



# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: \_\_\_\_\_ Building Permit #: \_\_\_\_\_ City Drainage #: \_\_\_\_\_

DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ Work Order#: \_\_\_\_\_

Legal Description: \_\_\_\_\_

City Address: \_\_\_\_\_

**Engineering Firm:** \_\_\_\_\_ Contact: \_\_\_\_\_

Address: \_\_\_\_\_

Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

**Owner:** \_\_\_\_\_ Contact: \_\_\_\_\_

Address: \_\_\_\_\_

Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

**Architect:** \_\_\_\_\_ Contact: \_\_\_\_\_

Address: \_\_\_\_\_

Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

**Surveyor:** \_\_\_\_\_ Contact: \_\_\_\_\_

Address: \_\_\_\_\_

Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

**Contractor:** \_\_\_\_\_ Contact: \_\_\_\_\_

Address: \_\_\_\_\_

Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

### TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEER'S CERT (TCL)
- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ ENGINEER'S CERT (ESC)
- ☐ SO-19
- ☐ OTHER (SPECIFY) GRADING PLAN RESUBMITTAL

### CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TCL TEMP)
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ GRADING CERTIFICATION
- ☐ SO-19 APPROVAL
- ☐ ESC PERMIT APPROVAL
- ☐ ESC CERT. ACCEPTANCE
- ☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED: \_\_\_\_\_ Yes \_\_\_\_\_ No \_\_\_\_\_ Copy Provided

DATE SUBMITTED: \_\_\_\_\_ By: \_\_\_\_\_

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development



Courtyard I  
7500 Jefferson St. NE  
Albuquerque, NM  
87109-4335

[www.bhinc.com](http://www.bhinc.com)

voice: 505.823.1000  
facsimile: 505.798.7988  
toll free: 800.877.5332

November 3, 2015

Mr. Jack Cloud, DRB Chair  
City of Albuquerque  
Planning Department  
600 2<sup>nd</sup> Street NW  
Albuquerque, NM 87103

Re: Pulte @ Mirehaven Phase 2 (DRB # 1006864) – Supplemental Submittal

Dear Mr. Cloud:

Enclosed as a supplemental submittal for the Development Review Board (DRB) are the following information:

- Revised Sidewalk Waiver Exhibit
  - There was a perimeter wall line around the subdivision that was the same line style as the Build Sidewalk layer which has been taken off. The existing sidewalk locations have also been added.
- Additional information on the Perimeter walls textures and colors.

Please feel free to contact me at 823-1000 with questions or comments.

Sincerely,  
Bohannon Huston, Inc.

A handwritten signature in black ink that reads "Yolanda Padilla Moyer".

Yolanda Padilla Moyer, P.E.  
Senior Project Manager  
Community Development and Planning Group

Enclosures

Engineering ▲

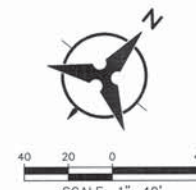
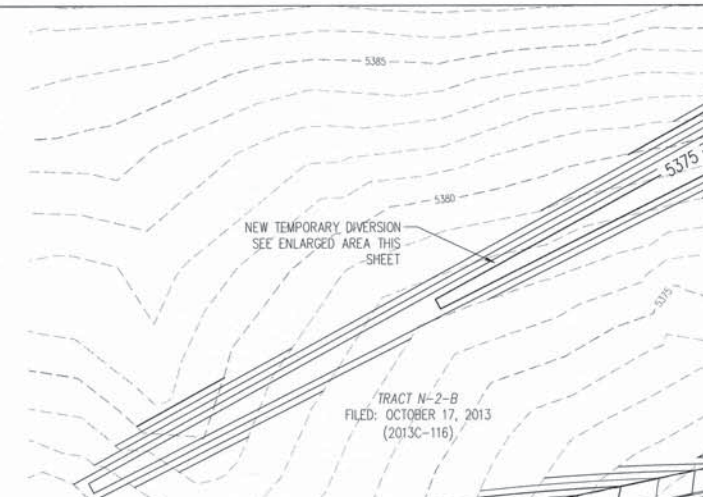
Spatial Data ▲

Advanced Technologies ▲









**CITY OF ALBUQUERQUE**  
**DEPARTMENT OF**  
**MUNICIPAL DEVELOPMENT**

PULTE @ MIREHAVEN PHASE 2  
GRADING PLAN

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	LAST DESIGN UPDATE	MO./DAY/YR.	MO./DAY/YR.
CITY PROJECT NO.		ZONE MAP NO.	SHEET	OF
			2	5

BENCH MARKS		AS-BUILT INFORMATION	
USC&GS BRASS DISC STAMPED "REWARD 1969"	CONTRACTOR	DATE	
WORKED BY	INSPECTOR'S	DATE	
GEOGRAPHIC POSITION (NAD 83)	ACCEPTANCE BY	DATE	
N.E.M. STATE PLANE COORDINATES	VERIFICATION BY	DATE	
(CENTRAL ZONE)	DRAWINGS	DATE	
E=1487364.063 E=1491190.819	COMBOS BY		
ROUND TO GRID = 0.999875005	MICRO-FILM INFORMATION		
DELTA ALPHA = -0071712.26	RECORDED BY	DATE	
NAD 1988 ELEVATION = 5319.688	NO.	DATE	

[illegible]

ENGINEER'S SEAL

YOUNG & RUBIN INC.

16035

11-3-15

MASSACHUSETTS  
LICENSED PROFESSIONAL ENGINEER

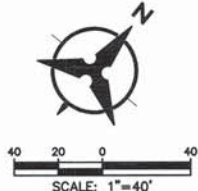
[illegible]





LEGEND

- PROPOSED SPOT ELEVATION
- EXISTING SPOT ELEVATION
- PROPOSED CONTOUR
- EXISTING STORM DRAIN LINE
- PROPOSED STORM DRAIN INLET
- PROPOSED STORM DRAIN LINE
- PROPOSED STORM DRAIN MANHOLE
- PROPOSED WATER BLOCK
- RETAINING WALL
- PAD
- WALL OPENING
- STREET SLOPE



Bohannon & Huston  
www.bhinc.com 800.877.5332

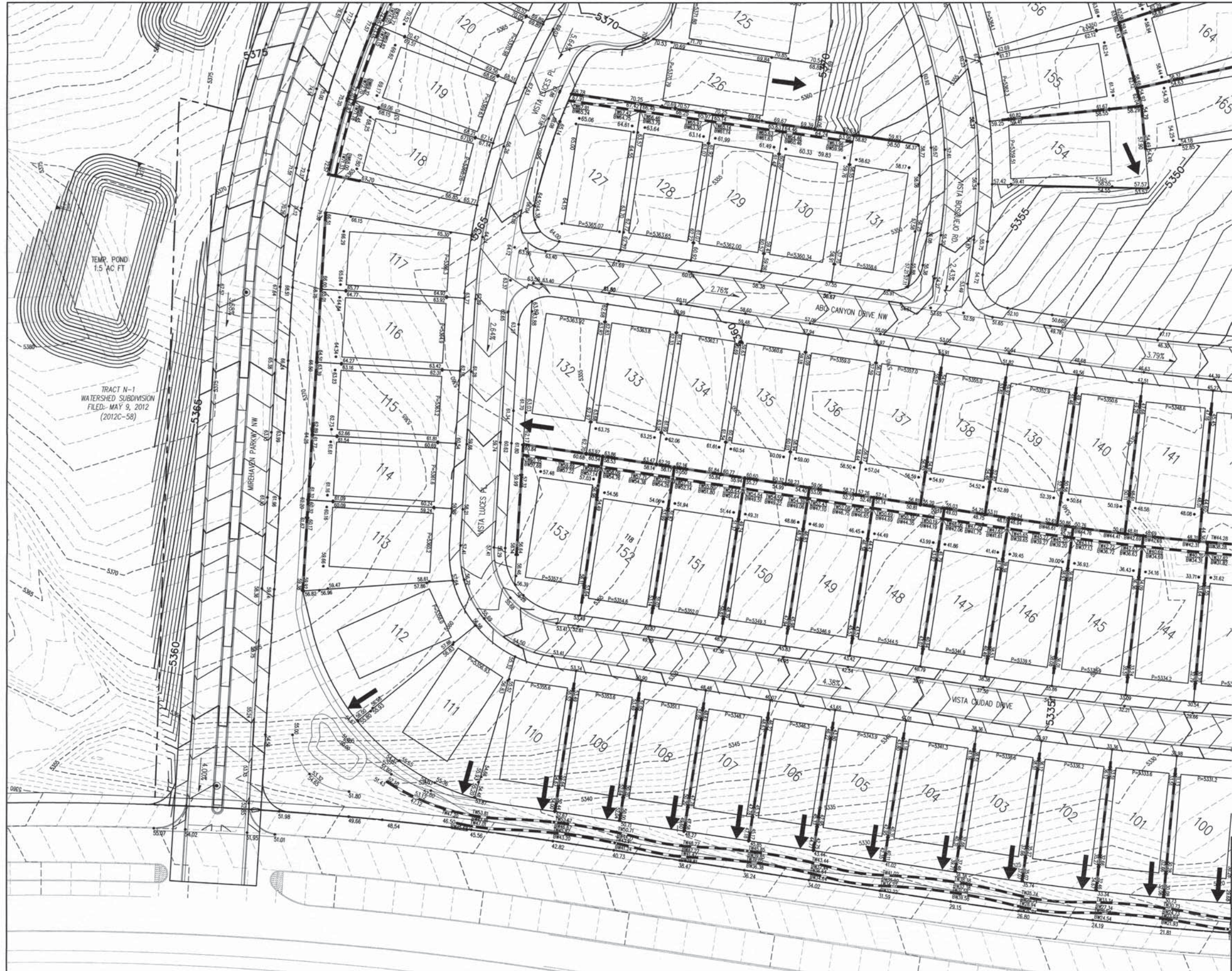
CITY OF ALBUQUERQUE  
DEPARTMENT OF  
MUNICIPAL DEVELOPMENT  
PULTE @ MIREHAVEN PHASE 2  
GRADING PLAN

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	LAST DESIGN UPDATE	MO./DAY/YR.	
			MO./DAY/YR.	MO./DAY/YR.

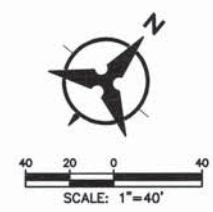
CITY PROJECT NO.	ZONE MAP NO.	SHEET 3 OF 5
------------------	--------------	--------------

ENGINEER'S SEAL		SURVEY INFORMATION		BENCH MARKS		AS-BUILT INFORMATION	
							





- LEGEND**
- PROPOSED SPOT ELEVATION: 5235.25
  - EXISTING SPOT ELEVATION: EX 5235.25
  - PROPOSED CONTOUR: 5205
  - EXISTING STORM DRAIN LINE: ---
  - PROPOSED STORM DRAIN INLET: [Symbol]
  - PROPOSED STORM DRAIN LINE: [Symbol]
  - PROPOSED STORM DRAIN MANHOLE: [Symbol]
  - PROPOSED WATER BLOCK: [Symbol]
  - RETAINING WALL: [Symbol]
  - PAO: [Symbol]
  - WALL OPENING: [Symbol]
  - STREET SLOPE: [Symbol]



**Bohannon & Huston**  
www.bhinc.com 800.877.5332

**CITY OF ALBUQUERQUE**  
DEPARTMENT OF MUNICIPAL DEVELOPMENT  
PULTE @ MIREHAVEN PHASE 2  
GRADING PLAN

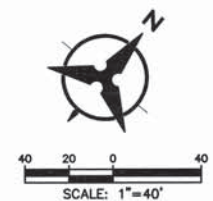
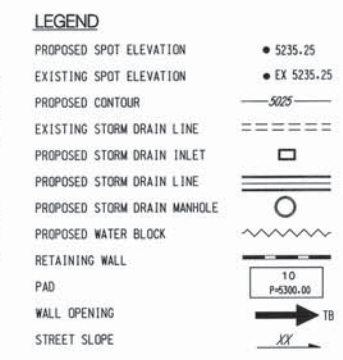
DESIGN REVIEW COMMITTEE		CITY ENGINEER APPROVAL		LAST DESIGN UPDATE		MO./DAY/YR.		MO./DAY/YR.	

CITY PROJECT NO.

ZONE MAP NO.

SHEET 4 OF 5





**Bohannon**  **Huston**  
www.bhinc.com 800.877.5332

**CITY OF ALBUQUERQUE**  
**DEPARTMENT OF**  
**MUNICIPAL DEVELOPMENT**

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	LAST DESIGN UPDATE	MO./DAY/YR.	MO./DAY/YR.
CITY PROJECT NO.	ZONE MAP NO.	SHEET 5 OF 5		

[illegible]



# CITY OF ALBUQUERQUE



November 11, 2015

Christian Sholtis, PE  
Bohannon Huston, Inc.  
7500 Jefferson NE, Courtyard I  
Albuquerque, NM 87109

**Re: DMP for Pulte @ Mirehaven Phase 2  
N-2-D of the Watershed Subdivision  
Engineer's Stamp Date 7/18/2015 (H09/D017E)**

Dear Mr. Sholtis,

Based upon the information provided in your submittal received 10-12-15, the DMP can be approved based on the following comments:

1. Check grades approaching intersections. Grades may be exceeding 4% on the lower side of the streets.
2. Proposed ponds intercepting offsite flows from basins O-1 to O-5 do not fully capture the runoffs. Good portion of basin O-2 drains to Mirehaven Parkway. How is the sediment/erosion being handled for the large slope/graded area to the west of Mirehaven Parkway. Please move the diversion channel closer to Mirehaven Parkway? Label proposed contours. Make sure that proposed contours tie to existing grades.
3. Diversion channel will drain offsite basins O-1 and O-2 to an existing pond. What is the total volume being captured and what is the capacity of this pond?
4. Who will be maintaining the temporary drainage improvements? A Drainage Maintenance and Covenant may be required.
5. How is the offsite runoff south of Basin O-5 being handled?
6. Based on the Drainage Master Plan there are proposed storm drain pipes within Mirehaven Parkway. Please provide street capacity calculations. Are inlets required? Provide storm drain pipe calculations. All improvements within Mirehaven Parkway must be included on the infrastructure list.
7. How does Basin C4 (under the Drainage Master Plan) drain to the storm drain system?
8. Total proposed runoff from this subdivision is slightly higher than what is shown on the Drainage Master Plan. Would this cause any capacity issues for the constructed storm sewer infrastructure downstream?
9. Provide an exhibit which clearly shows runoff, depth of water, and street slopes upstream and downstream of all the inlets. Double check on the flows being intercepted and bypassing the inlets.
10. Check grades west of lot 56. Retaining wall may be required.

PO Box 1293

Albuquerque

NM 87103

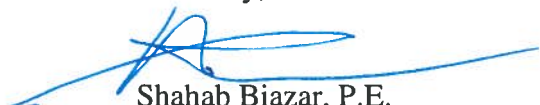
[www.cabq.gov](http://www.cabq.gov)



11. Provide bottom and top wall elevations for all the proposed retaining walls.  
Please make sure all grades are clearly shown. Double check the height of the walls to make sure that does not exceed 8' in height.
12. Provide the height of the garden wall on the sections shown on the plans. What is the spacing between the walls? Retaining walls are being proposed in the middle of the 10' PUE.
13. Some lots are graded to drain to the back of the lots. Only the rear landscaping areas can drain to the back. The side yards and the house must drain to the front of the lots. Roof drains may be needed to assure that the runoff would drain to the front of the lots. There must be drainage easements on top of the tracts where rear lots drain to.
14. What is the size of the pond located at the northwest corner of Tierra Pintada and Mirehaven Parkway? How much runoff enters this pond.
15. First flush pond details and calculations must be provided. Area between back of curb & gutter and sidewalk must be depressed. Ponding also must be provided behind the sidewalk within the front yard (low side) of lots. The pond must be at least 12" deep. Please include driveways areas as part of the first flush required volume calculations.
16. Can the street grades be modified so a maximum slope of 5% is maintained throughout the subdivision?
17. There are some overlapping texts throughout the grading plan. Please make sure all texts are legible.
18. Check grades west of Lot 6.
19. Since the site will be disturbing more than one acre An Erosion and Sediment Control plan will have to be approved prior to grading approval.

If you have any questions, you can contact me at 924-3999.

Sincerely,



Shahab Biazar, P.E.  
City Engineer, Planning Department  
Development Review Services

C: e-mail



## October, 2015

**DEFERRED.** Sidewalks are to be built on a lot-by-lot basis as home construction is completed. The deferral is requested to reduce damage to sidewalks due to building construction activities.

TO BE BUILT – SIDEWALK

## TO BE BUILT - TRAIL

WAIVED

EXISTING SIDEWALK / TRAIL



SCALE: 1"=300'

**Bohannon**  **Huston**  
www.bhinc.com 800.877.5332







## DEVELOPMENT REVIEW BOARD SUPPLEMENTAL SUBMITTAL

TO: PROJECT NO. 1006864

☒ ALL MEMBERS

☐ Jack Cloud, DRB Chairman, Planning Department

☐ Curtis Cherne, P.E., Hydrology

☐ Kristal Metro, P.E., Transportation Development

☐ Allan Porter, P.E., Albuquerque/ Bernalillo Co. WUA

☐ Christina Sandoval, Parks/Municipal Development

☐ Carol Dumont

NEXT HEARING DATE: Nov 10, 2015

NOTE: REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON. IF THE APPLICANT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.

SUBMITTAL DESCRIPTION: Revised Sidewalk Waiver Exhibit, Additional Perimeter Wall Detail

CONTACT NAME: Yolanda Padilla Moyer, P.E.

TELEPHONE: 798-7945 EMAIL: ypadilla@bhinc.com



# WATERSHED DESIGN STANDARDS

The purpose of these Design Standards is to provide a framework to assist the architects, landscape architects, and designers in understanding the vision and development goals for the property, which is anticipated to occur in phases. The primary goal for Watershed is to provide lifestyle choices for active adults and traditional, mixed-generation families within two, side-by-side communities that feature private parks, private open space, trails, and other amenities that are sensitive to and complement the adjacent Petroglyph National Monument.

These standards address the issues of landscape, setbacks, pedestrian amenities, screening, lighting, signage, and architecture that will create the visual image desired for Watershed. These Design Standards are intended to supplement, but not replace, the Westland Master Plan Design Guidelines. Future subdivision plats and development shall be consistent with this Site Plan for Subdivision and Design Standards, Westland Master Plan, and the Northwest Mesa Escarpment Plan. Minor amendments to this Site Plan for Subdivision shall be approved administratively by the Planning Director in accordance with the Comprehensive City Zoning Code and major amendments shall be approved by the Environmental Planning Commission (EPC).

## 1. APPROVAL PROCESS

- A. The first tract to develop adjacent to the Petroglyph National Monument shall return to the EPC for review of the Site Development Plan for Subdivision. At that time, the EPC can choose to delegate future site development plans for subdivision to administrative review or to retain its approval authority and review a subsequent submittal. Administrative review would consist of the Planning Director or her/his designee, and an EPC staff planner, performing a design review analysis with each site development plan for subdivision for the proposed tracts to ensure compliance with applicable rules, regulations, standards, and policies prior to submittal to the DRB.
- B. The applicant shall consult with the National Park Service and Parks and Recreation prior to approval of development adjacent to the Petroglyph National Monument.

## 2. DENSITY and MINIMUM LOT AREA

- A. Pursuant to the Westland Master Plan and Western Albuquerque Land Holdings Sector Development Plan, the overall gross density of the Watershed development shall be limited to 4 dwelling units per acre.
- B. Pursuant to the Westland Master Plan, the minimum lot area shall be 3,200 square feet per dwelling unit and the minimum lot width shall be 32 feet for properties zoned SU-2 for PDA that will be developed with houses.

## 3. PARKING and PARKING LOT STANDARDS

Parking at Watershed is primarily for single family residential development, however, the private clubhouse will include parking areas. The goal is to provide enough, but not excessive, amounts of parking so that the development does not become dominated by parking. All single family residential homes will include a garage.

- A. Off-street parking for single family residential development shall be provided at the following rate:
  - 2 spaces per 2 bedroom dwelling unit
  - 3 spaces per 3-4 bedroom dwelling unit
  - 4 parking spaces per 5 bedrooms or greater dwelling unit
  - 3 spaces for rear-loaded 3-4 bedroom dwelling unit, of which 1 parking space can be met on-street
- B. The minimum number of parking spaces for the private clubhouse (the only non-residential use allowed) shall be a minimum of 75, which based on a 12,000 square foot building and outdoor recreational amenities (e.g., tennis, pickleball, bocce, event lawn, etc.).
- C. The number and design of handicapped spaces, motorcycle spaces, and bicycle spaces at the private clubhouse shall be based on the final number of parking spaces provided and in accordance with the City Zoning Code, Section 14-16-3-1 Off-Street Parking Regulations.

## 4. UTILITIES and SCREENING

To ensure the overall aesthetic quality of the property, the visual impact of utilities and equipment shall be minimized by the following:

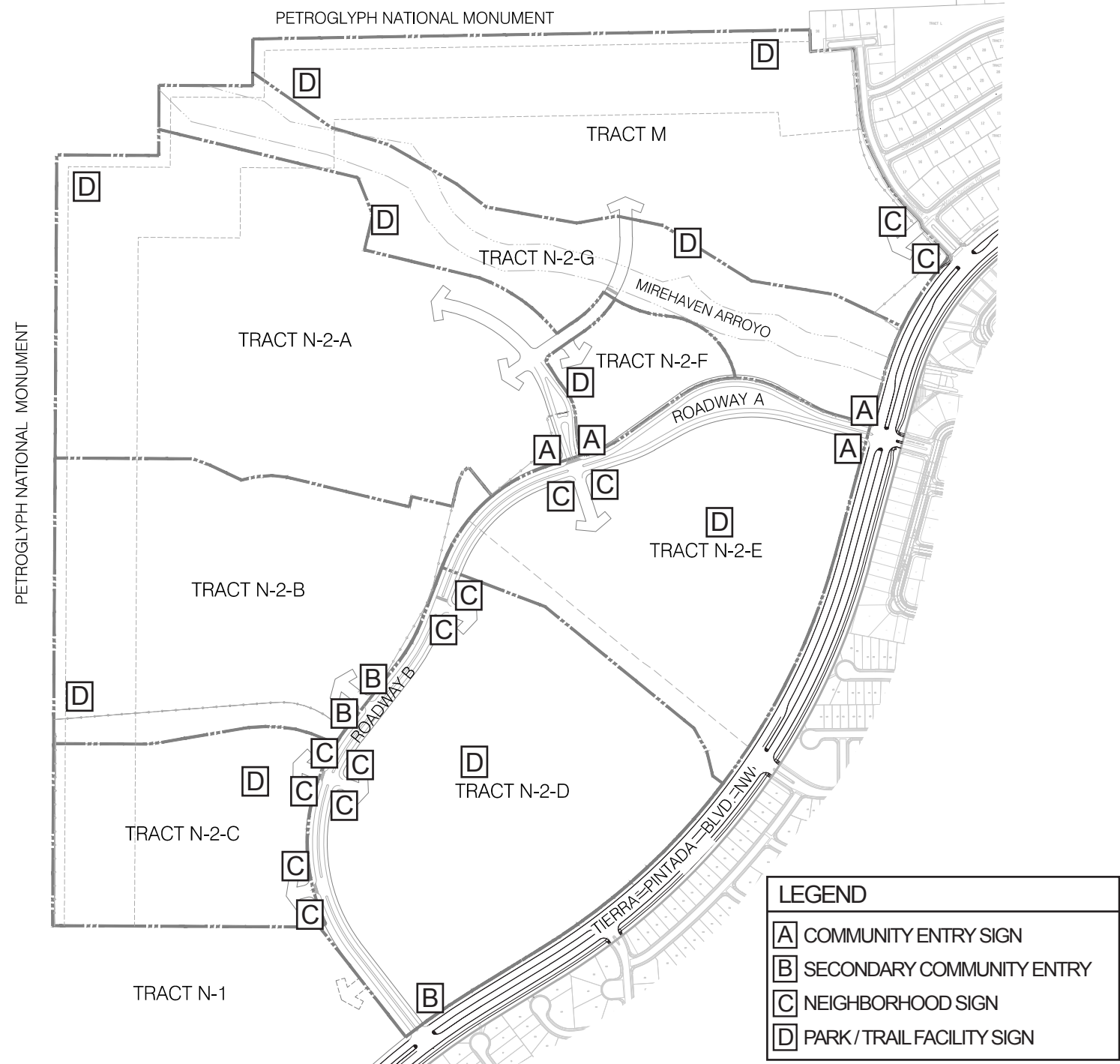
- A. On-site utilities, including electrical, telephone, and communication wires and equipment shall be installed and maintained underground.
- B. Transformers, utility pads, cable TV, and telephone boxes shall be located out of view from public rights-of-way or visually screened with vegetation, fences, or walls. Screening shall be designed to allow for access to utility facilities. All screening and vegetation surrounding ground-mounted transformers and utility pads are to allow 10 feet of clearance in front of the equipment door and 5-6 feet of clearance on the remaining three sides for safe operation, maintenance, and repair purposes. Refer to PNM Electric Service Guide at [www.pnm.com](http://www.pnm.com) for specifications.
- C. When an above-ground backflow prevention device is required by the City of Albuquerque, the heated enclosure shall be constructed of materials compatible with the architectural materials used as the main elements of the building. If pre-fabricated fiberglass enclosures are used, they shall be appropriately screened from view by walls and/or landscaping.
- D. Alleys and interior parking courts may be used for dry utilities and sewer, wherever practical.
- E. All roof-mounted equipment shall be screened from public view by materials of the same nature as the basic materials of the building.
- F. Freestanding cellular antenna and cell towers shall be discouraged. Antennas shall be integrated with buildings, light poles, existing utility structures and other public facilities.

## 5. SIGNAGE

The signage standards were developed to regulate the size, location, type, and quality of sign elements within the Watershed development. The goal is to provide a wayfinding system throughout Watershed that maintains a consistent style, creates a sense of arrival, and complements the visual character of the property. A specific signage design program shall be approved by the Planning Director, concurrently with the review of each future subdivision.

- A. All signs shall be in compliance with Section 14-16-3-5 General Sign Regulations of the Comprehensive City Zoning Code and the Westland Master Plan Design Guidelines. Pursuant to the SU-2 for PDA zone, the general principles guiding signage within the SU-2 for PDA zone should follow C-1 sign controls or as determined by an approved site development plan, which is satisfied by this Site Plan for Subdivision.
- B. The primary Watershed community entry sign (Sign A) shall be part of a larger wall / landscape entry, and shall identify the project with wall-mounted lettering. Active adult residential signs, neighborhood signs, facility signs (i.e., private parks, trails, trailheads), and directional signs (Signs B, C, and D) shall be monument-style.
- C. All signs shall have a stone or stucco base and columns, the sign face shall be stucco, metal, or cast in place concrete, and shall be lighted with fixtures that meet night sky requirements and illuminate the lettering on the sign only.
- D. Entry monument signs for Watershed and each subdivision shall be placed on both sides of the entry road, where practical.
- E. Directional signs shall be provided within the private roadway easements in Tracts A, B, and F.
- F. Signage within the NWMEP Impact Area cannot exceed 6 square feet of sign face area.
- G. Landscaping and signage shall not interfere with clear sight requirements. All signs, walls, trees, and shrubs between 3 and 8 feet tall (as measured from the gutter pan) shall not be acceptable in this area.
- H. Free-standing signs shall not require any external bracing, angle-iron supports, guy wires or similar devices. No signage is allowed that uses moving parts, makes audible sounds, or has blinking or flashing lights. Off-premise signs, signs with reader boards, and electronic signs are prohibited.
- I. Building-mounted signs shall not be permitted.
- J. Signs shall not overhang into the public right-of-way or extend above the building roof line.

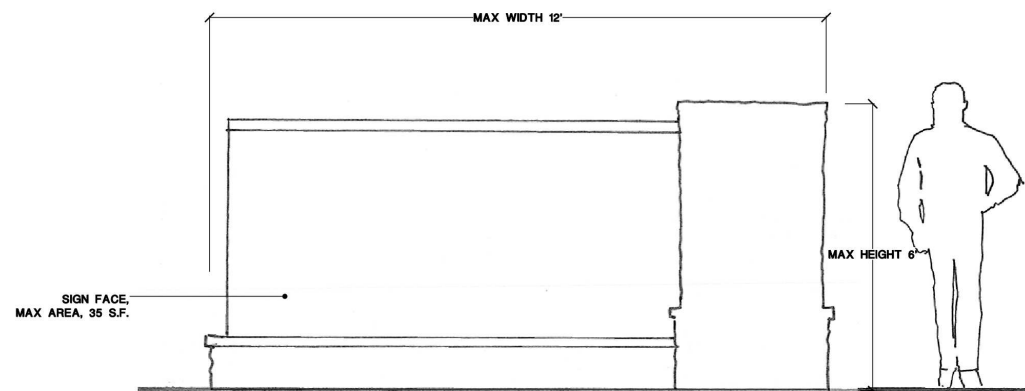
K. ILLUSTRATIVE SIGNAGE LOCATIONS. The following illustrations provide the location and size standards for the sign program at Watershed:



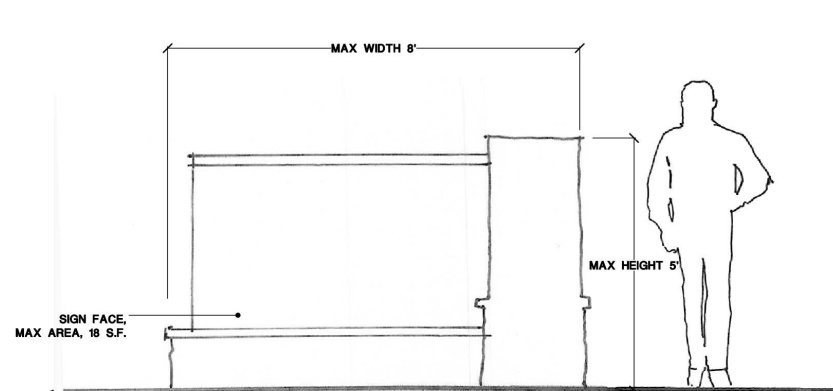
L. ILLUSTRATIVE COMMUNITY ENTRY WALL / SIGN - A



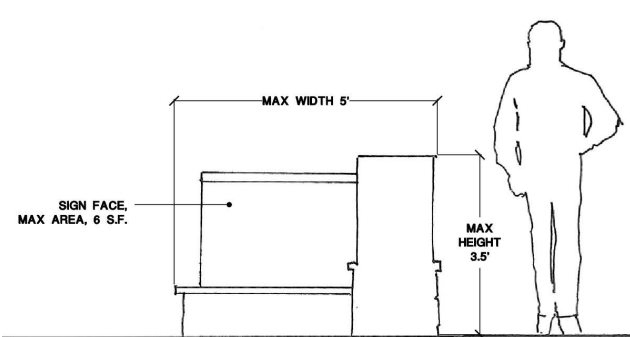
M. ILLUSTRATIVE SECONDARY COMMUNITY ENTRY - B  
Max. Height: 6 feet. Max. Length: 12 feet. Max. Sign face: 35 SF.



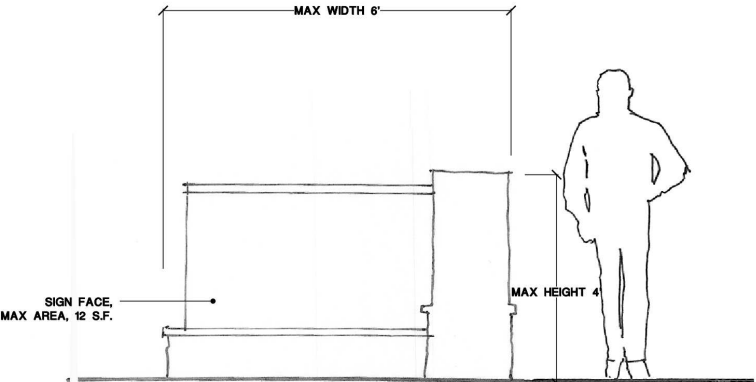
N. ILLUSTRATIVE RESIDENTIAL NEIGHBORHOOD SIGN - C  
Max. Height: 5 feet. Max. Length: 8 feet. Max. Sign face: 18 SF



O. ILLUSTRATIVE FACILITIES SIGN - D  
(within NWMEP Impact Area)  
Max. Height: 3.5 feet. Max. Length: 5 feet. Max. Sign face: 6 SF



P. ILLUSTRATIVE FACILITIES SIGN - D  
Max. Height: 4 feet. Max. Length: 6 feet. Max. Sign face: 12 SF



## 6. WALLS / FENCES

The intent of the wall and fence program for Watershed is to minimize their visual impact through landscaping, meandering within a landscape area, providing openings, and view fence, where appropriate.

- A. Walls and fences shall comply with City Comprehensive Zoning Code, Section 14-16-3-19, General Height and Design Regulations for Walls, Fences, and Retaining Walls and as specified below.
- B. Landscape provided along walls shall comply with the regulations contained in City Comprehensive Zoning Code, Section 14-16-3-19 (B) (2) (b) e.
- C. View fence (tubular steel) shall be provided in areas adjoining private parks, the Petroglyph National Monument, and the Mirehaven Arroyo. The maximum height of the view fence shall be 6 feet (see illustrations below).
- D. The perimeter wall shall be a combination of walls, view fence, and open fencing. Acceptable materials include CMU block, tubular steel, and other materials pursuant to the City Comprehensive Zoning Code.

E. Perimeter fences and/or walls shall include pedestrian openings (may be gated) at key locations within the development to ensure convenient access to other areas within the property.

F. Yard walls shall be finished to match adjoining exterior house walls, where applicable. Walls shall not exceed 6 feet in height except at the gate opening.

G. No pedestrian or vehicular access gates or openings from private residences directly into the Petroglyph National Monument shall be allowed.

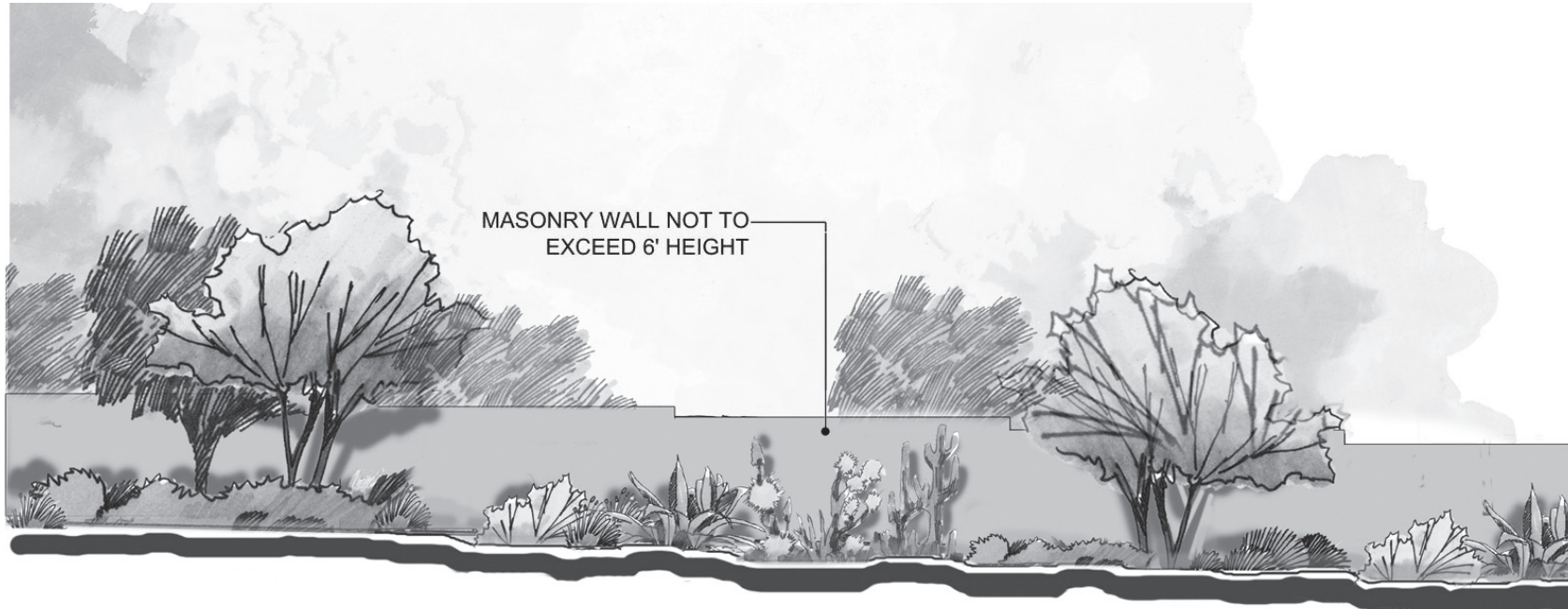
H. Pursuant to the Northwest Mesa Escarpment Plan (NWMEP), stucco wall colors within the Impact Area shall be limited to yellow ochres, browns, dull reds, and grey-greens existing on the mesa and escarpment, exclusive of the basalt. The reflectance of the approved colors ranges between 14 percent and 63 percent of the light which falls on them. This middle range of reflectance is intended to avoid very light and very dark colors. A chart of the approved colors is available for review at the City Planning Department.

I. Rear and side yard view fence/walls facing the Petroglyph National Monument shall be staggered by 3 feet horizontally for every two lots.

J. Development at the edge of public or private open space shall be designed to complement and enhance the open space. Where the adjacent land use requires visual privacy, non-continuous, non-perimeter walls may be constructed. Varied setbacks and landscaping are required.

K. Unfinished block walls and barbed wire, chain link, concertina wire, wood picket, and plastic/vinyl fencing are prohibited.

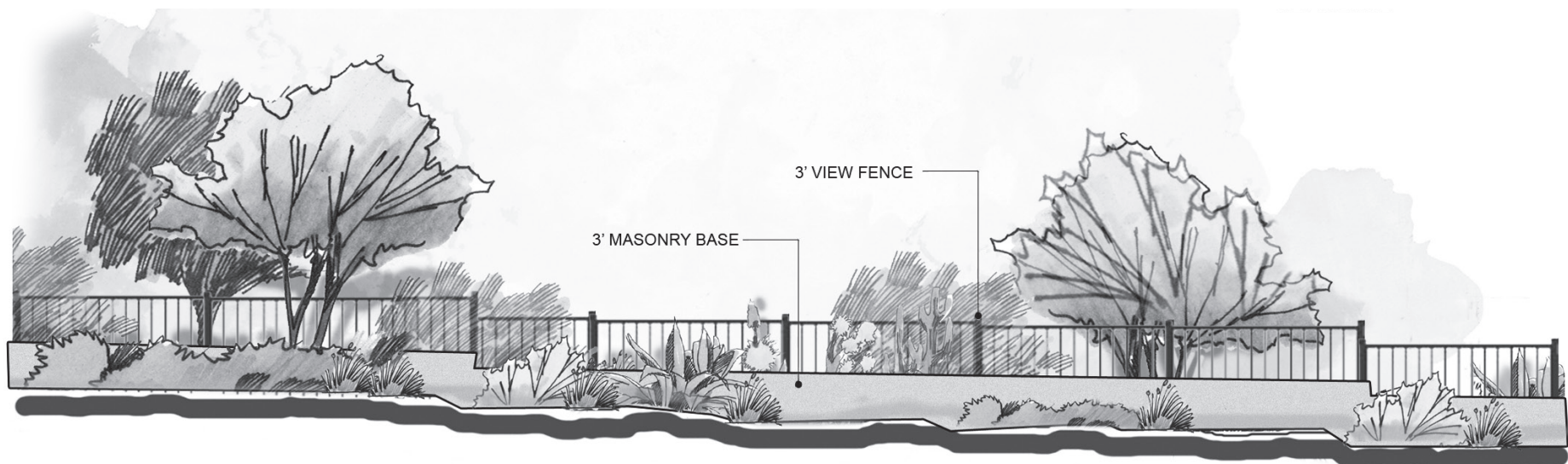
## L. ILLUSTRATIVE WALL ELEVATION



M. ILLUSTRATIVE VIEW FENCE (PERIMETER FENCE) ADJACENT TO PRIVATE PARKS, PETROGLYPH NATIONAL MONUMENT, MIREHAVEN ARROYO



N. ILLUSTRATIVE VIEW FENCE WITH MASONRY BASE ADJACENT TO PRIVATE PARKS, PETROGLYPH NATIONAL MONUMENT, MIREHAVEN ARROYO



# WATERSHED @ ESTRELLA

## SITE PLAN FOR SUBDIVISION

Prepared For:

Pulte Group

August 30, 2013

Prepared By:

SEC Planning, LLC  
Consensus Planning, Inc.  
Bohannon Huston, Inc.  
Sheet 2 of 8