

CITY OF ALBUQUERQUE



August 25, 2016

Yolanda Padilla-Moyer, PE
Bohannon-Huston
7500 Jefferson St NE Courtyard I
Albuquerque, NM 87109

Re: Pulte @ Mirehaven 2A
Pad Certification for lots 24, 25, 61-65 and 67-76
Engineer's Stamp dated: 1-28-16 (H09D017E)
Certification dated: 8-23-16

Dear Ms. Padilla-Moyer,

Based on the Certification received 8/23/2016, the above referenced Certification for the above mentioned is acceptable for building permit by Hydrology.

If you have any questions, you can contact me at 924-3695 or Totten Elliott at 924-3982.

Sincerely,

Rita Harmon, P.E.
Senior Engineer, Planning Dept.
Development Review Services

PO Box 1293

Albuquerque

New Mexico 87103

TE/RH

C: email Miranda, Rachel; Cordova, Camille C.; Sandoval, Darlene M.; Blocker,
Lois

www.cabq.gov



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

Project Title: PULTE @ MIREHAVEN PHASE 2A **Building Permit #:** _____ **City Drainage #:** H-9
DRB#: 10006864 **EPC#:** _____ **Work Order#:** 650387
Legal Description: PULTE @ MIREHAVEN PHASE 2A (A REPLAT OF TRACT N-2-D OF WATERSHED)
City Address: _____

Engineering Firm: BOHANNAN HUSTON INC **Contact:** Yolanda Moyer
Address: 7500 JEFFERSON ST NE COURTYARD 1 ALBUQUERQUE NM 87109
Phone#: 823-1000 **Fax#:** _____ **E-mail:** ypadilla@bhinc.com

Owner: PULTE **Contact:** KEVIN PATTON
Address: 7601 JEFFERSON STREET NE SUITE 310 ALBUQ. NM 87109
Phone#: 505-341-8591 **Fax#:** _____ **E-mail:** kevin.patton@pultegroup.com

Architect: _____ **Contact:** _____
Address: _____
Phone#: _____ **Fax#:** _____ **E-mail:** _____

Other Contact: _____ **Contact:** _____
Address: _____
Phone#: _____ **Fax#:** _____ **E-mail:** _____

Check all that Apply:

DEPARTMENT:

☒ HYDROLOGY/ DRAINAGE
☐ TRAFFIC/ TRANSPORTATION
☐ MS4/ EROSION & SEDIMENT CONTROL

TYPE OF SUBMITTAL:

☒ ENGINEER/ ARCHITECT CERTIFICATION

☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ DRAINAGE MASTER PLAN
☐ DRAINAGE REPORT
☐ CLOMR/LOMR

☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)

☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

☐ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY

☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☒ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR

☐ PRE-DESIGN MEETING
☐ OTHER (SPECIFY) _____

IS THIS A RESUBMITTAL?: ☐ Yes ☐ No

DATE SUBMITTED: 08-23-16 **By:** YOLANDA PADILLA MOYER, P.E.

COA STAFF: ELECTRONIC SUBMITTAL RECEIVED: _____

August 23, 2016

Mr. Abiel Carrillo
Hydrology Section
City of Albuquerque
600 2nd Street NW
Albuquerque, NM 87102

Re: Partial Grading and Drainage Certification (Lots 24, 25 61-65, 67-76) Pulte @ Mirehaven
Phase 2A - DRB Case No. 1006864

Dear Abiel:

We are submitting a partial grading and drainage certification for Pulte @ Mirehaven Phase 2A. The partial certification includes Lots 24, 25 61-65, 67-76. Enclosed for your review is the approved grading and drainage plan dated 01/15/16 and 01-28-16. These lots have been graded; retaining walls, curb and gutter, pavement and downstream infrastructure have been constructed. The remaining lots have been graded, but the retaining walls have not been completed. The remaining lots will be certified once construction of all improvements has been completed.

During site inspection you might notice that there are depressions in the back yards. The purpose of the depressions is to provide a place to spoil dirt that is generated with the footing construction and they will be filled at the time of home construction. The depressions are not intended to serve as ponds.

After reviewing these as-built elevations and visiting the site on 08-22-16 it is my belief that the above lots have been graded in substantial compliance with the approved grading and drainage plan and that the interim drainage improvements allow runoff to be managed in the interim condition.

Your review and approval is requested for Building Permit Approval for the above listed buildings. I appreciate your time and consideration. If you have questions or require additional information, please contact me at 823-1000.

Sincerely,

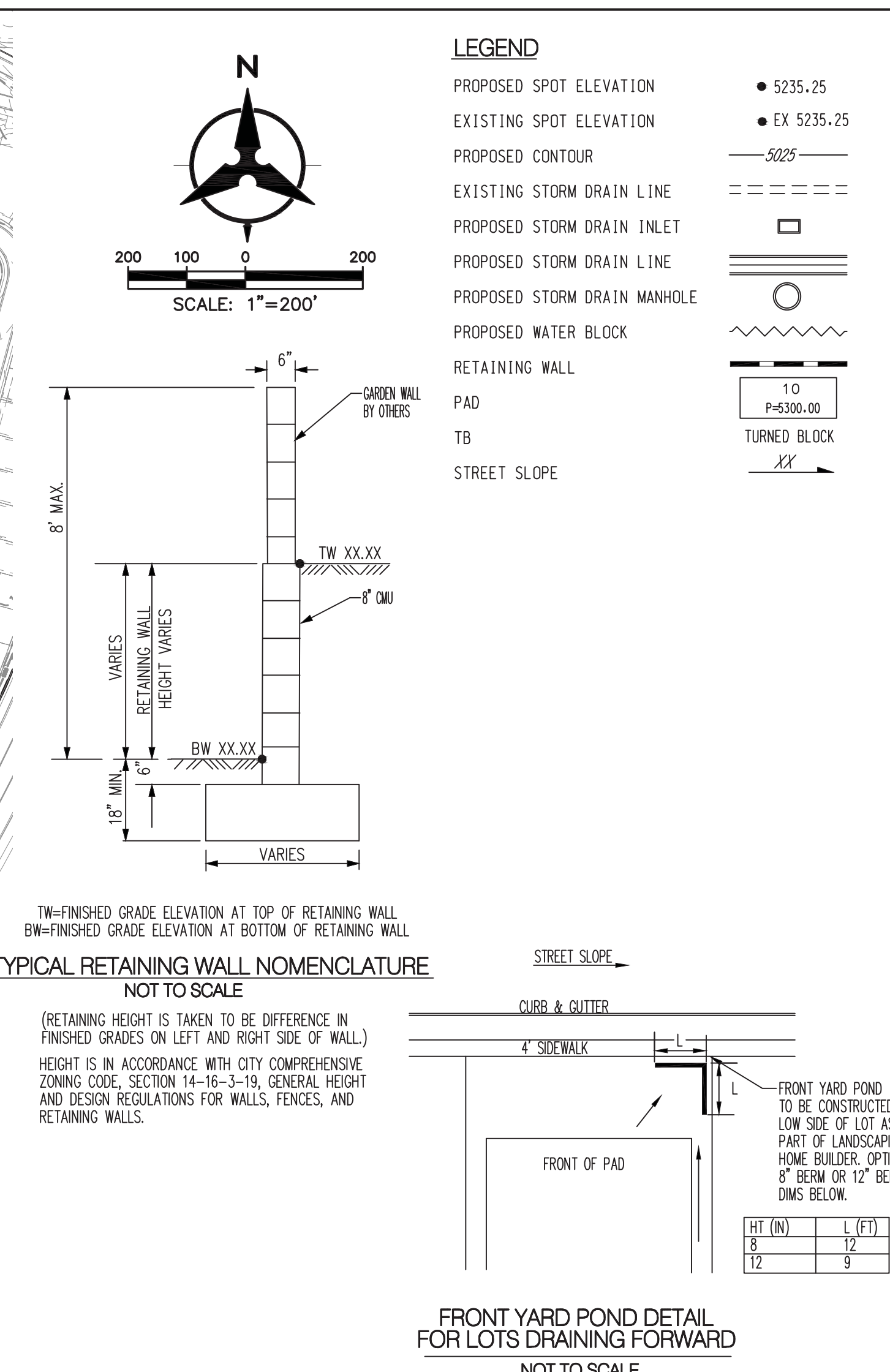


Yolanda Padilla Moyer, P.E.
Senior Project Manager
Community Development & Planning

Enclosure

cc: Kevin Patton, Pulte Homes
Peter Steen, Pulte Homes
Matt Dyer, Pulte Homes

Engineering ▲
Spatial Data ▲
Advanced Technologies ▲



GRADING NOTES

1. EXCEPT AS PROVIDED HEREIN, GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.
2. CONTRACTOR SHALL OBTAIN AND ABIDE BY A TOPSOIL DISTURBANCE PERMIT FROM THE CITY OF ALBUQUERQUE ENVIRONMENTAL HEALTH DIVISION, PRIOR TO CONSTRUCTION. THE COST FOR REQUIRED CONSTRUCTION DUST AND EROSION CONTROL MEASURES SHALL BE INCIDENTAL TO THE PROJECT COST. THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE, AND FEDERAL DUST CONTROL MEASURES AND REQUIREMENTS AND WILL BE RESPONSIBLE FOR PREPARING AND OBTAINING ALL NECESSARY APPLICATIONS AND APPROVALS.
3. ALL WORK RELATIVE TO FOUNDATION CONSTRUCTION, SITE PREPARATION, AND PAVEMENT INSTALLATION, AS SHOWN ON THIS PLAN, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE SOILS REPORT PREPARED BY _____.

SHEET 5

TIERRA PINTADA BLVD.

STORMCLOUD SUBDIVISION UNIT 1
FILED: JUNE 27, 2006
(2006C-204)

INSTALL FILTER FABRIC
OVER WALL OPENING ON
LOT SIDE OF WALL

KEYED NOTE

① PRIVACY WALL HEIGHT WILL BE 4'-5' IF PRIVATE SIDE GRADE IS HIGHER (4' MAX) THAN ADJACENT PUBLIC SIDE GRADE, FOR A TOTAL OF 8' MAX WALL FROM THE PUBLIC SIDE. PRIVACY WALL WILL BE 6' MAX. IF PRIVATE SIDE GRADE IS LOWER THAN ADJACENT PUBLIC GRADE.

PAD

DRY UTILITY BOXES TYP.

8' TYP.

EL=100.00

EL=99.00

TYPICAL SIDEYARD SWALE

PAD

TEMPORARY DESILTATION BASIN

SLOPE VARIES

5' TYP.

8' PUE

PAD TO 1' TO EDGE (TYP.)

WATER METER BOX TYP.

EL=102.00

EL=101.00

S=0.80%


ROW

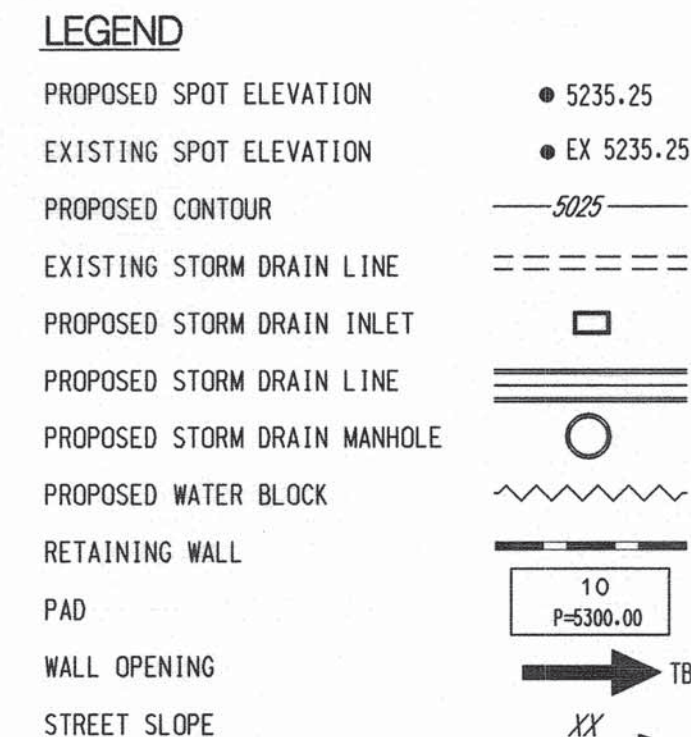
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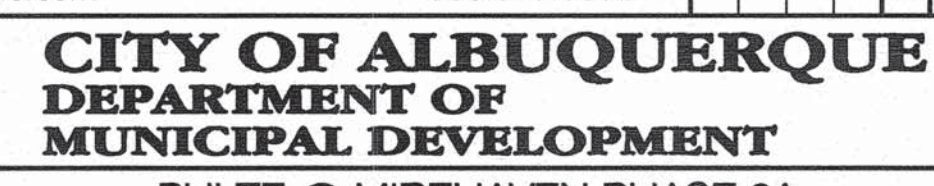
NOT TO SCALE

** BOTTOM OF BASIN IS 1' BELOW PROPERTY LINE ELEVATION SEE GRADING PLANS FOR EXACT ELEVATIONS

<p>2.3. ALL OTHER WORK, UNLESS OTHERWISE STATED OR PROVIDED FOR HEREON, IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS (FIRST PRIORITY), AND/OR THE CITY STANDARD SPECIFICATIONS FOR PUBLIC WORKS (SECOND PRIORITY).</p> <p>NOT TO EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE (765-1264) FOR UTILITIES.</p> <p>ALL EXCESS EXCAVATION DEBRIS, AND NEAR SURFACE ORGANICALLY CONTAMINATED SOIL SHALL BE AS TO BE GRADED. VEGETATION AND DEBRIS SHALL BE DISPOSED OF OFF-SITE OR IN PLANTERS AND NON-STRUCTURAL FILLS.</p> <p>NOT EXCEED 4 HORIZONTAL TO 1 VERTICAL UNLESS SHOWN OTHERWISE.</p> <p>THESE PLANS THAT THIS CONTRACTOR SHALL NOT PERFORM ANY WORK OUTSIDE OF THE PROJECT AS REQUIRED BY THIS PLAN.</p> <p>TO ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO ADJACENT PROPERTY OR PUBLIC AREAS, THE CONTRACTOR SHALL BE ADVISED BY CONSTRUCTING TEMPORARY BERMS AT THE PROPERTY LINES TO PROTECT IT FROM WIND EROSION.</p> <p>ALL EXCESS EXCAVATION AND UNSUITABLE MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE OBSERVER. OBTAINING A DISPOSAL SITE AND HAUL THERE TO SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT. SEPARATE MEASUREMENT OR PAYMENT SHALL BE MADE.</p> <p>VALLEY GRADES SHALL BE +/- 0.1' FROM PLAN ELEVATIONS. PAD ELEVATION SHALL BE +/- 0.1' FROM PLAN ELEVATIONS.</p> <p>DESIGN GRADES ARE TO FLOWLINE UNLESS OTHERWISE NOTED. VALLEY GUTTER ELEVATIONS ARE SHOWN</p>		<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 15%;"></td> <td style="width: 15%;">01'-28'-16"</td> <td style="width: 40%;">PAD DEPTH INCREASED TO 60" FOR LOTS 1-19, 22-32, 35, 48-52</td> <td style="width: 30%;">YPM</td> </tr> <tr> <td></td> <td></td> <td></td> <td></td> </tr> <tr> <td></td> <td></td> <td></td> <td></td> </tr> <tr> <td>2</td> <td>02'-16'-16"</td> <td>54'-76, 79'-89, FUTURE LOTS 90, 120, 132-139, 152, 173 MINOR REV TO WALL ELEVATIONS ON LOTS 20,34, 35,47, 48, 55, 73</td> <td>YPM</td> </tr> <tr> <td colspan="2">NO. DATE</td> <td>REMARKS</td> <td>BY</td> </tr> <tr> <td colspan="2"></td> <td>REVISIONS</td> <td></td> </tr> <tr> <td colspan="2"></td> <td>DESIGN</td> <td></td> </tr> <tr> <td colspan="2">DESIGNED BY YPM</td> <td colspan="2">DATE 12/2015</td> </tr> <tr> <td colspan="2">DRAWN BY AR</td> <td colspan="2">DATE 12/2015</td> </tr> <tr> <td colspan="2">CHECKED BY YPM</td> <td colspan="2">DATE 12/2015</td> </tr> </table>			01'-28'-16"	PAD DEPTH INCREASED TO 60" FOR LOTS 1-19, 22-32, 35, 48-52	YPM									2	02'-16'-16"	54'-76, 79'-89, FUTURE LOTS 90, 120, 132-139, 152, 173 MINOR REV TO WALL ELEVATIONS ON LOTS 20,34, 35,47, 48, 55, 73	YPM	NO. DATE		REMARKS	BY			REVISIONS				DESIGN		DESIGNED BY YPM		DATE 12/2015		DRAWN BY AR		DATE 12/2015		CHECKED BY YPM		DATE 12/2015	
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DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	LAST DESIGN UPDATE	MO./DAY/YR.	MO./DAY/YR.
CITY PROJECT NO.		ZONE MAP NO.	SHEET 5 OF 6	

Yolanda Padilla Moyer
 08/23/16
 YOLANDA PADILLA MOYER, NMPE 16035
 DATE
 YOLANDA PADILLA MOYER
 NEW MEXICO
 16035
 LICENSED PROFESSIONAL ENGINEER

BHI JOB NO. 20160103