLAN

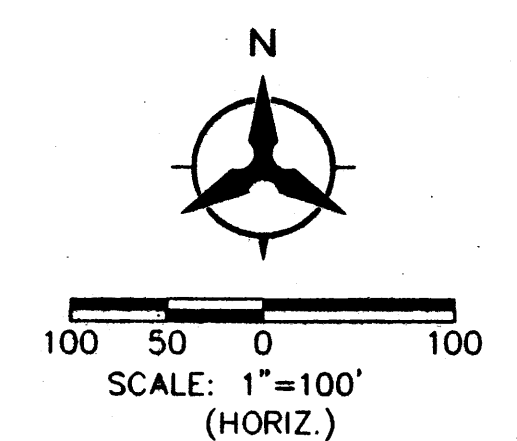
DESIGN REVIEW COMMITTEE CITY ENGINEER APPROVAL
LAST DESIGN UPDATE: DEC 21 2005
HYDROLOGY SECTION

CITY PROJECT NO. **742981**
ZONE MAP NO. **H-9**
SHEET **3** OF **7**

BENCH MARKS				AS-BUILT INFORMATION			
CONTRACTOR				CONTRACTOR			
ACCS STATION NAMED 4 - K6, 3 - 1/4" ALUM. CAP				ACCS STATION NAMED 4 - K6, 3 - 1/4" ALUM. CAP			
HW18 = 4 - K6 GEOGRAPHIC POSITION (1927)				HW18 = 4 - K6 GEOGRAPHIC POSITION (1927)			
N.M. STATE PLANE COORDINATES (CENTRAL ZONE)				N.M. STATE PLANE COORDINATES (CENTRAL ZONE)			
X=3,369,918.47, Y=1,483,515.05				X=3,369,918.47, Y=1,483,515.05			
GROUND-TO-GRID FACTOR: .0399656556				GROUND-TO-GRID FACTOR: .0399656556			
NOVD 1929 ELEVATION = 5732.892				NOVD 1929 ELEVATION = 5732.892			
ON PASO DEL VULCAN, 0.91 MI NORTH				ON PASO DEL VULCAN, 0.91 MI NORTH			
OF J-40, 0.74 MI SOUTH OF POWER LINES, 35.6'				OF J-40, 0.74 MI SOUTH OF POWER LINES, 35.6'			
NW OF CENTERLINE OF PASO DEL VULCAN				NW OF CENTERLINE OF PASO DEL VULCAN			
NO.				NO.			
ENGINEER'S SEAL				ENGINEER'S SEAL			
[Seal]				[Seal]			
DATE: 12/21/05				DATE: 12/21/05			
BY: JPP/JML				BY: JPP/JML			
REVISIONS				REVISIONS			
DESIGN				DESIGN			
DATE: 4/2004				DATE: 4/2004			
DRAWN BY: BS				DRAWN BY: BS			
CHECKED BY: KGP				CHECKED BY: KGP			



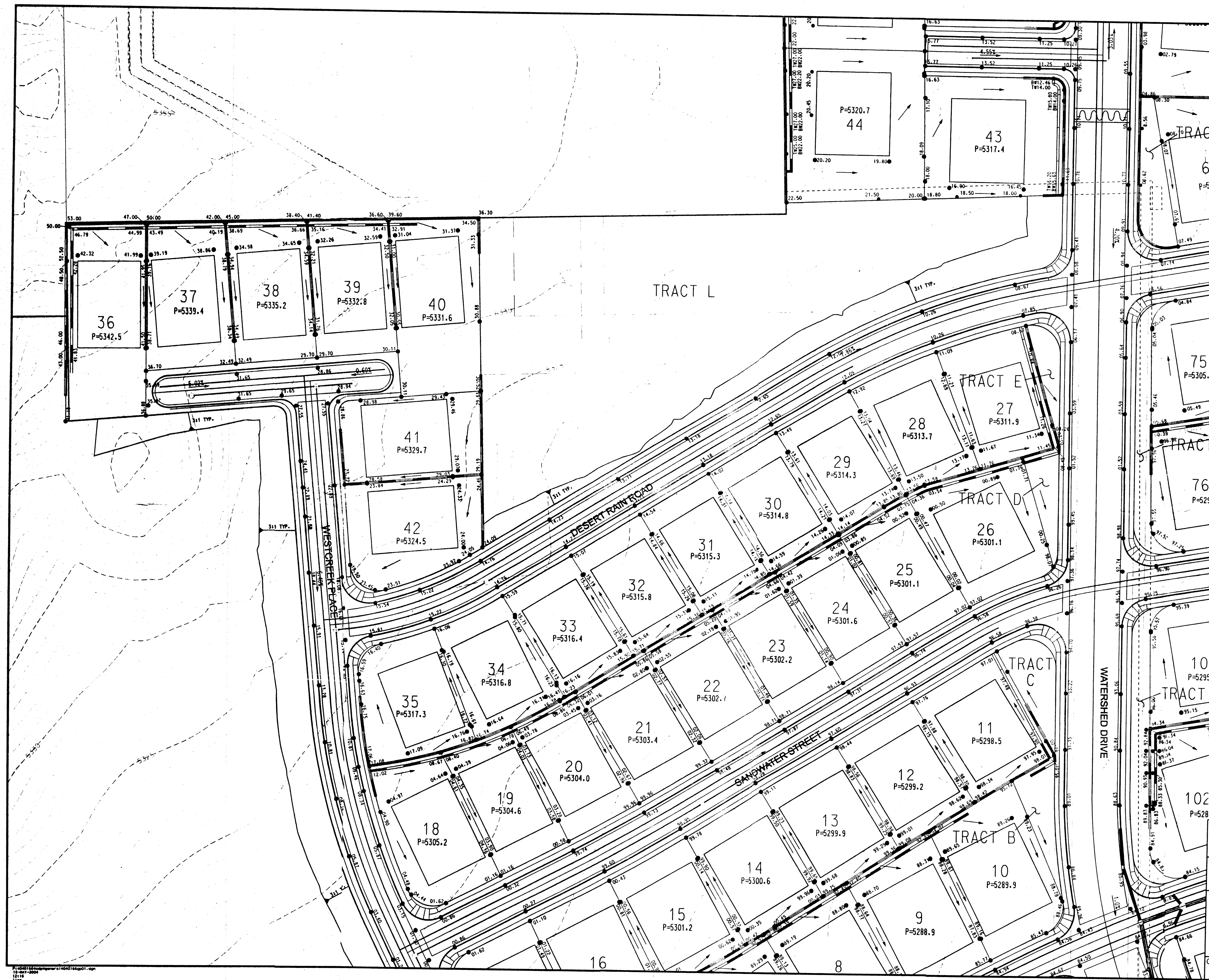
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PROVIDE AN ON-SITE RETENTION POND DESIGNED FOR THE 100 YR 6 HR
STORM EVENT AND MAY NOT DISCHARGE STORM WATER TO THE
PETROGLYPH NATIONAL PARK.



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		CITY OF ALBUQUERQUE	
PUBLIC WORKS DEPARTMENT		ENGINEERING DEVELOPMENT GROUP	
WATERSHED SUBDIVISION AT WESTLAND			
OVERALL GRADING PLAN			
DESIGN REVIEW BOARD NO.	APPROVAL DATE	MO./DAY/YR.	MO./DAY/YR.
X X	___/___/___		
CITY PROJECT NO.	ZONE MAP NO.	SHEET	OF
XXXXXX	H-9	1	7

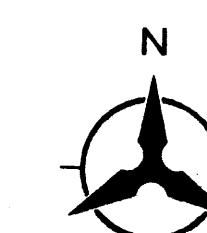
ENGINEER'S SEAL		SURVEY INFORMATION		FIELD NOTES		BENCH MARKS		AS-BUILT INFORMATION	
				NO.	BY	DATE			CONTRACTOR
									STAYED BY
									ACCEPTANCE BY
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NOTE:
TEMPORARY DESILTATION POND
SHALL BE BUILT ON EACH LOT
(SEE SHEET 7 FOR DETAIL)

LEGEND

- PROPOSED SPOT ELEVATION • 5235.25
- EXISTING SPOT ELEVATION 5235.25
- EXISTING CONTOUR
- PHASE BOUNDARY
- DIRECTION OF FLOW
- EXISTING STORM DRAIN LINE
- PROPOSED STORM DRAIN INLET
- PROPOSED STORM DRAIN LINE
- PROPOSED STORM DRAIN MANHOLE
- PROPOSED WATER BLOCK
- RETAINING WALL
- GARDEN WALL
- POND CONTOUR
- PAD
- BERM



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**CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP**

WATERSHED SUBDIVISION AT WESTLAND
OVERALL GRADING PLAN

DESIGN REVIEW BOARD NO.		APPROVAL DATE		LAST DESIGN UPDATE	MO./DAY/YR.		MO./DAY/YR.	
X X		___ / ___ / ___						
CITY PROJECT NO.				ZONE MAP NO.	SHEET		OF	
XXXXXX				H-9	2		7	

BHI JOB NO. 04 0166 004

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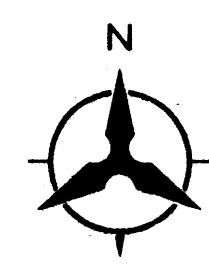


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NOTE:
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LEGEND

- PROPOSED SPOT ELEVATION
- EXISTING SPOT ELEVATION
- EXISTING CONTOUR
- PHASE BOUNDARY
- DIRECTION OF FLOW
- EXISTING STORM DRAIN LINE
- PROPOSED STORM DRAIN INLET
- PROPOSED STORM DRAIN LINE
- PROPOSED STORM DRAIN MANHOLE
- PROPOSED WATER BLOCK
- RETAINING WALL
- GARDEN WALL
- POND CONTOUR
- PAD
- BERM



SCALE: 1"=40'
(HORIZ.)

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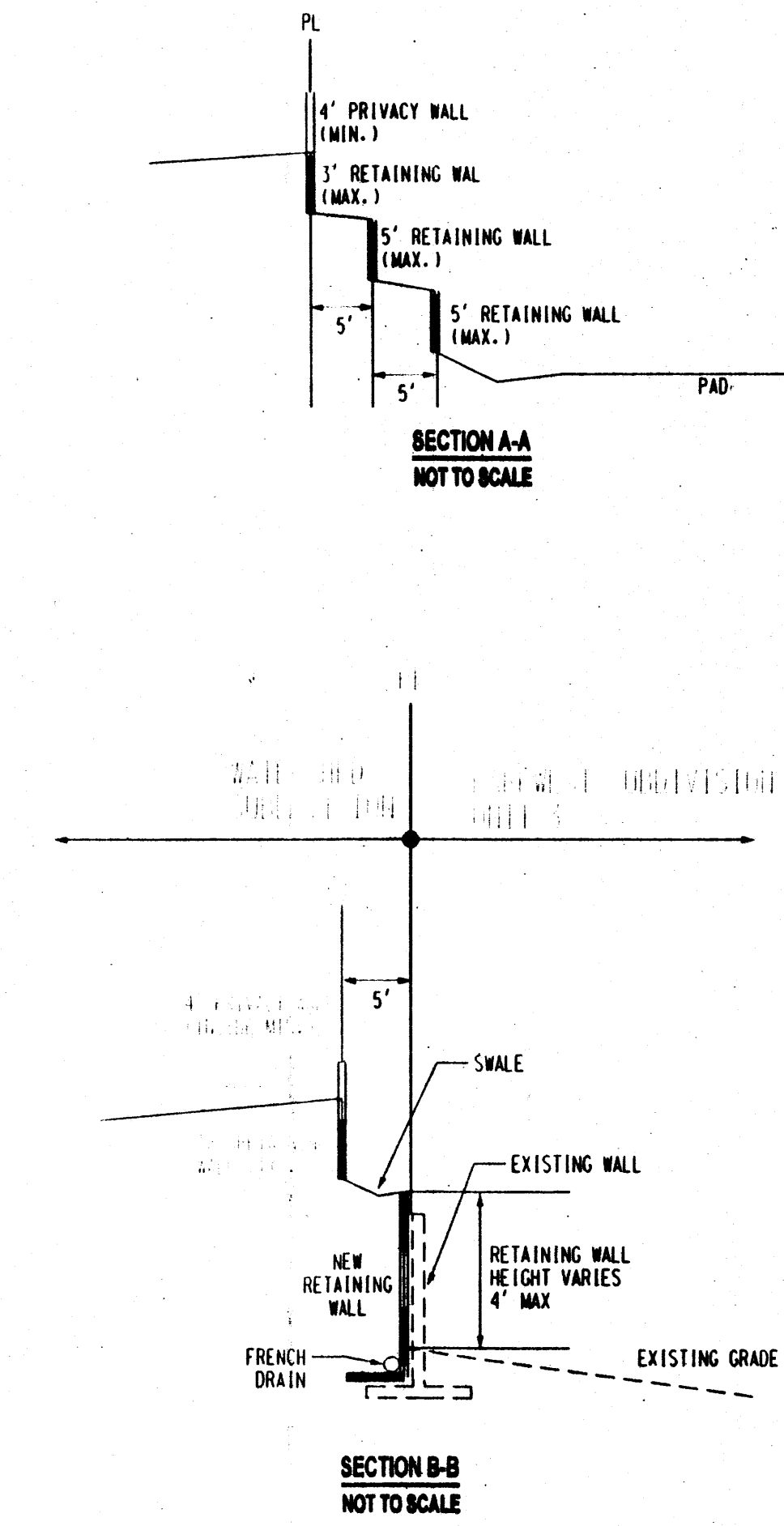
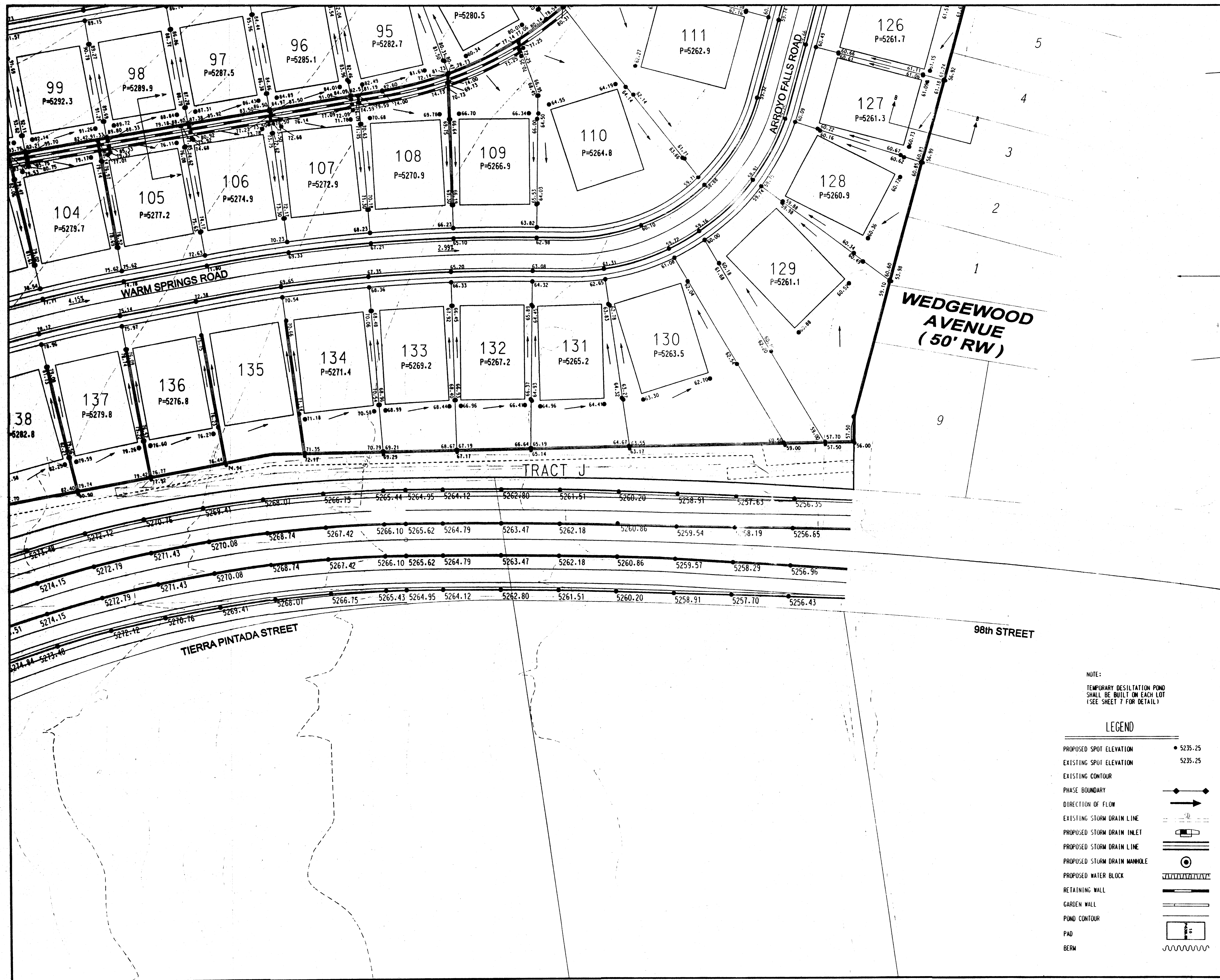
WATERSHED SUBDIVISION AT WESTLAND
OVERALL GRADING PLAN

DESIGN REVIEW BOARD NO.	APPROVAL DATE	MO./DAY/YR.	MO./DAY/YR.
X X	/ /		
CITY PROJECT NO.	ZONE MAP NO.	SHEET	OF
XXXXXX	H-9	3	7

AS-BUILT INFORMATION		BENCH MARKS		ENGINEER'S SEAL SURVEY INFORMATION		FIELD NOTES	
CONTRACTOR	DATE	ACS STATION NAMED	DATE	NO.	BY	NO.	BY
INSPECTOR'S	DATE	HY18 = 4 - K6. 3 - 1/4" ALUM. CAP	DATE				
ACCEPTANCE BY	DATE	N.M. STATE PLANE COORDINATES (CENTRAL ZONE)	DATE				
DESIGNED BY	DATE	X=336,918.47; Y=1,483,515.05	DATE				
DRAWN BY	DATE	GROUND-TO-GRID FACTOR .09996656	DATE				
CHECKED BY	DATE	NAD 1983 ELEVATION = 5732.892	DATE				
RECORDED BY	DATE	ON PASEO DEL VULCAN, 0.91 MI NORTH	DATE				
	DATE	OF 1-40. 0.74 MI SOUTH OF POWERLINES, 39.6'	DATE				
	DATE	NW OF CENTERLINE OF PASEO DEL VULCAN	DATE				



NO.	DATE	REMARKS	BY
		DESIGN	
		REVISIONS	
		DATE	
		DESIGNED BY	
		DRAWN BY	
		CHECKED BY	

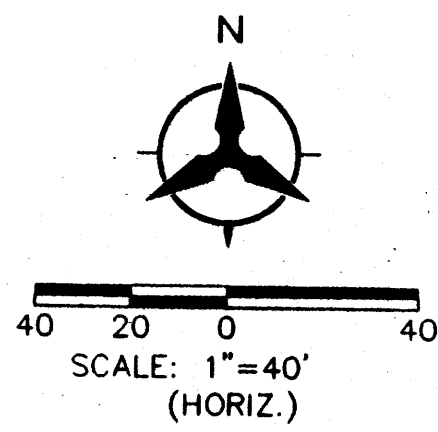
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NOTE:
TEMPORARY DESILTATION POND
SHALL BE BUILT ON EACH LOT
(SEE SHEET 7 FOR DETAIL)

LEGEND

- PROPOSED SPOT ELEVATION 5235.25
- EXISTING SPOT ELEVATION 5235.25
- EXISTING CONTOUR
- PHASE BOUNDARY
- DIRECTION OF FLOW
- EXISTING STORM DRAIN LINE
- PROPOSED STORM DRAIN INLET
- PROPOSED STORM DRAIN LINE
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- POND CONTOUR
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- BERM



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ENGINEERING - SPATIAL DATA - ADVANCED TECHNOLOGIES



CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP

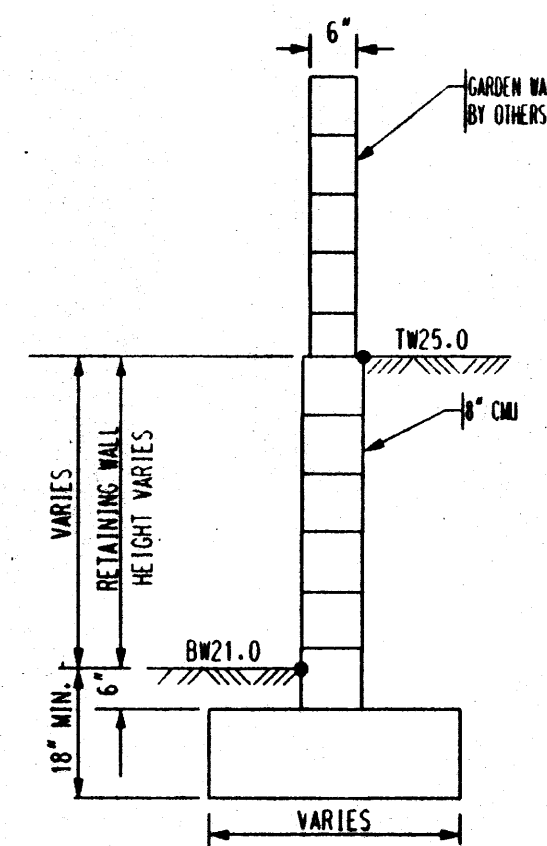
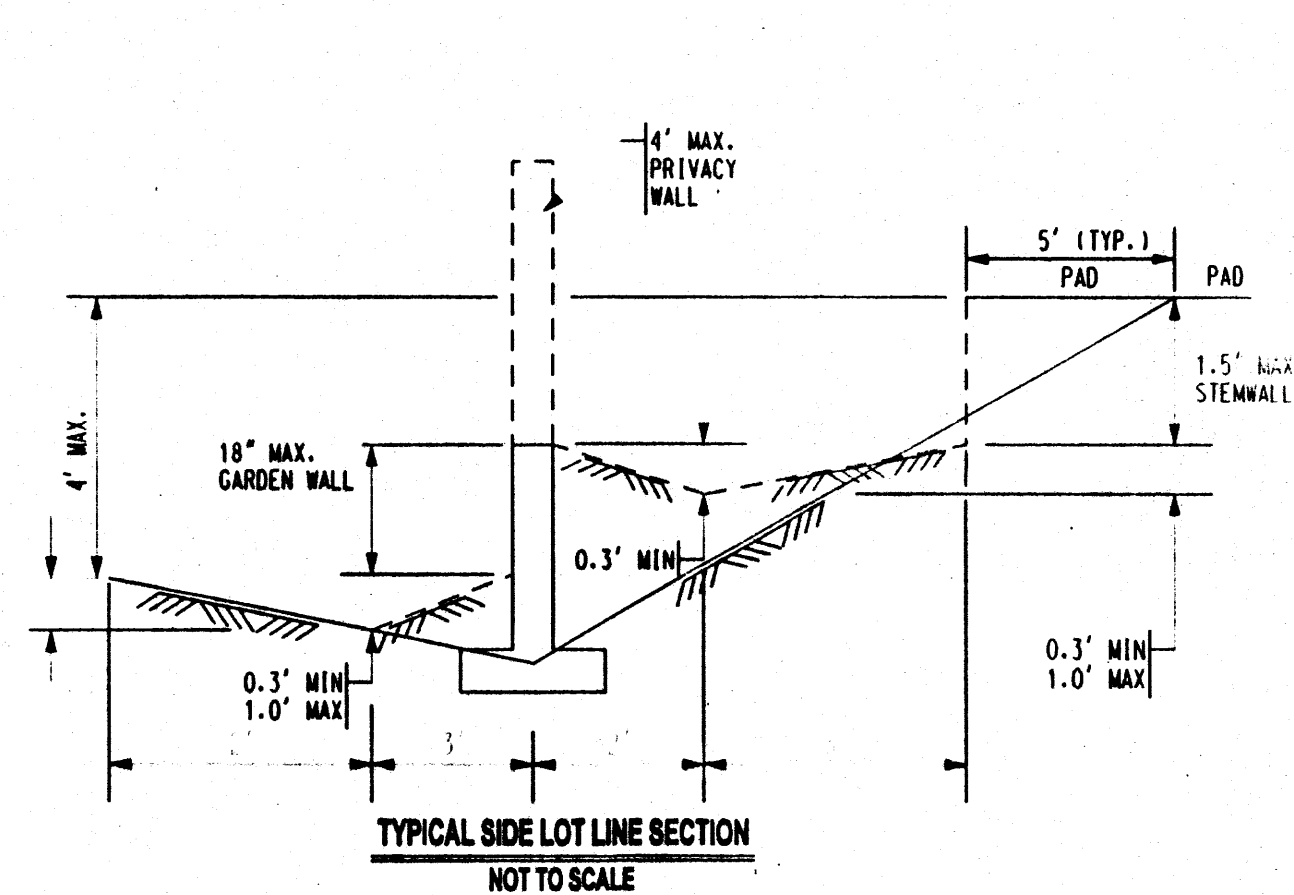
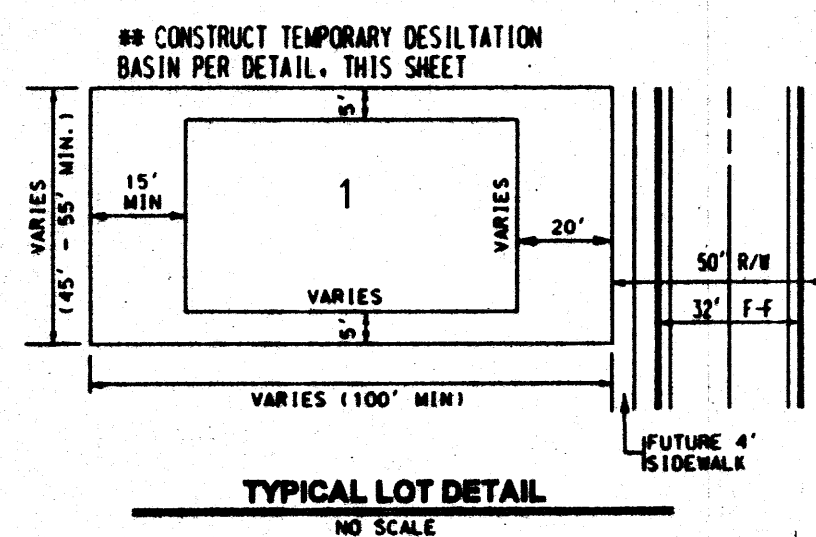
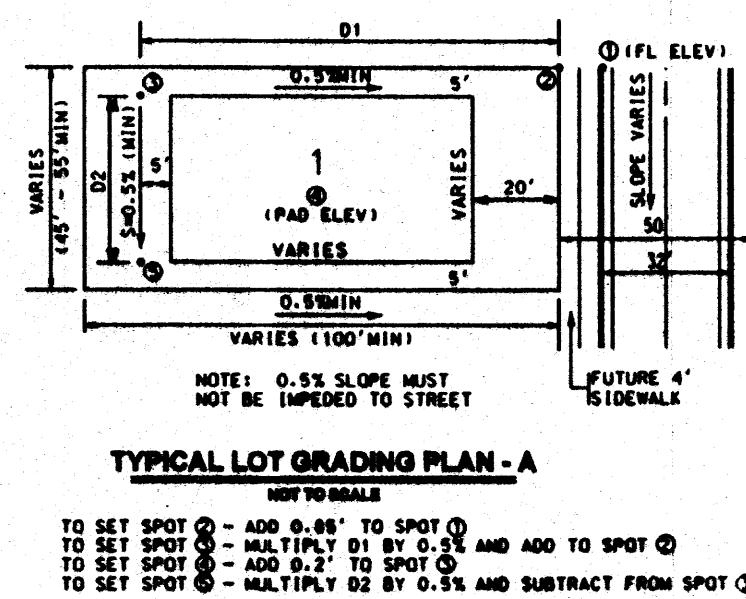
WATERSHED SUBDIVISION AT WESTLAND
OVERALL GRADING PLAN

DESIGN REVIEW BOARD NO.	APPROVAL DATE	MO./DAY/YR.	MO./DAY/YR.
X X	/ /		
CITY PROJECT NO.	ZONE MAP NO.	SHEET	OF
XXXXXX	H-9	6	7

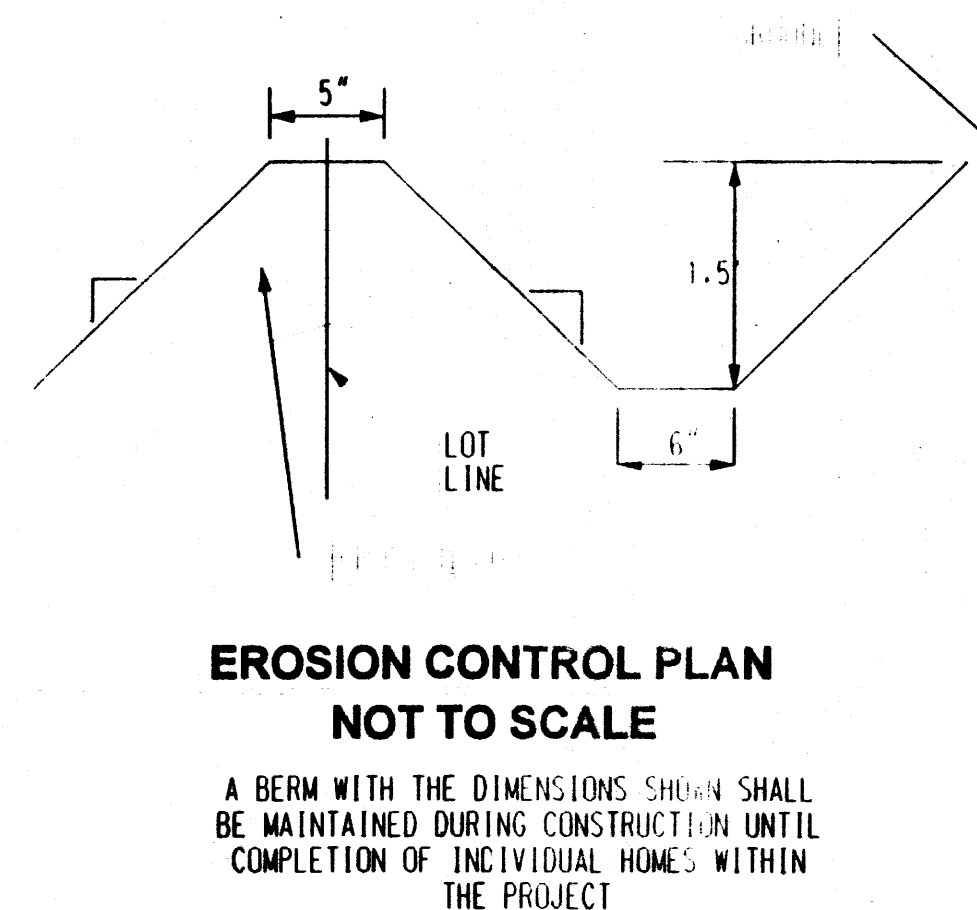
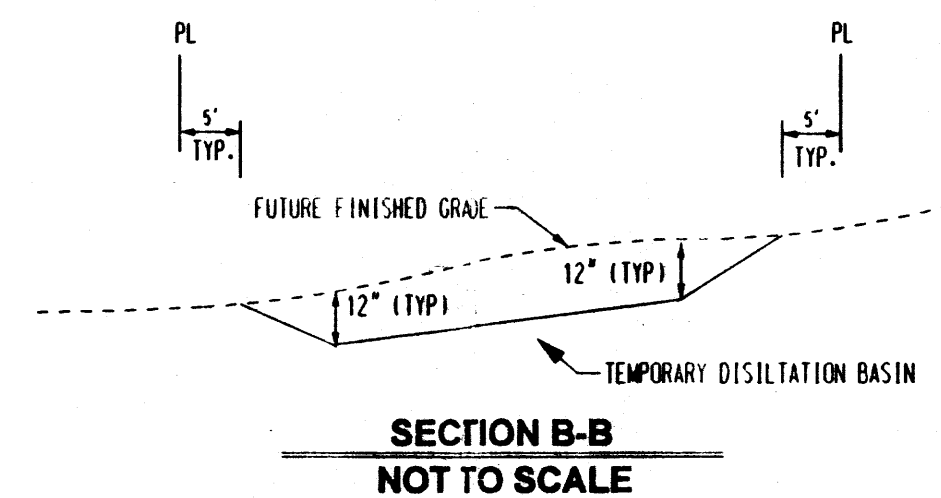
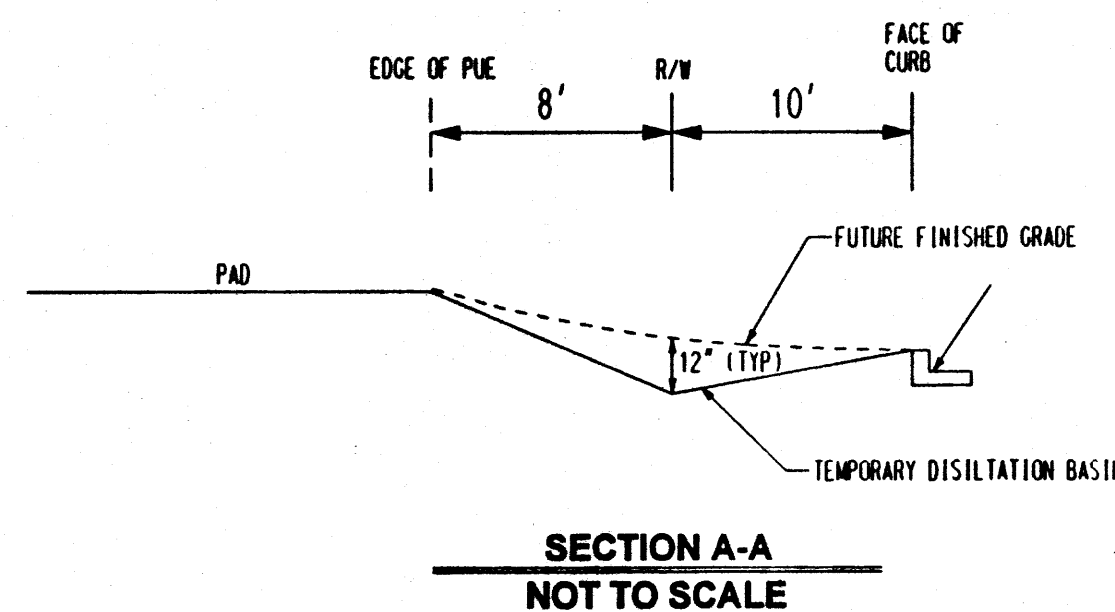
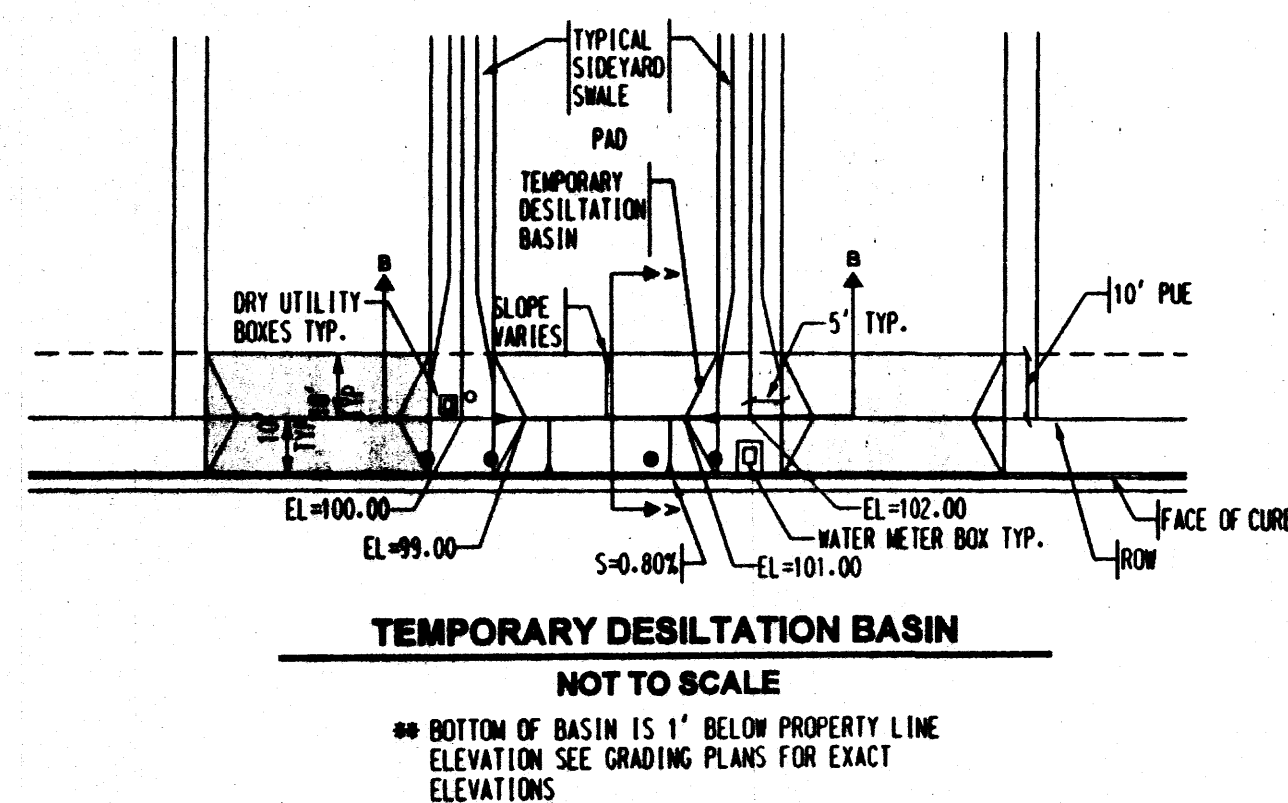
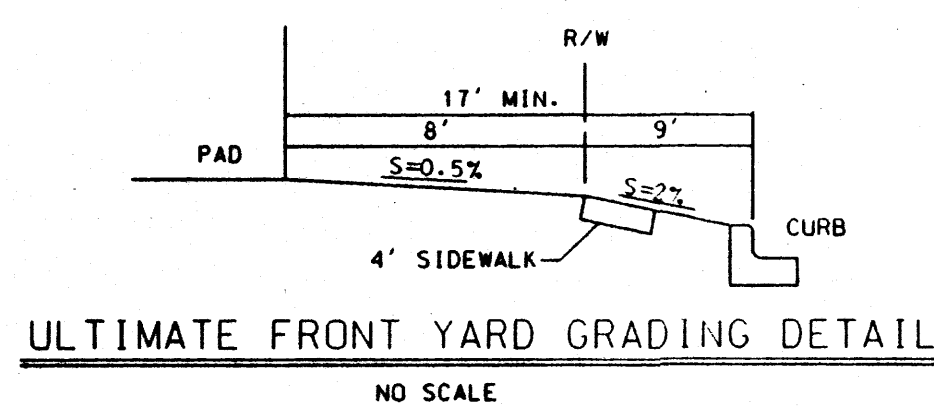
BHI JOB NO. 04 0166 004

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ENGINEER'S SEAL		SURVEY INFORMATION		FIELD NOTES		BENCH MARKS		AS-BUILT INFORMATION	
NO.	DATE	BY	DATE	NO.	DATE	BY	DATE	NO.	DATE
REMARKS		REVISIONS		DESIGN		DATE		DATE	
JPP/JML		BS		KGP		4/2004		4/2004	
DESIGNED BY		DRAWN BY		CHECKED BY		DATE		DATE	
						4/2004		4/2004	



14'-FINISHED GRADE ELEVATION AT TOP OF RETAINING WALL
 15'-FINISHED GRADE ELEVATION AT BOTTOM OF RETAINING WALL
TYPICAL RETAINING WALL NOMENCLATURE
 NOT TO SCALE
 (RETAINING HEIGHT IS TAKEN TO BE DIFFERENCE IN FINISHED GRADES ON LEFT AND RIGHT SIDE OF WALL.)



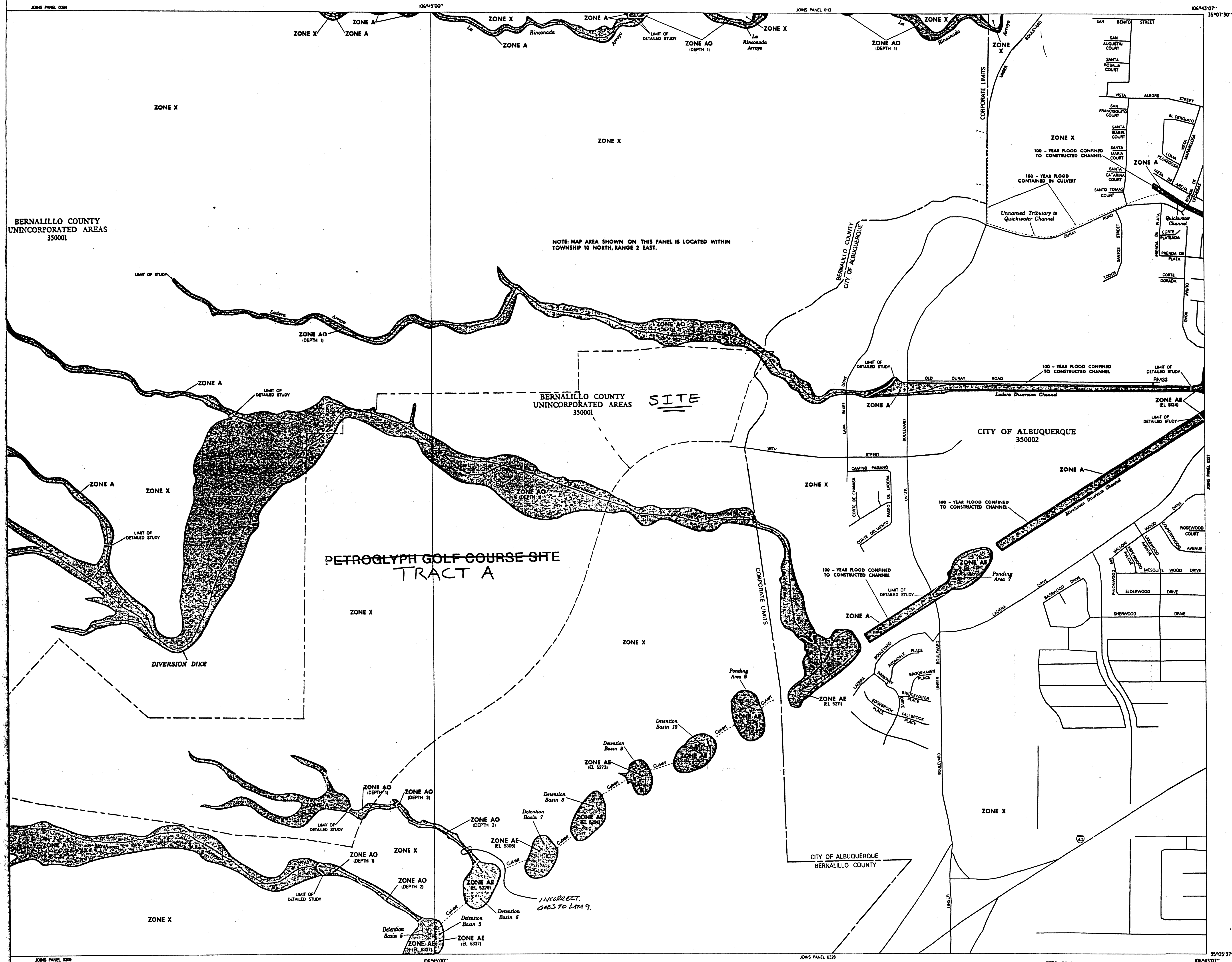
- GENERAL NOTES:
- EXCEPT AS PROVIDED HEREIN, GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.
 - CONTRACTOR SHALL OBTAIN AND ABIDE BY A TOPSOIL DISTURBANCE PERMIT FROM THE CITY OF ALBUQUERQUE ENVIRONMENTAL HEALTH DIVISION, PRIOR TO CONSTRUCTION. THE COST FOR REQUIRED CONSTRUCTION DUST AND EROSION CONTROL MEASURES SHALL BE INCIDENTAL TO THE PROJECT COST. THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE AND FEDERAL DUST CONTROL MEASURES AND REQUIREMENTS AND WILL BE RESPONSIBLE FOR PREPARING AND OBTAINING ALL NECESSARY APPLICATIONS AND APPROVALS.
 - ALL WORK RELATIVE TO FOUNDATION CONSTRUCTION, SITE PREPARATION, AND PAVEMENT INSTALLATION, AS SHOWN ON THIS PLAN, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE GEOTECHNICAL INVESTIGATION FOR SUNDORO SUBDIVISION AT THE PETROGLYPHS, PREPARED BY VINEYARD & ASSOCIATES, DATED JULY, 2003. ALL OTHER WORK, UNLESS OTHERWISE STATED OR PROVIDED FOR HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS (FIRST PRIORITY), AND/OR THE CITY OF ALBUQUERQUE (COA) STANDARD SPECIFICATIONS FOR PUBLIC WORKS (SECOND PRIORITY).
 - TWO WORKING DAYS PRIOR TO EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE (765-1264) FOR LOCATION OF EXISTING UTILITIES.
 - PRIOR TO GRADING, ALL VEGETATION DEBRIS, AND NEAR SURFACE ORGANICALLY CONTAMINATED SOIL SHALL BE STRIPPED FROM ALL AREAS TO BE GRADED. VEGETATION AND DEBRIS SHALL BE DISPOSED OF OFF-SITE OR STOCK-PILED FOR USE IN PLANTERS AND NON-STRUCTURAL FILLS.
 - EARTH SLOPES SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL UNLESS SHOWN OTHERWISE.
 - IT IS THE INTENT OF THESE PLANS THAT THIS CONTRACTOR SHALL NOT PERFORM ANY WORK OUTSIDE OF THE PROPERTY BOUNDARIES EXCEPT AS REQUIRED BY THIS PLAN.
 - CONTRACTOR SHALL RESEED ALL DISTURBED AREAS PER COA STANDARD SPECIFICATION 1012.
 - THE CONTRACTOR IS TO ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO ADJACENT PROPERTY OR PUBLIC RIGHT-OF-WAY. THIS SHOULD BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS AT THE PROPERTY LINES PER DETAIL THIS SHEET 2 OF 2 AND WETTING THE SOIL TO PROTECT IT FROM WIND EROSION.
 - A DISPOSAL SITE FOR ALL EXCESS EXCAVATION AND UNSUITABLE MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE OBSERVER. ALL COSTS INCURRED IN OBTAINING A DISPOSAL SITE AND HAUL THERE TO SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT, AND NO SEPARATE MEASUREMENT OR PAYMENT SHALL BE MADE.
 - PAVING AND ROADWAY GRADES SHALL BE $\pm 0.1'$ FROM PLAN ELEVATIONS. PAD ELEVATION SHALL BE $\pm 0.05'$ FROM BUILDING PLAN ELEVATIONS.
 - ALL SPOT ELEVATIONS ARE TO FLOWLINE UNLESS OTHERWISE NOTED. VALLEY GUTTER ELEVATIONS ARE SHOWN AT FLOWLINE ELEVATION.
 - ALL INTERIOR CURBS ARE ROLL CURB AND GUTTER UNLESS OTHERWISE NOTED.
 - ALL GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THE GEO-TECHNICAL REPORT PREPARED BY VINEYARD & ASSOC.

Bohannon & Huston
 Courtyard I 7500 Jefferson St. NE Albuquerque, NM 87109-4336
 ENGINEERING • SPATIAL DATA ADVANCED TECHNOLOGIES

CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT ENGINEERING DEVELOPMENT GROUP		WATERSHED SUBDIVISION AT WESTLAND GRADING DETAILS AND SECTIONS	
DESIGN REVIEW BOARD NO.	APPROVAL DATE	MO./DAY/YR.	MO./DAY/YR.
X X	___/___/___		
CITY PROJECT NO.	ZONE MAP NO.	SHEET	OF
XXXXXX	H-9	7	7

BHI JOB NO. 04 0166 004

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**EXHIBIT 2
FEMA FLOODPLAIN MAP**

NATIONAL FLOOD INSURANCE PROGRAM

**FIRM
FLOOD INSURANCE RATE MAP
BERNALILLO COUNTY,
NEW MEXICO AND
INCORPORATED AREAS**

**PANEL 326 OF 825
(SEE MAP INDEX FOR PANELS NOT PRINTED)**

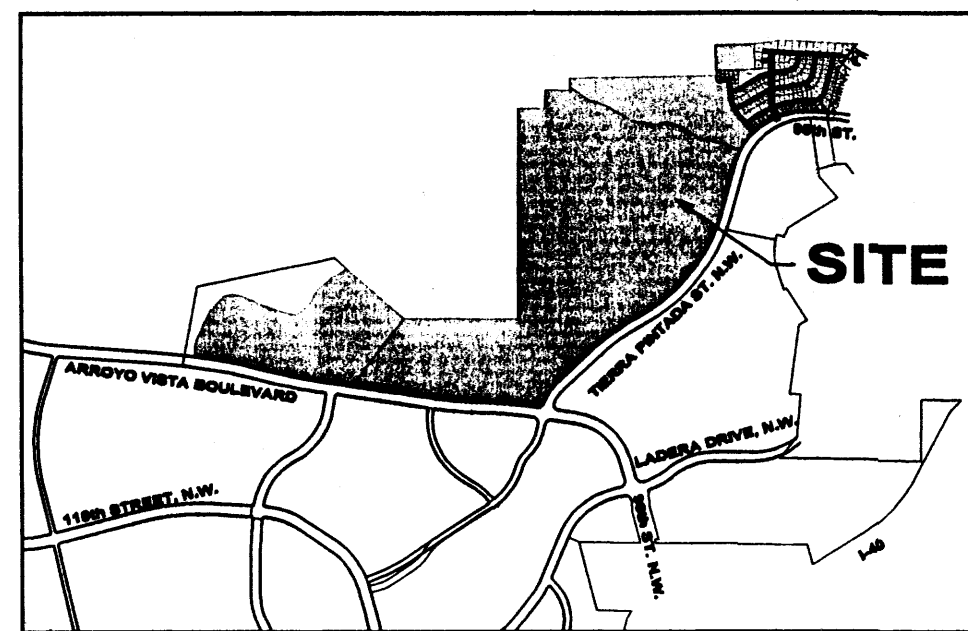
CONTAINS COMMUNITY	NUMBER	PANEL	SUFFIX
ALBUQUERQUE, CITY OF	350002	0236	D
BERNALILLO COUNTY, UNINCORPORATED AREAS	350001	0236	D

**MAP NUMBER
35001C0326 D**

**EFFECTIVE DATE:
SEPTEMBER 20, 1996**



Federal Emergency Management Agency



LOCATION MAP
ZONE ATLAS MAP NO. H-9
NOT TO SCALE

PETROGLYPH NATIONAL MONUMENT

EXISTING
L14.1 = 205cfs
L14.2 = 181cfs
L14.3 = 92cfs

TRACT A
3.33 ACRES
Q100 = 7.01cfs

EXCEPTION 1
6.0641 acres

TRACT A
COLLEGE ZONE 2
WEST RESERVOIR SITE
(72,113-99, 99C-333)

PARK BASIN
4.56 ACRES
Q100 = 9.60cfs

BASIN A-1
1.94 ACRES
Q100 = 6.07cfs

BASIN B-1
2.38 ACRES
Q100 = 7.37cfs

BASIN B-2
3.85 ACRES
Q100 = 12.04cfs

BASIN A-3
3.06 ACRES
Q100 = 9.58cfs

BASIN D-2
0.89 ACRES
Q100 = 2.78cfs

BASIN D-4
3.43 ACRES
Q100 = 11.11cfs

BASIN E-1
6.39 ACRES
Q100 = 19.93cfs

BASIN C-1
5.76 ACRES
Q100 = 17.98cfs

BASIN G-2
1.94 ACRES
Q100 = 6.08cfs

BASIN C-2
2.81 ACRES
Q100 = 8.77cfs

EX BASIN
8.31 ACRES
Q100 = 34.37cfs

TRACT J
THE CROSSING
FILED: JULY 09, 1995
(95C-302)

TRACT B
THE CROSSING
FILED: JULY 09, 1995
(95C-302)

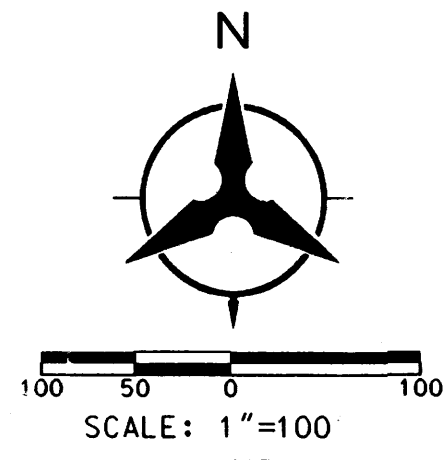
UNIT 3
PARKWEST
SUBDIVISION
FILED: NOVEMBER 30, 1995
(95C-429)

98th STREET
(108' R-O-W)

TERRA PINTADA ST. N.W.
(R-O-W VARIES
(162 TO 108'))

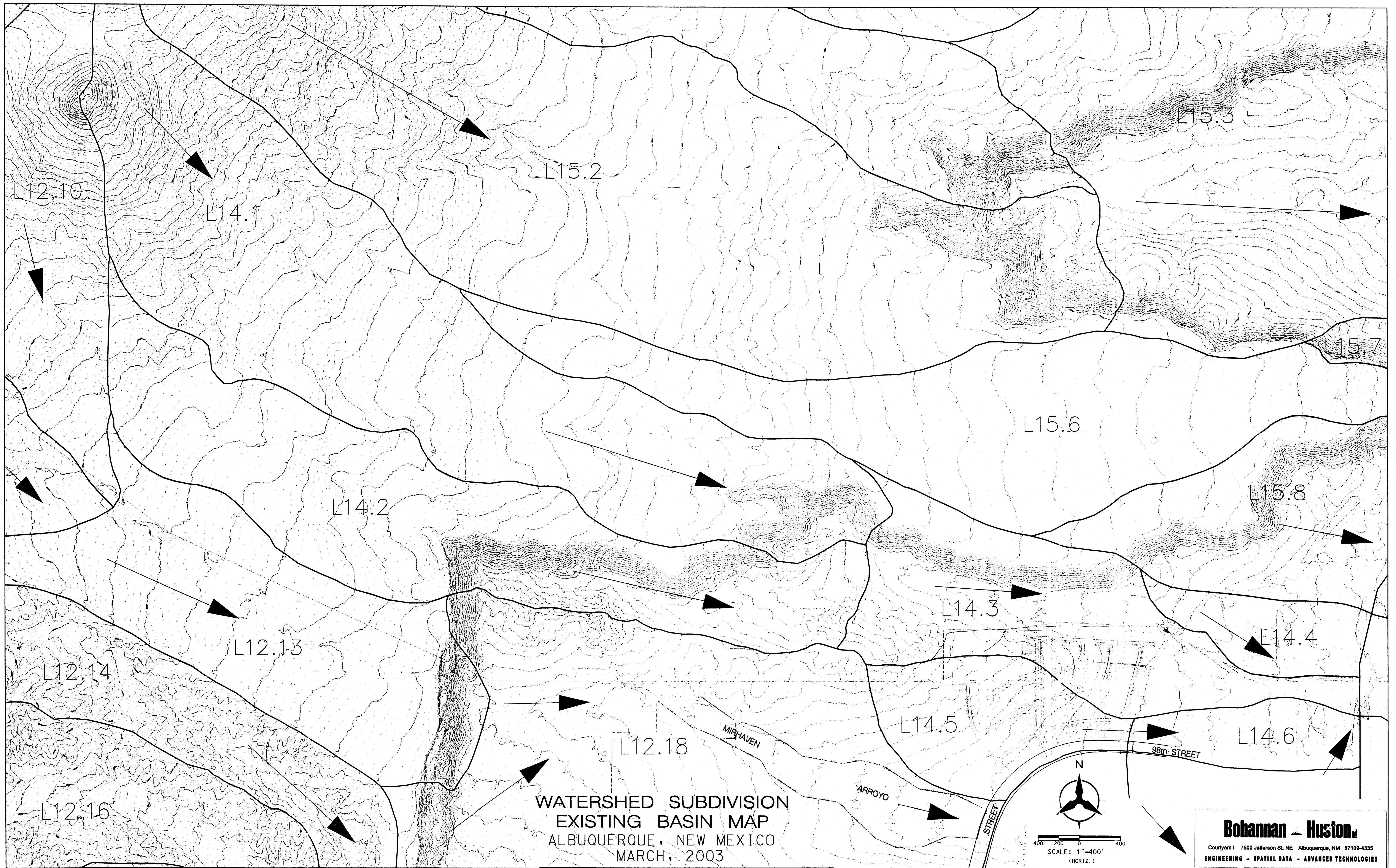
MIRAHAVEN ARROYO

WATERSHED SUBDIVISION PROPOSED BASIN MAP ALBUQUERQUE, NEW MEXICO MARCH, 2003



Bohannon & Huston

Courtyard I 7500 Jefferson St. NE Albuquerque, NM 87109-4335
ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES





1. COVER SHEET, PAVEMENT CONSTRUCTION
2. DEDICATION AND CONSENT, LEGAL DESCRIPTION, SUBDIVISION DATA
3. SHEET INDEX MAP
4. SURVEY CONTROL SHEET
5. TO 16.
6. TO 21.
7. TO 21.
8. TO 21.
9. TO 21.
10. TO 21.
11. TO 21.
12. TO 21.
13. TO 21.
14. TO 21.
15. TO 21.
16. TO 21.
17. TO 21.
18. TO 21.
19. TO 21.
20. TO 21.
21. TO 21.
22. TO 21.

Legal Description

[illegible]

MEASURE'S CERTIFICATE

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND
PAID ON UPC #25-116-Codes Setback/Habitat
PROPERTY OWNER OF RECORD

Recorded On: 1/2/00

RECEIVED COUNTY TREASURER'S OFFICE

Wade Karmann 12/27/2000

[illegible]

Westland North

Bulk Land Plat of
Albuquerque, Bernalillo County, New Mexico
July 2000

Project # 1000570

Application No. 00410-00000-00732 (BLV)
00410-00000-00733 (WRV)
00440-00000-00734 (VFE)
12/12/00

Approvals

City Engineer John P. Bell DATE 7-12-00
Surveyor John P. Bell DATE 7-12-00
Platting Engineer John P. Bell DATE 7-12-00
Surveyor John P. Bell DATE 8-14-00
Project Manager John P. Bell DATE 7/12/00
Water Resources Department John P. Bell DATE 7/12/00
Bernalillo Department of Public Works John P. Bell DATE 7-12-00
Public Electric Services John P. Bell DATE 7-12-00
Firm Gas Services John P. Bell DATE 07/12/00
De West Communications John P. Bell DATE 7/12/00
Comcast Cable John P. Bell DATE 7/12/00

Surveyor's Certificate

I, LARRY W. MERRINO, A REGISTERED PROFESSIONAL SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, HEREBY CERTIFY THAT THIS PLAT WAS PREPARED FROM FIELD NOTES OF AN ACTUAL SURVEY MEETING THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE CITY OF ALBUQUERQUE SUBDIVISION ORDINANCE AND STANDARDS FOR LAND SURVEYS OF THE N.M. BOARD OF REGISTRATION FOR ENGINEERS AND SURVEYORS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF, AND THAT ANY IMPROVEMENTS ARE SHOWN IN THEIR CORRECT LOCATION RELATIVE TO RECORD BOUNDARIES AS LOCATED BY THIS SURVEY.

Larry W. Merrino DATE 7/12/00
LARRY W. MERRINO
M.E.S. No. 11993

REGISTERED PROFESSIONAL SURVEYOR
NEW MEXICO
11993

Precision Surveys, Inc.
8414-D JEFFERSON ST., N.E. PHONE 505 566 5700
ALBUQUERQUE, NEW MEXICO 87113 FAX 505 566 7900

Project No. 1000570

Sheet 1 of 23



Westland Development Co., Inc.

PRECISION SURVEYS, INC.

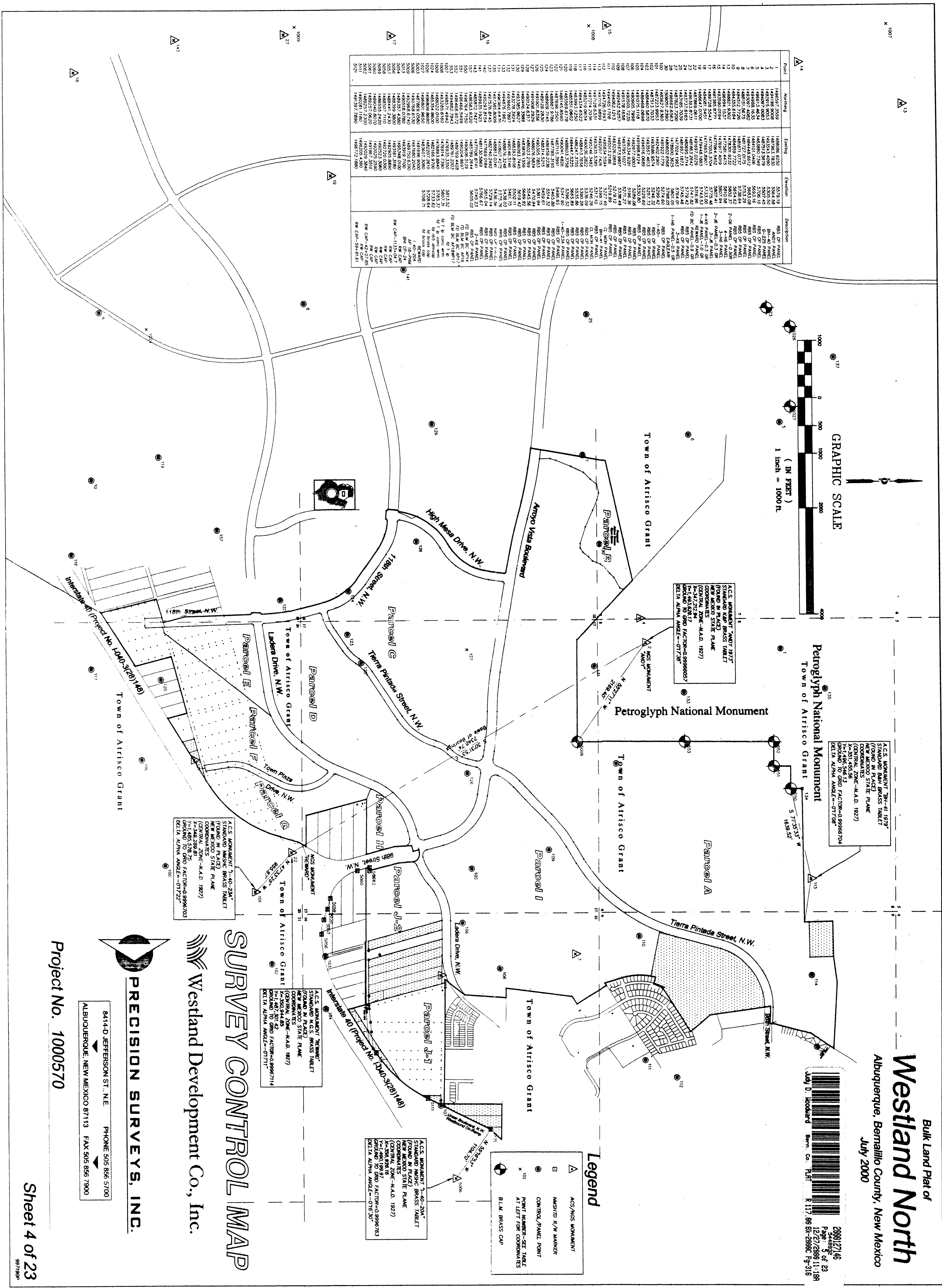
6414-D JEFFERSON ST., N.E. PHONE 505 556 5700
ALBUQUERQUE, NEW MEXICO 87113 FAX 505 556 7800

Project No. 1000570

Sheet 2A of 23

08/27/92

89812716
Page 5 of 23
July 2, 2000
R 17 86 BC-5886 P-716



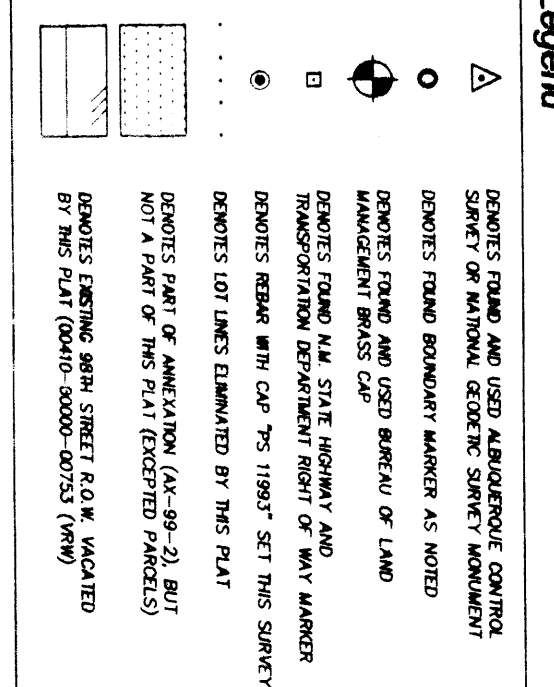
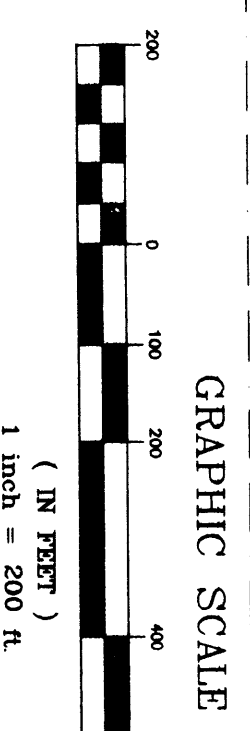
SURVEY CONTROL MAP
Westland Development Co., Inc.

PRECISION SURVEYS, INC.
6414 D JEFFERSON ST., NE PHONE 505 856 5700
ALBUQUERQUE, NEW MEXICO 87113 FAX 505 856 7900

Project No. 1000570
Sheet 4 of 23

Petroglyph National Monument

Town of Atrisco Grant



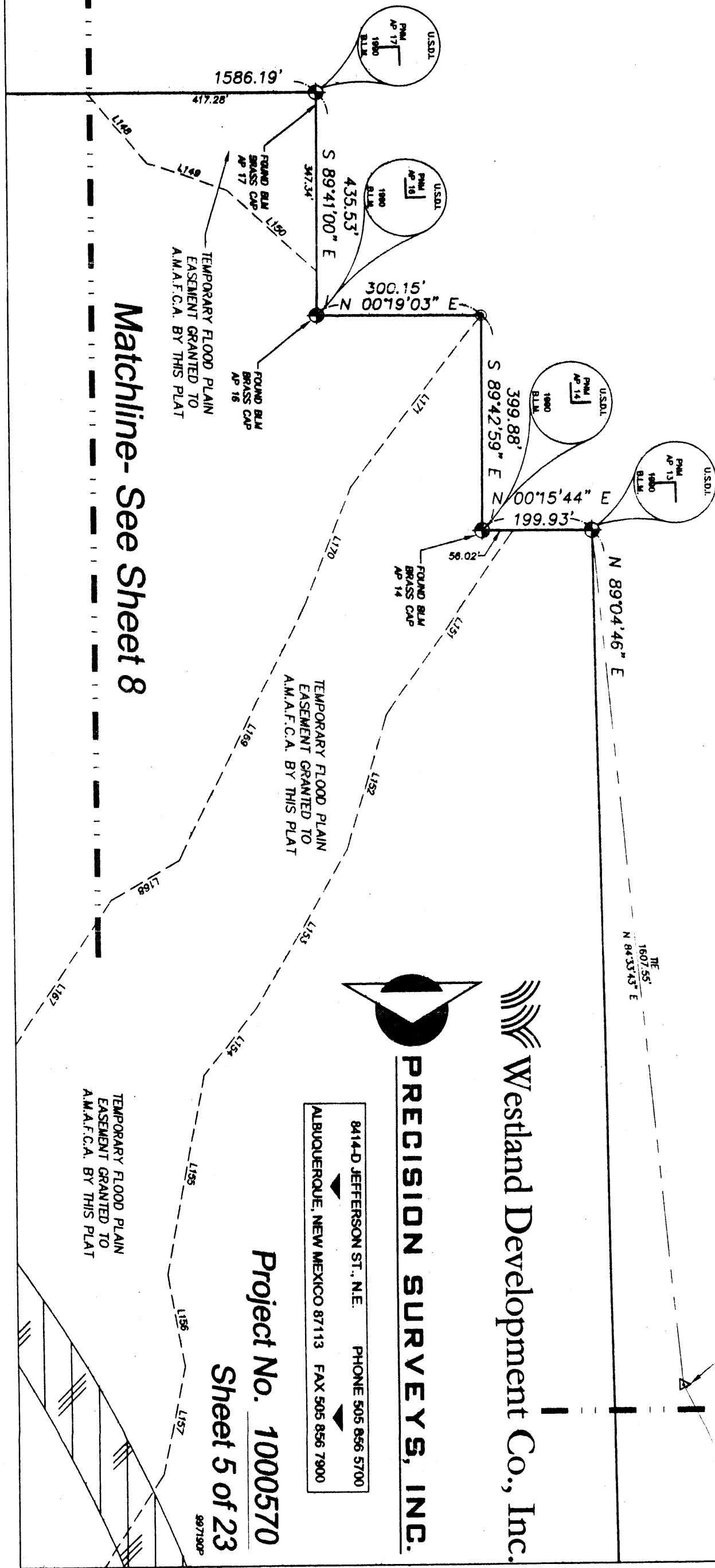
ACR/MS MONUMENT "N-4-1-1879"
(GRAND PLAT) STATE PLAT
COMMENTS: SEE TABLE AT LEFT FOR COMMENTS
B.L.W. ALUM. ANGLE - 07170"

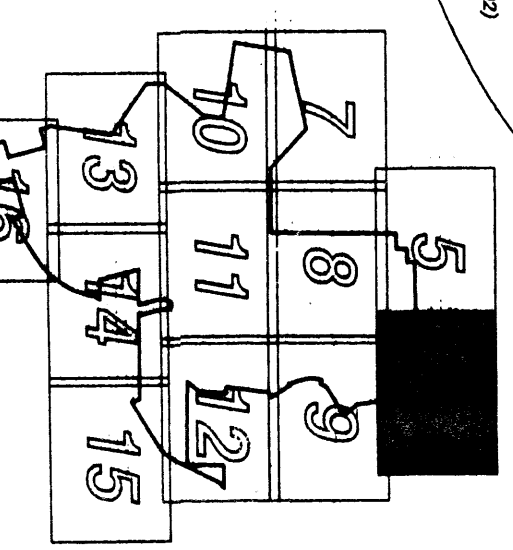
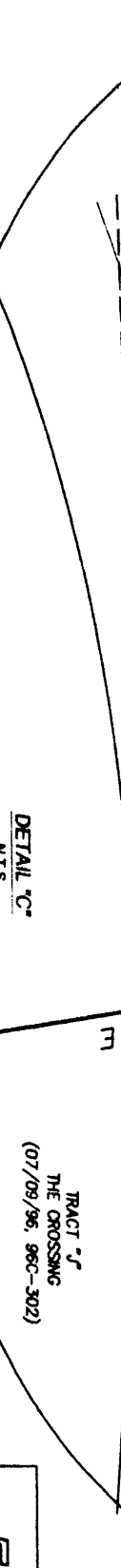
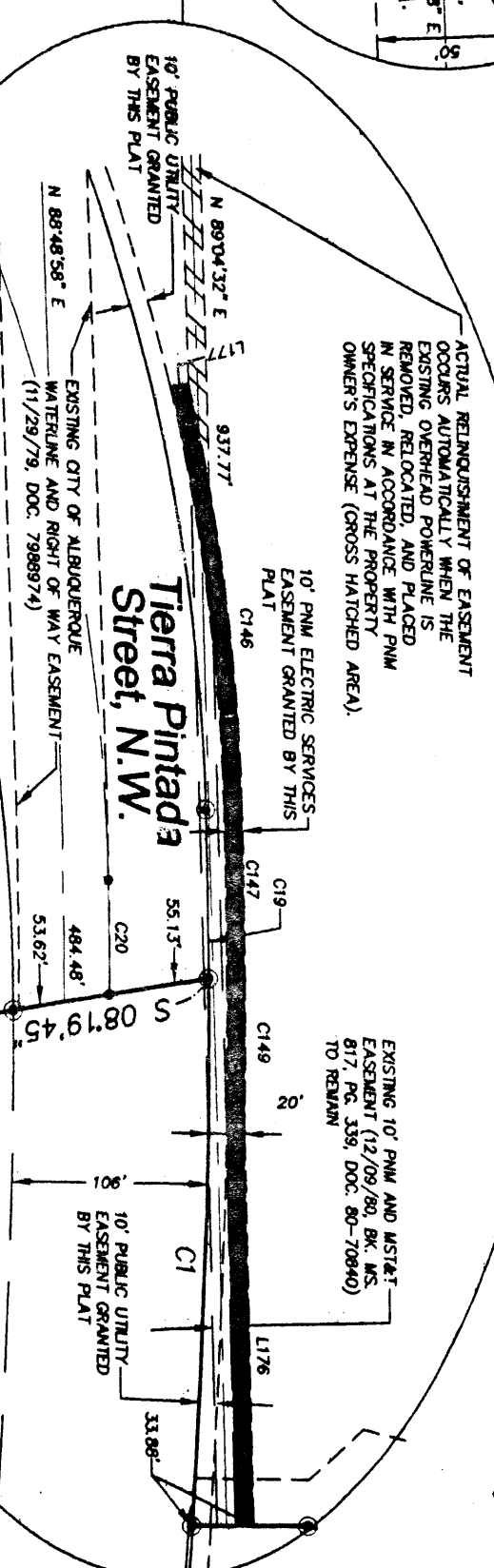
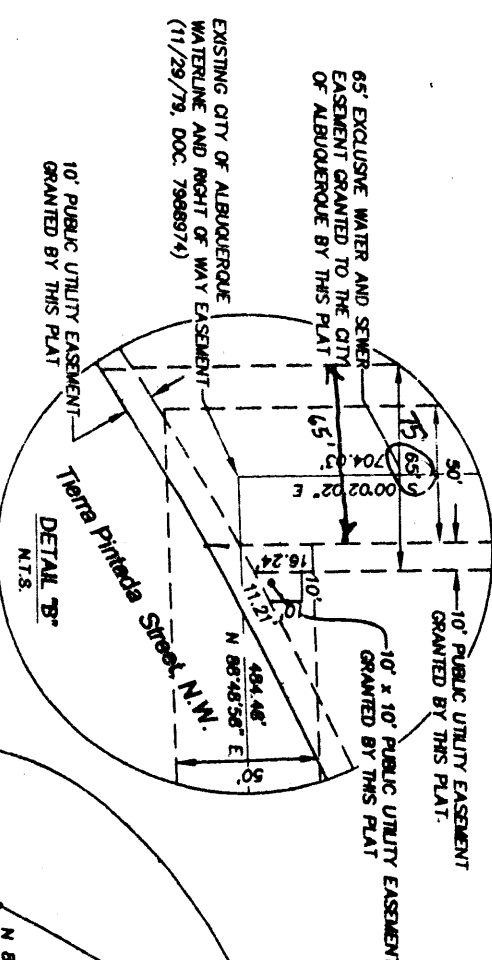
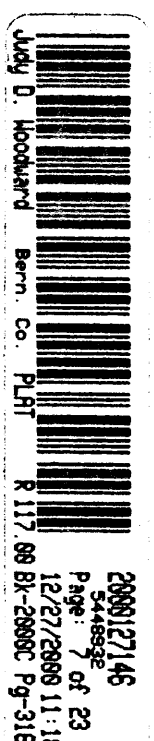
Westland Development Co., Inc.

PRECISION SURVEYS, INC.
814 D JEFFERSON ST., NE PHONE 505 856 5700
ALBUQUERQUE, NEW MEXICO 87113 FAX 505 856 7900

Project No. 1000570
Sheet 5 of 23

Key Map



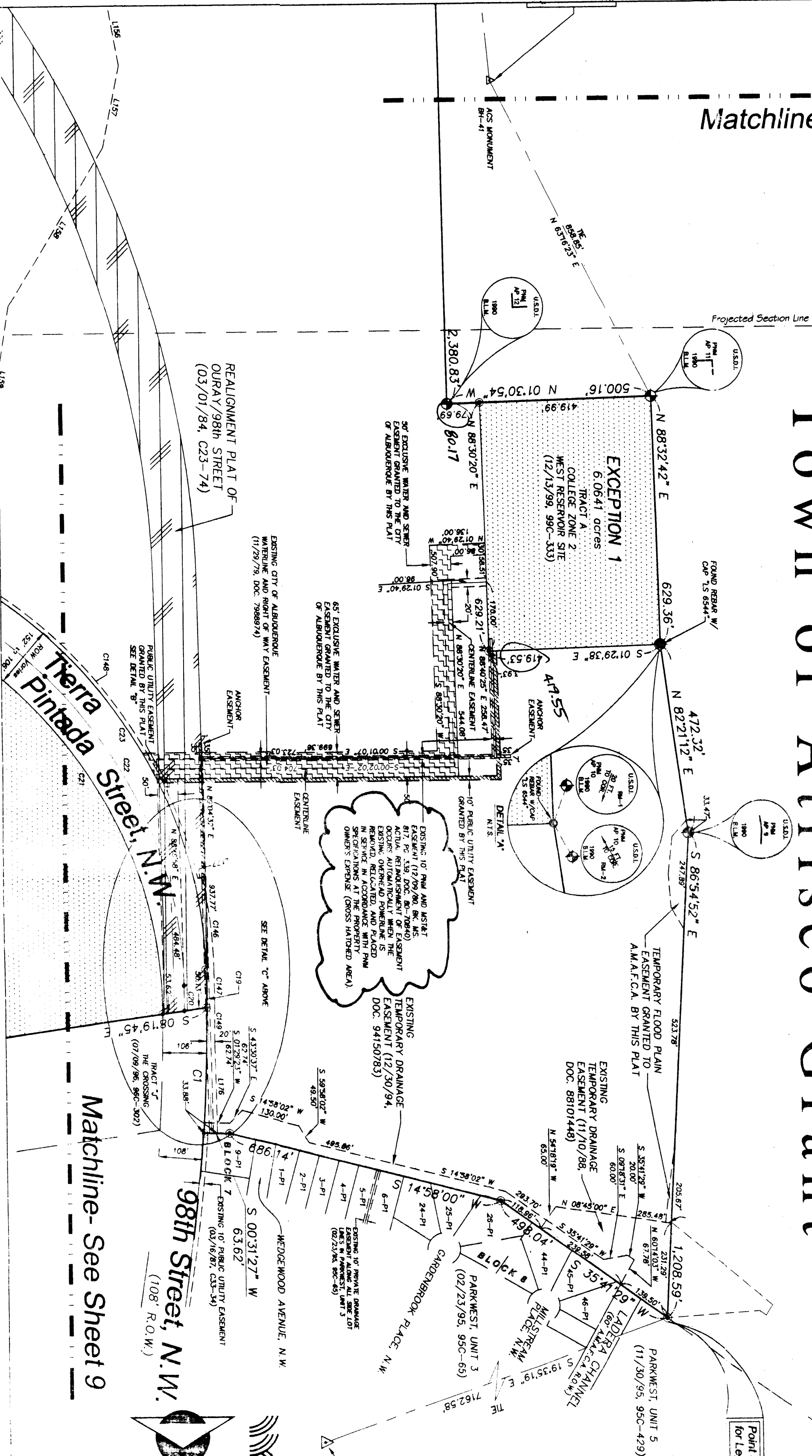


Petroglyph National Monument Town of Atrisco Grant

Matchline- See Sheet 5

Point of Beginning
for Legal Description

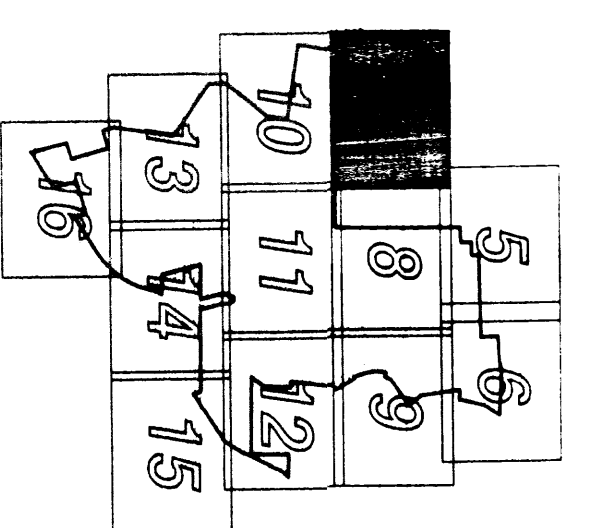
- Legend**
- DENOTES FUND AND USED ALBUQUERQUE COUNTY SURVEY OF NATIONAL GEODETIC SURVEY MONUMENT
 - DENOTES FUND BOUNDARY MARKER AS NOTED
 - DENOTES FUND AND USED BUREAU OF LAND MANAGEMENT BRASS CAP
 - DENOTES FUND N.A. STATE HIGHWAY AND RIGHT-OF-WAY MARKER
 - DENOTES ROAD WITH CAP "75 11983" SET THIS SURVEY
 - DENOTES LOT LINES ELIMINATED BY THIS PLAT
 - DENOTES PART OF AMATEX (A-39-2) BUT NOT A PART OF THIS PLAT (EXCEPT PARCELS)
 - DENOTES EXISTING 8TH STREET ROW VACATED BY THIS PLAT (00410-0000-00753) (NWS)



Westland Development Co., Inc.
PRECISION SURVEYS, INC.
6414-D JEFFERSON ST., N.E. PHONE 505 865 5700
ALBUQUERQUE, NEW MEXICO 87113 FAX 505 865 7900

Project No. 1000570
Sheet 6 of 23

Bulk Land Plat of
Westland North
Albuquerque, Bernalillo County, New Mexico
July 2000



- Legend**
- DENOTES FUND AND USED ALBUQUERQUE COUNTY SURVEY OF NATIONAL GEODETIC SURVEY MONUMENT
 - DENOTES FUND BOUNDARY MARKER AS NOTED
 - DENOTES FUND BOUNDARY MARKER AS NOTED
 - DENOTES FUND AND USED BUREAU OF LAND MANAGEMENT BRASS CAP
 - DENOTES FUND N.A. STATE HIGHWAY AND RIGHT-OF-WAY MARKER
 - DENOTES ROAD WITH CAP "75 11983" SET THIS SURVEY
 - DENOTES LOT LINES ELIMINATED BY THIS PLAT
 - DENOTES PART OF AMATEX (A-39-2) BUT NOT A PART OF THIS PLAT (EXCEPT PARCELS)
 - DENOTES EXISTING 8TH STREET ROW VACATED BY THIS PLAT (00410-0000-00753) (NWS)

Town of Atrisco Grant

UN-PLATTED LANDS
LANDS OF WESTLAND DEVELOPMENT CO., INC.

Westland Development Co., Inc.
PRECISION SURVEYS, INC.
6414-D JEFFERSON ST., N.E. PHONE 505 865 5700
ALBUQUERQUE, NEW MEXICO 87113 FAX 505 865 7900

Project No. 1000570

Matchline- See Sheet 10

Sheet 7 of 23