

CITY OF ALBUQUERQUE



February 13, 2015

Yolanda Padilla Moyer, P.E.
Bohannon Huston Inc.
7500 Jefferson St NE, Ctyd 1
Albuquerque, NM 87109

**Re: Pulte @ Mirehaven Phase 1,
Pad Certification - All Lots
Engineer's Stamp dated: 3-12-14, (H09D017B)
Certification dated: 2-4-15**

Dear Ms. Padilla Moyer,

Based upon the information provided in the Certification received 2-4-15, the above referenced Certification is acceptable for Building Permit on all lots in the above referenced subdivision.

Per our meeting with Pulte Homes on 2-12-15, as a condition of receiving approval for all building permits, Pulte Homes agreed to:

1. Remove sediment from the bay area upstream of the storm drains under Tierra Pintada Blvd to near the pipe invert.
2. Remove excess soil and grade the slopes near the 18" pipe (Outfall D-1) to approximately 3:1.
3. This work is to begin in one week and be concluded in two weeks, which is 2-27-15. Please let Pulte Homes know to contact Hydrology when this work has been completed.

If you have any questions, you can contact me at 924-3986.

Sincerely,

Curtis A. Cherne, P.E.
Principal Engineer, Hydrology
Planning Dept.

C: e-mail

PO Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: Pulte @ Mirehaven Phase 1 Building Permit #: _____ City Drainage #: _____
DRB#: 1006864 EPC#: _____ Work Order#: 650382
Legal Description: N-2-A OF THE WATERSHED SUBDIVISION
City Address: _____

Engineering Firm: BOHANNAN HUSTON INC Contact: Yolanda Padilla Moyer
Address: 7500 JEFFERSON ST NE COURTYARD 1 ALBUQUERQUE NM 87109
Phone#: 823-1000 Fax#: _____ E-mail: ypadilla@bhinc.com

Owner: PULTE HOMES OF NM Contact: Peter Steen
Address: 7601 JEFFERSON ST NE, SUITE 320, ALBUQUERQUE, NM
Phone#: 505-761-9606 Fax#: _____ E-mail: peter.steen@pulte.com

Architect: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

Surveyor: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

Contractor: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
☒ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ ENGINEER'S CERT (TCL)
☐ ENGINEER'S CERT (DRB SITE PLAN)
☐ ENGINEER'S CERT (ESC)
☐ SO-19
☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ CERTIFICATE OF OCCUPANCY (PERM)
☐ CERTIFICATE OF OCCUPANCY (TCL TEMP)
☐ FOUNDATION PERMIT APPROVAL
☒ BUILDING PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ GRADING CERTIFICATION

☐ SO-19 APPROVAL
☐ ESC PERMIT APPROVAL
☐ ESC CERT. ACCEPTANCE
☐ OTHER (SPECIFY) _____
ROUGH GRADING

WAS A PRE-DESIGN CONFERENCE ATTENDED: _____ Yes _____ No _____ Copy Provided

DATE SUBMITTED: 2-4-15 By: Yolanda Padilla Moyer

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development

February 4, 2015

Mr. Curtis Cherne
Hydrology Section
City of Albuquerque
600 2nd Street NW
Albuquerque, NM 87102

Re: Partial Grading and Drainage Certification, Pulte @ Mirehaven Phase 1
DRB Case No. 1006864

Dear Curtis:

We are submitting a the grading and drainage certification for all remaining Lots not previous requested. They are 6-40, 57-60 and 65-101 for Pulte @ Mirehaven Phase 1. Partial certification for lots 1-5, 41-45, 46-56 and 61-64 have been previously submitted and approved. Enclosed for your review is the approved grading and drainage plan dated 12/19/13, 3/12/14 with as-built elevations. These lots have been graded; retaining walls, curb and gutter, pavement and downstream infrastructure have been constructed. Some of the perimeter of the site has yet to be completed; there is still some grading and retaining walls that need to be constructed. A final certification will be done once these are completed.

After reviewing these as-built elevations and visiting the site on 9/29/14, 11/5/14, 1/9/15 and 2/3/15 it is my belief that the above lots have been graded in substantial compliance with the approved grading and drainage plan and that the interim drainage improvements allow runoff to be managed in the interim condition.

Your review and approval is requested for Building Permit Approval for the above listed buildings. I appreciate your time and consideration. If you have questions or require additional information, please contact me at 823-1000.

Sincerely,



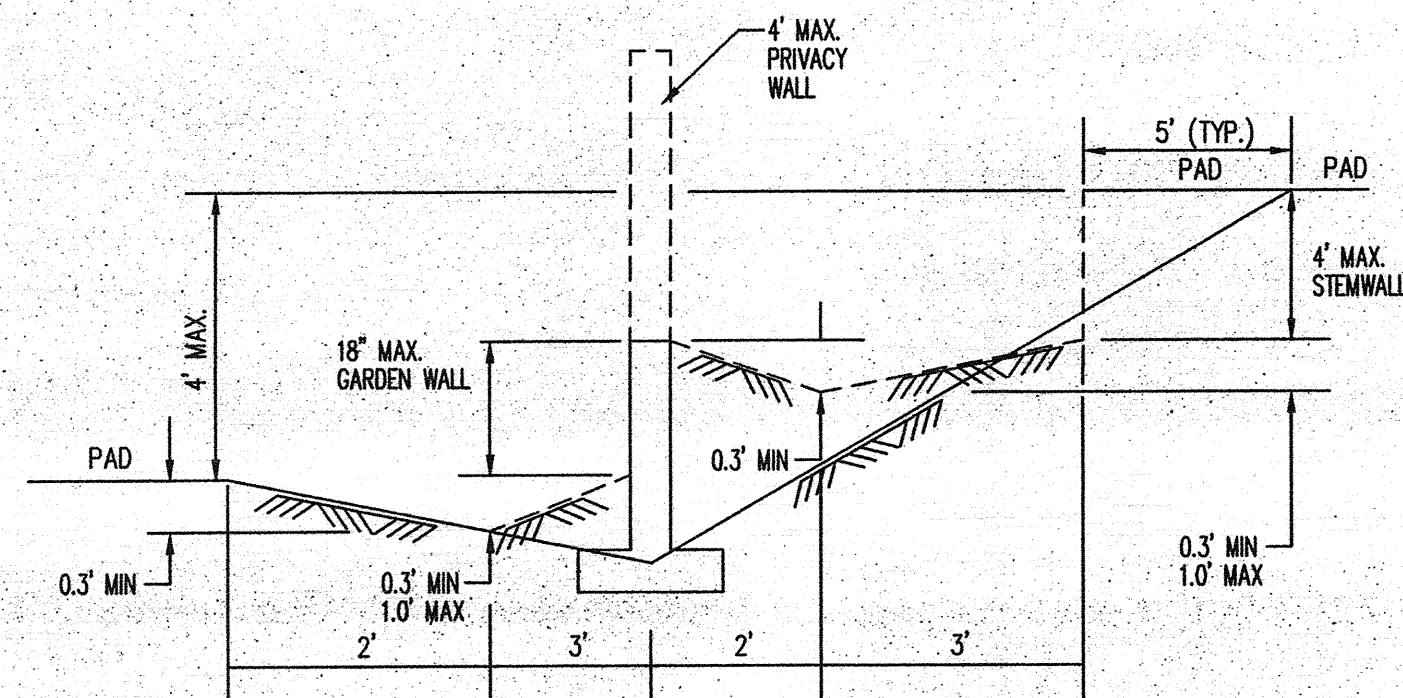
Yolanda Padilla Moyer, P.E.
Senior Project Manager
Community Development & Planning

Enclosure

cc: Peter Steen, Pulte Homes
Kevin Patton, Pulte Homes

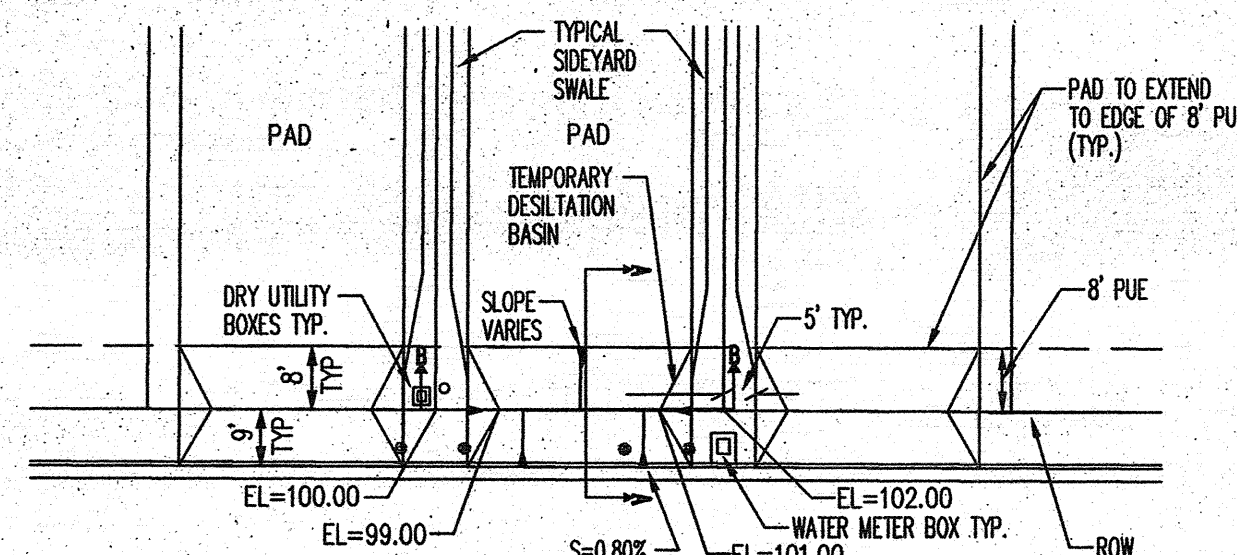
LEGEND

PROPOSED SPOT ELEVATION	• 5235.25
EXISTING SPOT ELEVATION	• EX 5235.25
PROPOSED CONTOUR	--- 5025 ---
EXISTING STORM DRAIN LINE	=====
PROPOSED STORM DRAIN INLET	□
PROPOSED STORM DRAIN LINE	=====
PROPOSED STORM DRAIN MANHOLE	○
PROPOSED WATER BLOCK	~~~~~
RETAINING WALL	=====
PAD	10 P=5300.00
TB	TURNED BLOCK
STREET SLOPE	XX



TYPICAL SIDE LOT LINE SECTION
NOT TO SCALE

NOTE: DASHED LINES IN TYP. SIDE LOT LINE SECTIONS REPRESENT THE FINAL CONDITION AFTER THE GARDEN, STEM, AND PRIVACY WALLS HAVE BEEN CONSTRUCTED. THE INTERIM CONDITION, WHICH IS TO BE CONSTRUCTED BY THE GRADING CONTRACTOR AND CERTIFIED BY THE ENGINEER, IS REPRESENTED BY THE SOLID LINES. RETAINING WALLS WILL BE CONSTRUCTED PRIOR TO GRADING CERTIFICATION.



TYPICAL SIDE LOT LINE SECTION
NOT TO SCALE

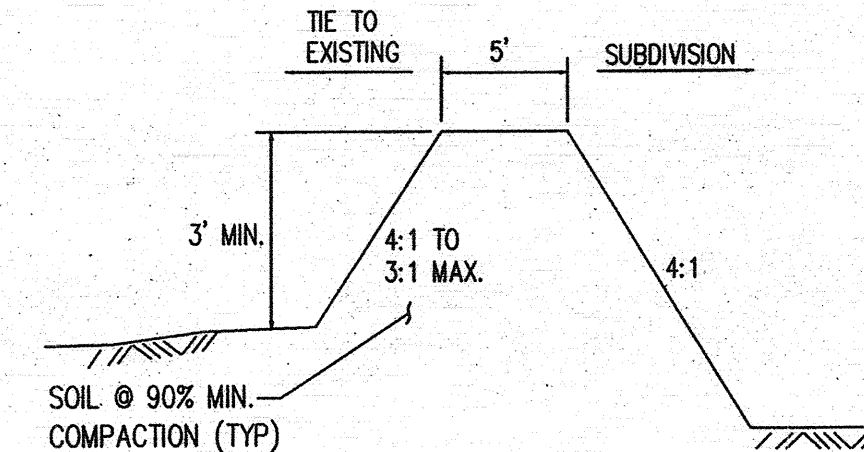
** BOTTOM OF BASIN IS 1' BELOW PROPERTY LINE ELEVATION SEE GRADING PLANS FOR EXACT ELEVATIONS

GRADING AND DRAINAGE CERTIFICATION

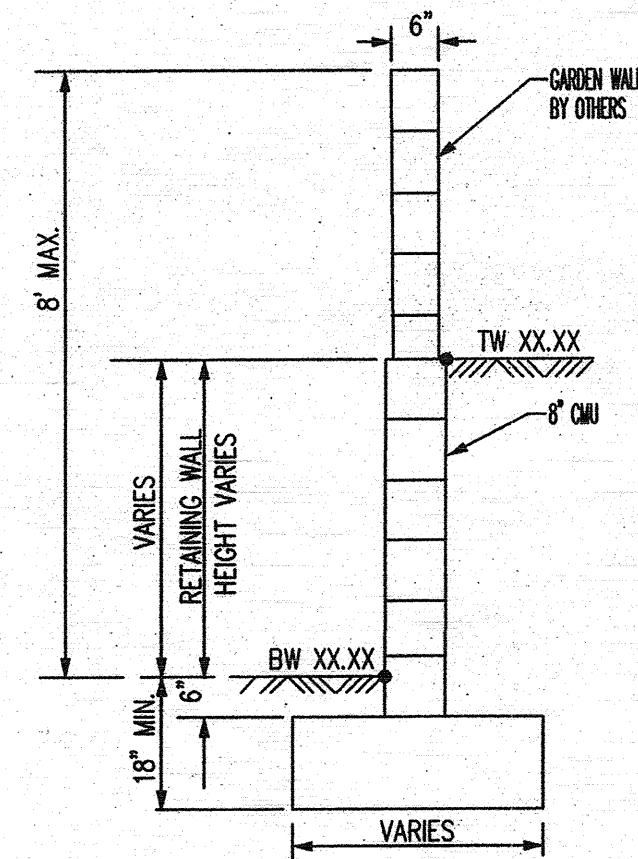
I, YOLANDA PADILLA MOYER, NMPE 16035, OF THE FIRM BOHANNAN HUSTON, HEREBY CERTIFY THAT LOTS 1-101 PULTE AT MIREHAVEN PHASE 1, HAVE BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED GRADING AND DRAINAGE PLAN DATED 12/19/13, 3/12/14, THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN PROVIDED BY BRIAN J. MARTINEZ, NMPS 18374, OF CARTESIAN SURVEYS. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 9/29/14, 11/5/14, 1/9/15 AND 2/3/15 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE DATA PROVIDED IS REPRESENTATIVE OF ACUTAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

Yolanda Padilla Moyer 2/4/15
YOLANDA PADILLA MOYER, NMPE 16035 DATE

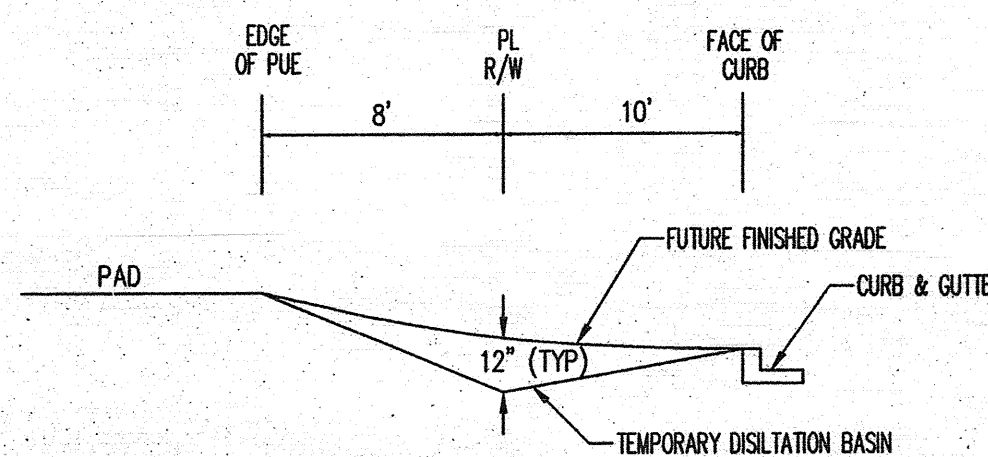


TEMPORARY BERM DETAIL
NOT TO SCALE

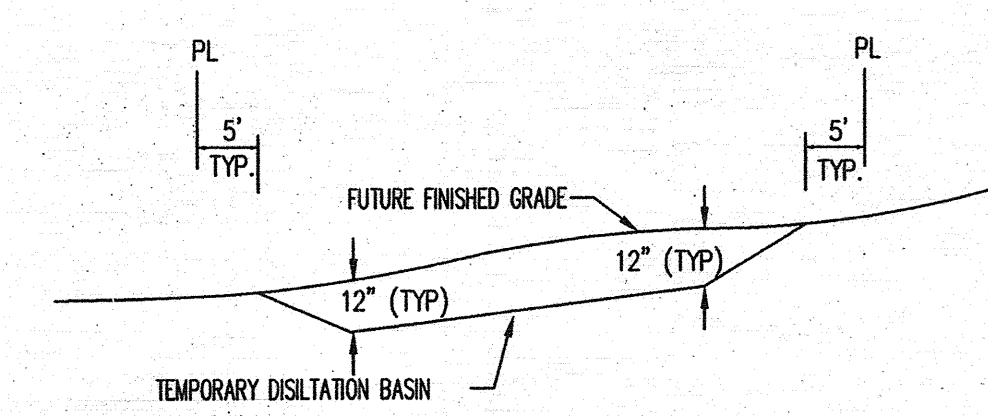


TYPICAL RETAINING WALL NOMENCLATURE
NOT TO SCALE

(RETAINING HEIGHT IS TAKEN TO BE DIFFERENCE IN FINISHED GRADES ON LEFT AND RIGHT SIDE OF WALL.)
HEIGHT IS IN ACCORDANCE WITH CITY COMPREHENSIVE ZONING CODE, SECTION 14-16-3-19, GENERAL HEIGHT AND DESIGN REGULATIONS FOR WALLS, FENCES, AND RETAINING WALLS.



TEMPORARY DESILTATION SECTION A-A
NOT TO SCALE



TEMPORARY DESILTATION SECTION B-B
NOT TO SCALE

GENERAL NOTES

- ALL WORK DETAILED ON THESE PLANS AND PERFORMED UNDER THIS CONTRACT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND THE PROJECT GEOTECHNICAL REPORT. WHERE APPLICABLE, CITY OF ALBUQUERQUE PUBLIC WORKS STANDARDS SHALL APPLY.
- THE CONTRACTOR SHALL ABIDE BY ALL LOCAL, STATE, AND FEDERAL LAWS, RULES AND REGULATIONS WHICH APPLY TO THE CONSTRUCTION OF THESE IMPROVEMENTS, INCLUDING EPA REQUIREMENTS WITH RESPECT TO STORM WATER DISCHARGE.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL POTENTIAL OBSTRUCTIONS INCLUDING ALL UNDERGROUND UTILITIES. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION OBSERVER OR ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR SHALL CONTACT LINE LOCATING SERVICE FOR LOCATION OF EXISTING UTILITIES.
- ALL ELECTRICAL, TELEPHONE, CABLE TV, GAS AND OTHER UTILITY LINES, CABLES, AND APPURTENANCES ENCOUNTERED DURING CONSTRUCTION THAT REQUIRE RELOCATION, SHALL BE COORDINATED WITH THAT UTILITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL NECESSARY UTILITY ADJUSTMENTS. NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR DELAYS OR INCONVENIENCES CAUSED BY UTILITY COMPANY WORK CREWS. THE CONTRACTOR MAY BE REQUIRED TO RESCHEDULE HIS ACTIVITIES TO ALLOW UTILITY CREWS TO PERFORM THEIR REQUIRED WORK.
- THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITY LINES WITHIN THE CONSTRUCTION AREA. ANY DAMAGE TO EXISTING FACILITIES CAUSED BY CONSTRUCTION ACTIVITY SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE AND APPROVED BY THE CONSTRUCTION OBSERVER.
- CONSTRUCTION ACTIVITY SHALL BE LIMITED TO THE PROPERTY AND/OR PROJECT LIMITS. ANY DAMAGE TO ADJACENT PROPERTIES RESULTING FROM THE CONSTRUCTION PROCESS SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE.
- OVERNIGHT PARKING OF CONSTRUCTION EQUIPMENT SHALL NOT OBSTRUCT DRIVEWAYS OR DESIGNATED TRAFFIC LANES. THE CONTRACTOR SHALL NOT STORE ANY EQUIPMENT OR MATERIAL WITHIN THE PUBLIC RIGHT-OF-WAY.
- THE CONTRACTOR SHALL OBTAIN ALL THE NECESSARY PERMITS FOR THE PROJECT PRIOR TO COMMENCING CONSTRUCTION (I.E., BARRICADING, TOPSOIL DISTURBANCE, EXCAVATION PERMITS, EPA STORM WATER PERMITS, ETC.).
- ALL PROPERTY CORNERS DESTROYED DURING CONSTRUCTION SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE. ALL PROPERTY CORNERS MUST BE RESET BY A REGISTERED LAND SURVEYOR.
- THE CONTRACTOR SHALL PREPARE A CONSTRUCTION TRAFFIC CONTROL AND SIGNING PLAN AND OBTAIN APPROVAL OF SUCH PLAN FROM THE CITY OF ALBUQUERQUE, TRAFFIC ENGINEERING DEPARTMENT, PRIOR TO BEGINNING ANY CONSTRUCTION WORK ON OR ADJACENT TO EXISTING STREETS.
- ALL BARRICADES AND CONSTRUCTION SIGNING SHALL CONFORM TO APPLICABLE SECTIONS OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD), US DEPARTMENT OF TRANSPORTATION, LATEST EDITION.
- THE CONTRACTOR SHALL MAINTAIN ALL CONSTRUCTION BARRICADES AND SIGNING AT ALL TIMES. THE CONTRACTOR SHALL VERIFY THE PROPER LOCATION OF ALL BARRICADING AT THE END AND BEGINNING OF EACH DAY.
- THE CONTRACTOR SHALL TAKE ALL STEPS NECESSARY TO CONFORM WITH EPA REQUIREMENTS, INCLUDING COMPLIANCE WITH NPDES PHASE 2 REQUIREMENTS.

GRADING NOTES

- EXCEPT AS PROVIDED HEREIN, GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.
- CONTRACTOR SHALL OBTAIN AND ABIDE BY A TOPSOIL DISTURBANCE PERMIT FROM THE CITY OF ALBUQUERQUE ENVIRONMENTAL HEALTH DIVISION, PRIOR TO CONSTRUCTION. THE COST FOR REQUIRED CONSTRUCTION DUST AND EROSION CONTROL MEASURES SHALL BE INCIDENTAL TO THE PROJECT COST. THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE, AND FEDERAL DUST CONTROL MEASURES AND REQUIREMENTS AND WILL BE RESPONSIBLE FOR PREPARING AND OBTAINING ALL NECESSARY APPLICATIONS AND APPROVALS.
- ALL WORK RELATIVE TO FOUNDATION CONSTRUCTION, SITE PREPARATION, AND PAVEMENT INSTALLATION, AS SHOWN ON THIS PLAN, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE SOILS REPORT PREPARED BY KREVIYARD DATED JULY 22, 2013. ALL OTHER WORK, UNLESS OTHERWISE STATED OR PROVIDED FOR HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS (FIRST PRIORITY), AND/OR THE CITY OF ALBUQUERQUE (COA) STANDARD SPECIFICATIONS FOR PUBLIC WORKS (SECOND PRIORITY).
- TWO WORKING DAYS PRIOR TO EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE (765-1264) FOR LOCATION OF EXISTING UTILITIES.
- PRIOR TO GRADING, ALL VEGETATION DEBRIS, AND NEAR SURFACE ORGANICALLY CONTAMINATED SOIL SHALL BE STRIPPED FROM ALL AREAS TO BE GRADED. VEGETATION AND DEBRIS SHALL BE DISPOSED OF OFF-SITE OR STOCK-PILED FOR USE IN PLANTERS AND NON-STRUCTURAL FILLS.
- EARTH SLOPES SHALL NOT EXCEED 4 HORIZONTAL TO 1 VERTICAL UNLESS SHOWN OTHERWISE.
- IT IS THE INTENT OF THESE PLANS THAT THIS CONTRACTOR SHALL NOT PERFORM ANY WORK OUTSIDE OF THE PROPERTY BOUNDARIES EXCEPT AS REQUIRED BY THIS PLAN.
- THE CONTRACTOR IS TO ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO ADJACENT PROPERTY OR PUBLIC RIGHT-OF-WAY. THIS SHOULD BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS AT THE PROPERTY LINES MEETING THE SOIL TO PROTECT IT FROM WIND EROSION.
- A DISPOSAL SITE FOR ALL EXCESS EXCAVATION AND UNSUITABLE MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE OBSERVER. ALL COSTS INCURRED IN OBTAINING A DISPOSAL SITE AND Haul THERE TO SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT, AND NO SEPARATE MEASUREMENT OR PAYMENT SHALL BE MADE.
- PAVING AND ROADWAY GRADES SHALL BE +/- 0.1' FROM PLAN ELEVATIONS. PAD ELEVATION SHALL BE +/- 0.05' FROM BUILDING PLAN ELEVATIONS.
- ALL SPOT ELEVATIONS ARE TO FLOWLINE UNLESS OTHERWISE NOTED. VALLEY GUTTER ELEVATIONS ARE SHOWN AT FLOWLINE ELEVATION.

Bohannon & Huston
www.bhinc.com 800.877.5332

CITY OF ALBUQUERQUE
DEPARTMENT OF MUNICIPAL DEVELOPMENT

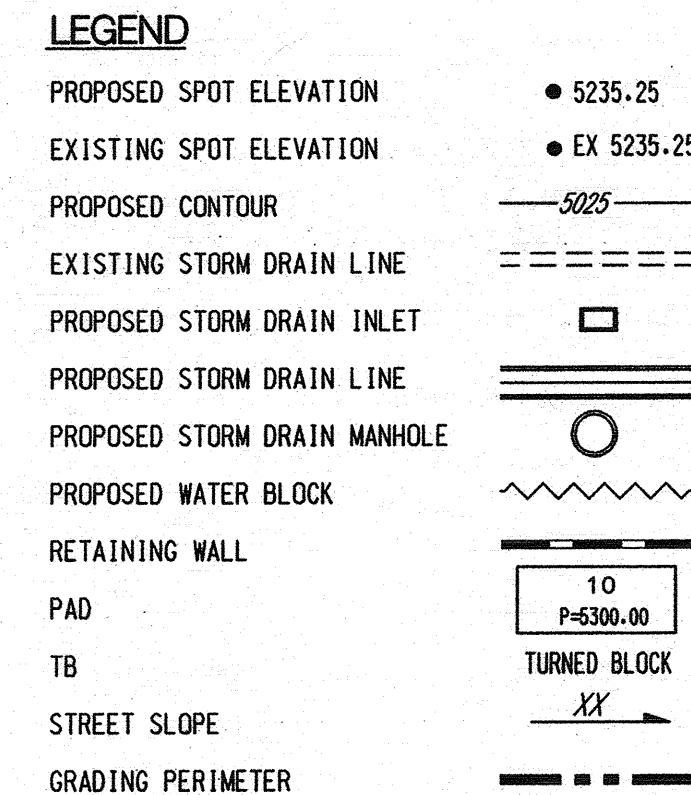
PULTE @ MIREHAVEN PHASE 1
OVERALL GRADING PLAN

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	MO./DAY/YR.	MO./DAY/YR.
CITY PROJECT NO.	ZONE MAP NO.	SHEET	OF
		1	6

AS-BUILT INFORMATION			
CONTRACTOR	DATE	CONTRACTOR	DATE
INSPECTOR	DATE	INSPECTOR	DATE
ACCEPTANCE BY	DATE	ACCEPTANCE BY	DATE
VERIFICATION BY	DATE	VERIFICATION BY	DATE
DISPATCHED BY	DATE	DISPATCHED BY	DATE
MICRO-FILM INFORMATION			
RECORDED BY	DATE	RECORDED BY	DATE
NO.		NO.	


ENGINEER'S SEAL
Yolanda Padilla Moyer
12-19-14
16035
3-12-14

YPM	YPM	YPM	YPM	YPM	YPM
1-28-14	8-12-14	9-21-14	12-19-14	12-19-14	12-19-14
ADJUST GRADING IN LOT 81 & ADJ. TRACT	ADJUST GRADING IN LOT 81 & ADJ. TRACT	ADJUST GRADING IN LOT 81 & ADJ. TRACT	ADJUST GRADING IN LOT 81 & ADJ. TRACT	ADJUST GRADING IN LOT 81 & ADJ. TRACT	ADJUST GRADING IN LOT 81 & ADJ. TRACT
REVISIONS	REVISIONS	REVISIONS	REVISIONS	REVISIONS	REVISIONS
NO.	DATE	NO.	DATE	NO.	DATE
1	12-19-14	2	12-19-14	3	12-19-14
DESIGNED BY	YPM	DATE	12/20/13	DESIGNED BY	YPM
DRAWN BY	ARR	DATE	12/20/13	DRAWN BY	ARR
CHECKED BY	YPM	DATE	12/20/13	CHECKED BY	YPM



YOLANDA PADILLA MOYER, NMPE 16035 DATE 2/4/15

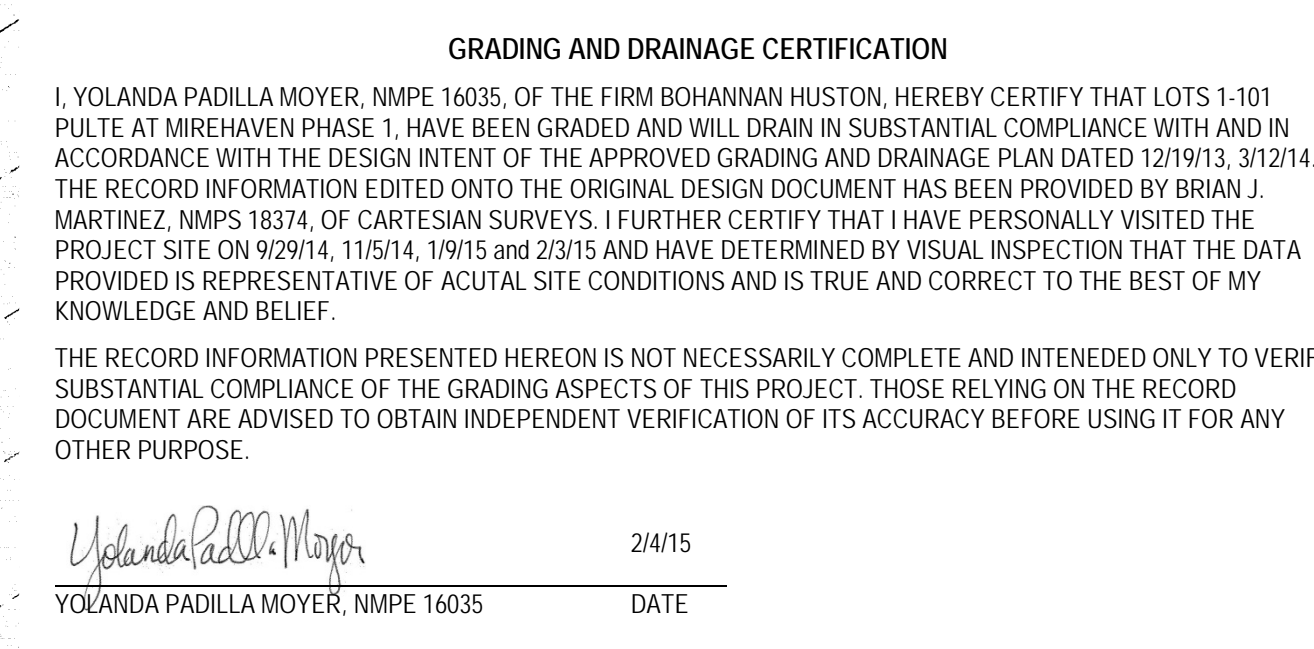
TEMPORARY BERM
SEE DETAIL SHEET 1




CITY OF ALBUQUERQUE
DEPARTMENT OF
MUNICIPAL DEVELOPMENT

PULTE @ MIREHAVEN PHASE 1
GRADING PLAN

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	LAST DESIGN UPDATE	MO./DAY/YR.	MO./DAY/YR.
CITY PROJECT NO.		ZONE MAP NO.	SHEET 2 OF 6	




CITY OF ALBUQUERQUE
DEPARTMENT OF
MUNICIPAL DEVELOPMENT
 PULTE @ MIREHAVEN PHASE 1
 GRADING PLAN

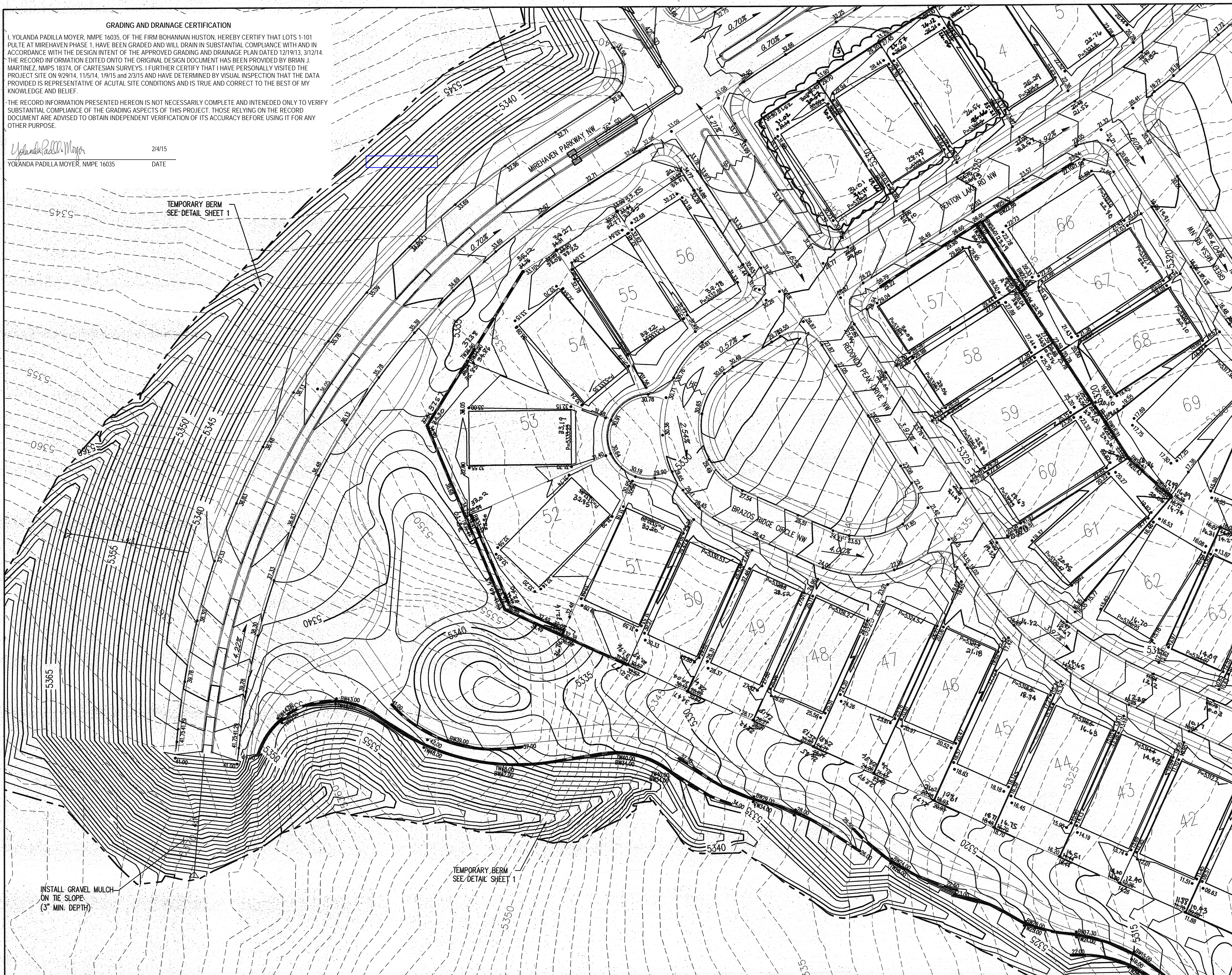
DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	LAST DESIGN UPDATE	NO./DAY/YR.		NO./DAY/YR.	
CITY PROJECT NO.		ZONE MAP NO.	SHEET 3 OF 6			

[illegible]

I, YOLANDA PADILLA MOYER, NMPE 16035, OF THE FIRM BOHANNAN HUSTON, HEREBY CERTIFY THAT LOTS 1-101, PULASKI AT MIREHAVEN POND, HAVE BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED GRADING AND DRAINAGE PLAN DATED 12/19/14. THE RECORD INFORMATION EDITED onto the ORIGINAL DESIGN DOCUMENT HAS BEEN PROVIDED BY BRIAN J. MARTINEZ, NMPE 18374, OF CARTESIAN SURVEYS. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 01/29/14, 01/31/14, 01/15/15 AND 03/15/15 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

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Yolanda Padilla-Moyer 2/4/15
YOLANDA PADILLA MOYER, NMPE 16035 DATE



INSTALL GRAVEL MULCH
ON TIE SLOPE
(3" MIN. DEPTH)


TEMPORARY BERM
SEE DETAIL SHEET

PROPOSED SPOT ELEVATION ● 5235.25


EXISTING SPOT ELEVATION ● EX 5235.25


PROPOSED CONTOUR 5025


EXISTING STORM DRAIN LINE ==

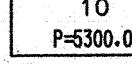
PROPOSED STORM DRAIN INLET 


PROPOSED STORM DRAIN LINE ==


PROPOSED STORM DRAIN MANHOLE 


PROPOSED WATER BLOCK 

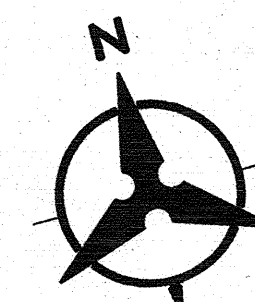
RETAINING WALL 

PAD 

TB 

STREET SLOPE 

GRADING PERIMETER 



40 20 0

SCALE: 1"=40'

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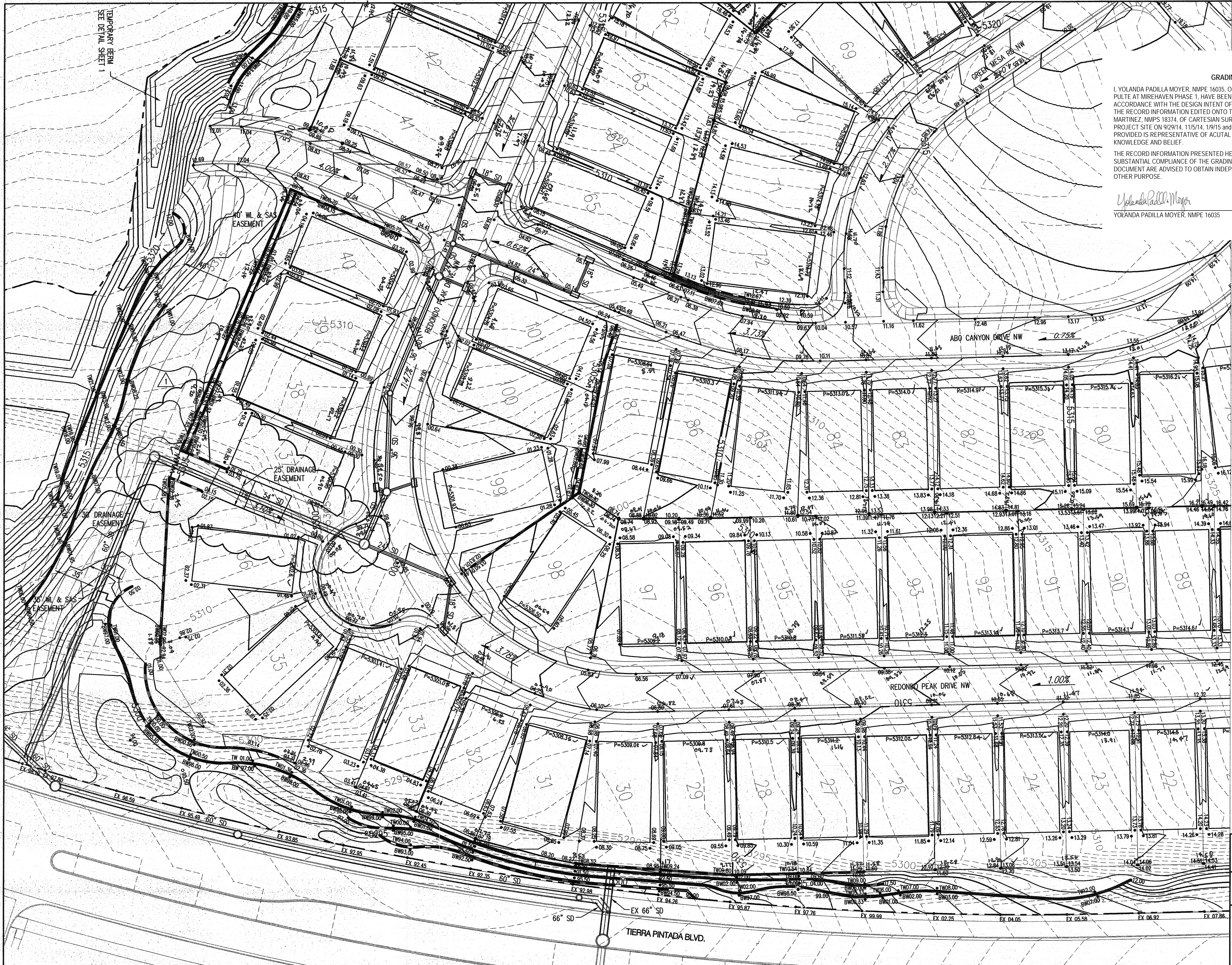
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CITY PROJECT NO.	ZONE MAP NO.	SHEET	OF	
		4	6	

ENGINEER'S SEAL		SURVEY INFORMATION		BENCH MARKS		AS-BUILT INFORMATION	
		FIELD NOTES					
		NO.	BY	DATE			
					USC&GS BRASS DISC STAMPED "REWARD 1969"		CONTRACTOR
					GEOGRAPHIC POSITION (NAD 83)		WORKED BY
					N.M. STATE PLANE COORDINATES		INSPECTOR'S
					(CENTRAL ZONE)		ACCEPTANCE BY
							VERIFICATION BY
					N=1487364.063 E=1491190.819		DRAWINGS
					GROUND TO GRID = 0.9998675005		CORRECTED BY
					DELTA ALPHA = -0017°12.26"		MICRO-FILM INFORMATION
					NAVD 1988 ELEVATION = 5319.688		RECORDED BY
							NO.
							DATE

P:\20130375\CDP\Plans\General\20130375GP02.dwg
Thu, 19-Dec-2013 - 1:01:pm, Plotted by: BPATTERSON

BHI JOB NO. 20130375



GRADING AND DRAINAGE CERTIFICATION

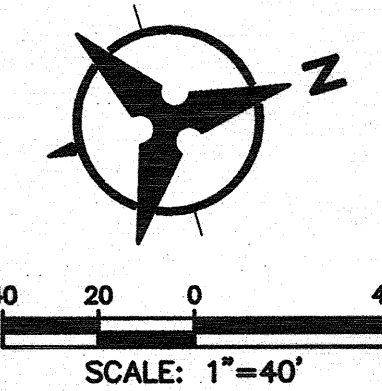
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Yolanda Padilla Moyer
YOLANDA PADILLA MOYER, NMPE 16035

2/4/15
DATE

- LEGEND
- PROPOSED SPOT ELEVATION • 5235.25
 - EXISTING SPOT ELEVATION • EX 5235.25
 - PROPOSED CONTOUR — 5025 —
 - EXISTING STORM DRAIN LINE - - - - -
 - PROPOSED STORM DRAIN INLET □
 - PROPOSED STORM DRAIN LINE |||
 - PROPOSED STORM DRAIN MANHOLE ○
 - PROPOSED WATER BLOCK ~~~~~
 - RETAINING WALL [Symbol]
 - PAD [Symbol]
 - TB [Symbol]
 - STREET SLOPE XX
 - GRADING PERIMETER - - - - -



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CITY OF ALBUQUERQUE
DEPARTMENT OF
MUNICIPAL DEVELOPMENT

PULTE @ MIREHAVEN PHASE 1
GRADING PLAN

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	MO./DAY/YR.	MO./DAY/YR.

CITY PROJECT NO.	ZONE MAP NO.	SHEET	OF
		5	6



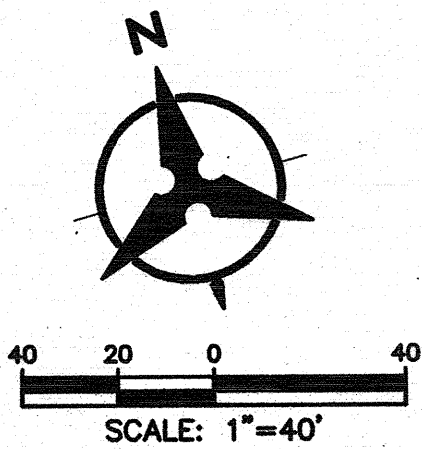
GRADING AND DRAINAGE CERTIFICATION

I, YOLANDA PADILLA MOYER, NMPE 16035, OF THE FIRM BOHANNAN HUSTON, HEREBY CERTIFY THAT LOTS 1-101 PULTE AT MIREHAVEN PHASE 1, HAVE BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED GRADING AND DRAINAGE PLAN DATED 12/19/13, 3/12/14. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN PROVIDED BY BRIAN J. MARTINEZ, NMPS 18374, OF CARTESIAN SURVEYS. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 9/29/14, 11/5/14, 1/9/15 AND 2/3/15 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE DATA PROVIDED IS REPRESENTATIVE OF ACUTAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENEDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

Yolanda Padilla Moyer 2/4/15
YOLANDA PADILLA MOYER, NMPE 16035 DATE

- LEGEND**
- PROPOSED SPOT ELEVATION • 5235.25
 - EXISTING SPOT ELEVATION • EX 5235.25
 - PROPOSED CONTOUR — 5025 —
 - EXISTING STORM DRAIN LINE - - - - -
 - PROPOSED STORM DRAIN INLET □
 - PROPOSED STORM DRAIN LINE |||
 - PROPOSED STORM DRAIN MANHOLE ○
 - PROPOSED WATER BLOCK ~~~~~
 - RETAINING WALL [Symbol]
 - PAD [Symbol]
 - TB [Symbol]
 - STREET SLOPE XX
 - GRADING PERIMETER - - - - -



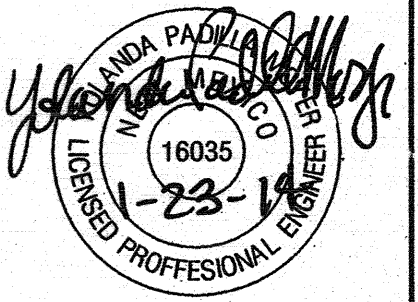
Bohannon & Huston
www.bhinc.com 800.877.5332

CITY OF ALBUQUERQUE
DEPARTMENT OF
MUNICIPAL DEVELOPMENT

PULTE @ MIREHAVEN PHASE 1
GRADING PLAN

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	LAST DESIGN UPDATE	NO. / DAY / YR.	
			NO.	DAY / YR.
CITY PROJECT NO.		ZONE MAP NO.	SHEET	OF
			6	6

SURVEY INFORMATION		BENCH MARKS		AS-BUILT INFORMATION	
NO.	BY	DATE	USC&GS BRASS DISC STAMPED "REWARD 1969"	CONTRACTOR	DATE
			GEOGRAPHIC POSITION (NAD 83)	WORKS BY	DATE
			N.M. STATE PLANE COORDINATES (CENTRAL ZONE)	SUPERVISOR'S ACCEPTANCE BY	DATE
				VERIFICATION BY	DATE
				CORRECTED BY	DATE
				DRAWINGS	
				GROUND TO GRID = 0.999675005	
				DELTA ALPHA = -001712.26"	
				NAVD 1988 ELEVATION = 5319.688	
				NO.	DATE



CITY OF ALBUQUERQUE

PLANNING DEPARTMENT – Development Review Services



August 20, 2015

Yolanda Padilla-Moyer, PE
BOHANNAN-HUSTON, INC.
7500 Jefferson Street NE Courtyard I
Albuquerque, NM 87109

Richard J. Berry, Mayor

RE: Pulte @ Mirehaven Phase 1 (File: H09D017B)
Grading and Drainage Plan, Engineer's Stamp Date 3-12-2014
Certification dated: 7-7-15 for ROFG

Dear Ms. Padilla-Moyer:

Based upon the information provided in your Certification received 7-8-15, the above referenced Certification is acceptable for Release of Financial Guarantee. All Infrastructures are in place and the temporary pond has been restored per the approved Grading plan.

If you have any questions, you can contact me at 924-3695.

PO Box 1293

Albuquerque

New Mexico 87103

Sincerely,

Rita Harmon, P.E.
Senior Engineer, Hydrology
Planning Department

www.cabq.gov

Orig: Drainage file
c.pdf: via Email: Recipient, Christiana Montoya