

CITY OF ALBUQUERQUE



October 7, 2016

Yolanda Padilla-Moyer, PE
Bohannon-Huston
7500 Jefferson St NE Courtyard I
Albuquerque, NM 87109

**Re: Pulte @ Mirehaven Phase 2A
Request Pad Certification for lots 1-5, 37-39, 48-56, 77-89 - Accepted
Engineer's Stamp dated: 1-28-16 (H09D017E)
Certification dated: 10-4-16**

Dear Ms. Padilla-Moyer,

Based on the Certification received 10/4/2016, the above referenced is acceptable for building permit by Hydrology.

If you have any questions, you can contact me at 924-3986 or Totten Elliott at 924-3982.

PO Box 1293

Albuquerque

Sincerely,

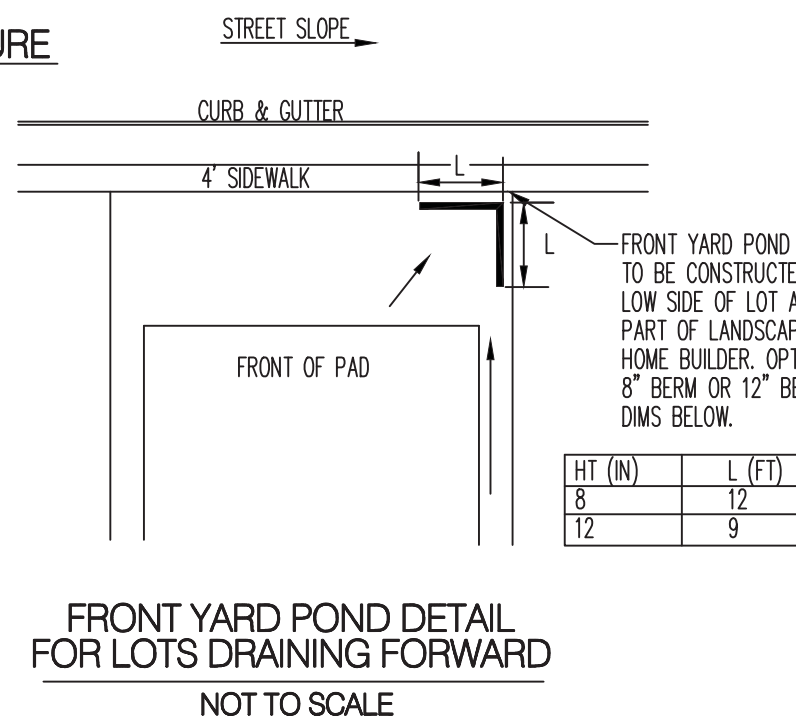
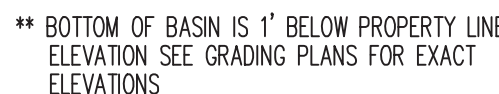
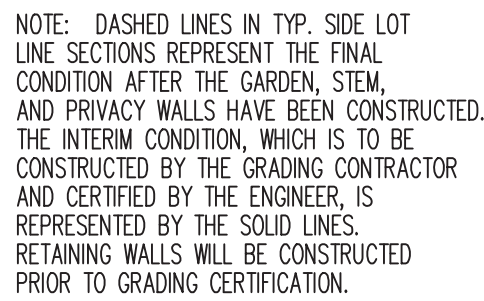
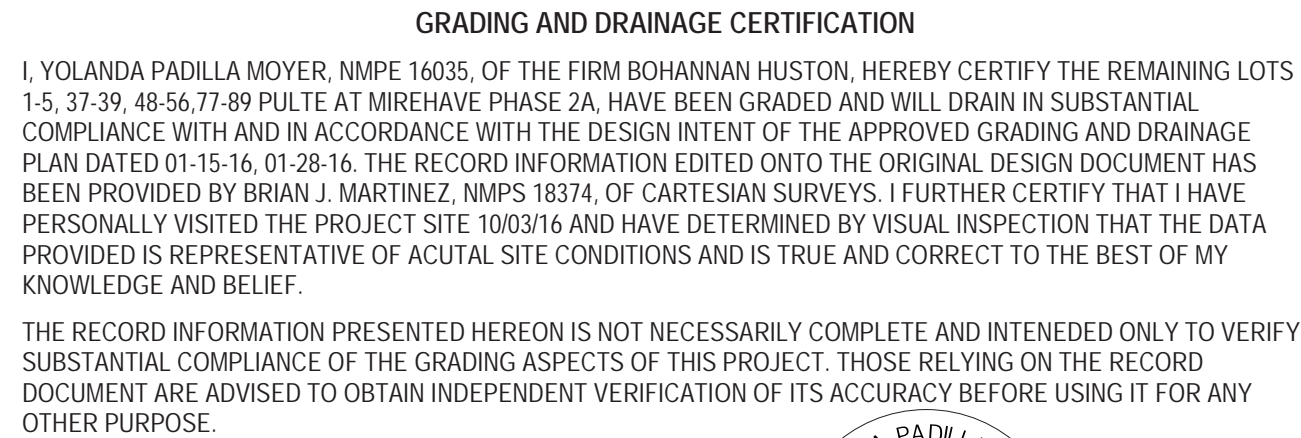
New Mexico 87103

Shahab Biazar, P.E.
City Engineer, Planning Dept.
Development Review Services

www.cabq.gov

TE/SB

C: CO Clerk Cordova, Camille C.; Miranda, Rachel; Sandoval, Darlene M.; Blocker,
Lois



BHI JOB NO. 2016010

P:\20160103\CDP\Plans\General\PH2A\20160103_Grading01.dwg
Fri, 29-Jan-2016 - 9:40:am, Plotted by: AROMERO

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	LAST DESIGN UPDATE	MO./DAY/YR.	MO./DAY/YR.
CITY PROJECT NO.		ZONE MAP NO.	SHEET 1 OF 6	

I, YOLANDA PADILLA MOYERMEYER 16035, OF THE FIRM BOHANNAN HUSTON, HEREBY CERTIFY THE REMAINING LOTS 1, 5, 23, 37, 49, 48, 57, 49 PULTE AT MIREHAVE PHASE 2A, HAVE BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED GRADING AND DRAINAGE PLAN DATED 01-15-16, 01-28-16. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN PROVIDED BY BRIAN J. MARTINEZ, NMPS 18374, OF CARTESIAN SURVEYS. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE 100316 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.








Yolanda Padilla Moyer
YOLANDA PADILLA MOYER, NMPE 16035


DATE

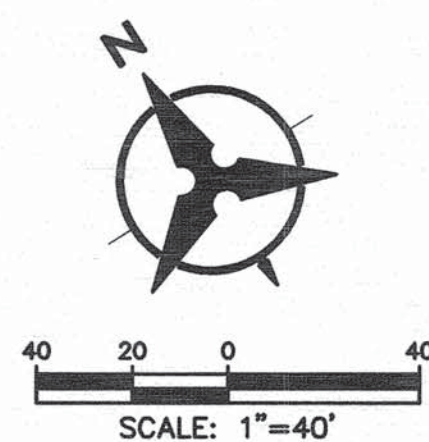


TRACT N-2-B
FILED: OCTOBER 17, 2013
(2013C-116)

Q = 62.5 cfs
D = 0.46 ft
V = 6.4 fps

PROPOSED SPOT ELEVATION	● 5235.25
EXISTING SPOT ELEVATION	● EX 5235.25
PROPOSED CONTOUR	<u>5025</u>
EXISTING STORM DRAIN LINE	==
PROPOSED STORM DRAIN INLET	
PROPOSED STORM DRAIN LINE	===
PROPOSED STORM DRAIN MANHOLE	
PROPOSED WATER BLOCK	
RETAINING WALL	
PAD	
WALL OPENING	
STREET SLOPE	

 CONTRACTOR SHALL INSTALL 7' WIDE 1' DEEP SWALE ALONG THE EAST PROPERTY LINE AND 5' SIDE 1' DEEP SWALE ALONG THE NORTH PROPERTY LINE WHERE LOTS DRAIN TO THE BACK OF THE LOT. SWALE SHALL BE 12" OF 95% COMPACTION WITH FILTER FABRIC AND 1" TO 2" FRACTURED COBBLE



Bohannon  **Huston**
www.bhinc.com 800.877.5332



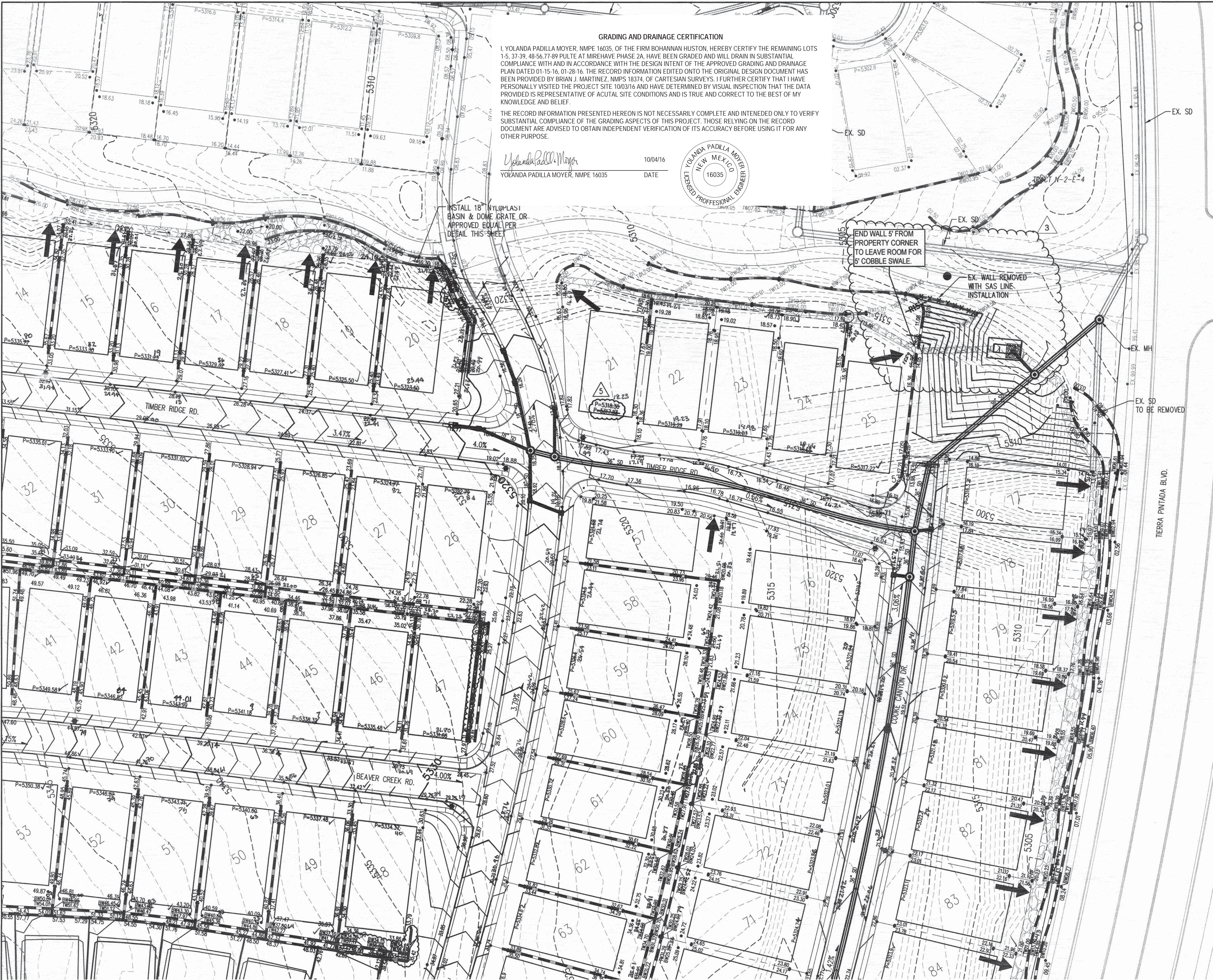
CITY OF ALBUQUERQUE
DEPARTMENT OF
MUNICIPAL DEVELOPMENT

PULTE @ MIREHAVEN PHASE 2A
GRADING PLAN

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	LAST DESIGN UPDATE	MO./DAY/YR.	MO./DAY/YR.
PROJECT NO.		ZONE MAP NO.	SHEET	OF
			2	6

P:\20160103\CDP\Plans\General\PH2A\20160103_Grading02.dwg
Fri, 29-Jan-2016 - 9:40:am, Plotted by: AROMERO

BHI JOB NO. 20160103



GRADING AND DRAINAGE CERTIFICATION

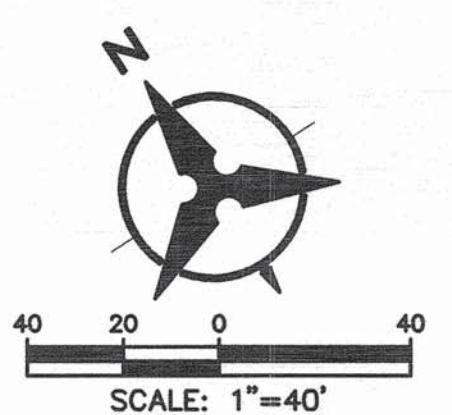
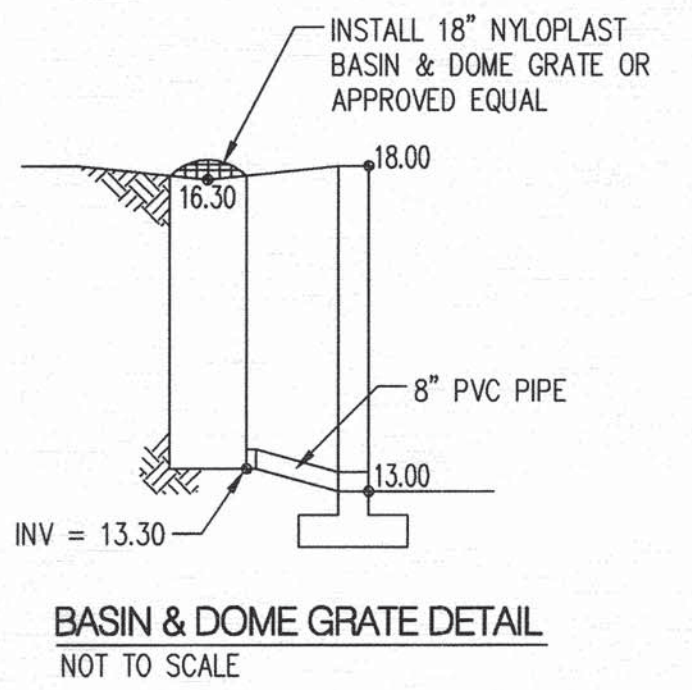
I, YOLANDA PADILLA MOYER, NMPE 16035, OF THE FIRM BOHANNAN HUSTON, HEREBY CERTIFY THE REMAINING LOTS 1-5, 37-39, 48-56, 77-89 PULTE AT MIREHAVE PHASE 2A, HAVE BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED GRADING AND DRAINAGE PLAN DATED 01-15-16, 01-28-16. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN PROVIDED BY BRIAN J. MARTINEZ, NMPS 18374, OF CARTESIAN SURVEYS. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE 1003716 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

Yolanda Padilla Moyer 10/04/16
YOLANDA PADILLA MOYER, NMPE 16035 DATE

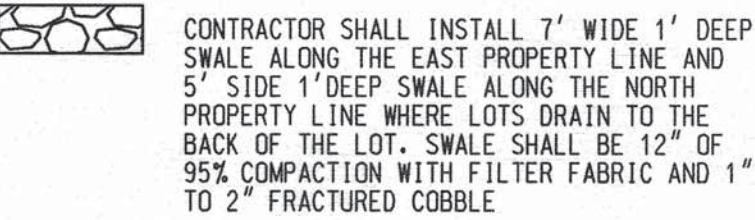
NEW MEXICO
16035
REGISTERED PROFESSIONAL ENGINEER

- LEGEND**
- PROPOSED SPOT ELEVATION: 5235.25
 - EXISTING SPOT ELEVATION: EX 5235.25
 - PROPOSED CONTOUR: 5205
 - EXISTING STORM DRAIN LINE: ---
 - PROPOSED STORM DRAIN INLET: [Symbol]
 - PROPOSED STORM DRAIN LINE: [Symbol]
 - PROPOSED STORM DRAIN MANHOLE: [Symbol]
 - PROPOSED WATER BLOCK: [Symbol]
 - RETAINING WALL: 10 P=5300.00
 - PAD: [Symbol]
 - WALL OPENING: [Symbol]
 - STREET SLOPE: XX
- CONTRACTOR SHALL INSTALL 7' WIDE 1' DEEP SWALE ALONG THE EAST PROPERTY LINE AND 5' SIDE 1' DEEP SWALE ALONG THE NORTH PROPERTY LINE WHERE LOTS DRAIN TO THE BACK OF THE LOT. SWALE SHALL BE 12" OF 95% COMPACTION WITH FILTER FABRIC AND 1" TO 2" FRACTURED COBBLE



Bohannon & Huston
www.bhinc.com 800.877.5332

		CITY OF ALBUQUERQUE	
		DEPARTMENT OF MUNICIPAL DEVELOPMENT	
PULTE @ MIREHAVEN PHASE 2A			
GRADING PLAN			
DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	MO./DAY/YR.	MO./DAY/YR.
LAST DESIGN UPDATE			
CITY PROJECT NO.	ZONE MAP NO.	SHEET 3	OF 6



I, YOLANDA PADILLA MOYER, NMPE 16035, OF THE FIRM BOHANNAN HUSTON, HEREBY CERTIFY THE REMAINING LOTS 15, 37-39, 48-56, 77-89 PULTE AT MIREHAVE PHASE 2A, HAVE BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED GRADING AND DRAINAGE PLAN DATED 01-15-16, 01-28-16. THE RECORD INFORMATION EDITED INTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN PROVIDED BY BRIAN J. MARTINEZ, NMPE 18374, OF CARTESIAN SURVEYS. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE 100316 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

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Yolanda Padilla Moyer
YOLANDA PADILLA MOYER, M

10/04/10

DATE _____



Bohannon  Huston
www.bhinc.com 800.877.5332



CITY OF ALBUQUERQUE
DEPARTMENT OF
MUNICIPAL DEVELOPMENT

PULTE @ MIREHAVEN PHASE 2A
GRADING PLAN

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	LAST DESIGN UPDATE	MO./DAY/YR.	MO./DAY/YR.

CITY PROJECT NO.	ZONE MAP NO.	SHEET 5 OF 6
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October 4, 2016

Mr. Abiel Carrillo
Hydrology Section
City of Albuquerque
600 2nd Street NW
Albuquerque, NM 87102

Re: Partial Grading and Drainage Certification (Remaining Lots 1-5,48-56,77-89) Pulte @
Mirehaven
Phase 2A - DRB Case No. 1006864

Dear Abiel:

We are submitting a partial grading and drainage certification for Pulte @ Mirehaven Phase 2A. The partial certification is for the remaining Lots 1-5, 37-39, 48-56, 77-89. Enclosed for your review is the approved grading and drainage plan dated 01/15/16 and 01-28-16. These lots have been graded; retaining walls, curb and gutter, pavement and downstream infrastructure have been constructed. A final certification for financial guaranty release will be submitted at a later date once verification of all improvements have been constructed.

During site inspection you might notice that there are depressions in the back yards. The purpose of the depressions is to provide a place to spoil dirt that is generated with the footing construction and they will be filled at the time of home construction. The depressions are not intended to serve as ponds.

After reviewing these as-built elevations and visiting the site on 10-03-16 it is my belief that the above lots have been graded in substantial compliance with the approved grading and drainage plan and that the interim drainage improvements allow runoff to be managed in the interim condition.

Your review and approval is requested for Building Permit Approval for the above listed buildings. I appreciate your time and consideration. If you have questions or require additional information, please contact me at 823-1000.

Sincerely,



Yolanda Padilla Moyer, P.E.
Senior Project Manager
Community Development & Planning

Enclosure

cc: Kevin Patton, Pulte Homes
Peter Steen, Pulte Homes
Matt Dyer, Pulte Homes

Engineering ▲
Spatial Data ▲
Advanced Technologies ▲



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

Project Title: PULTE @ MIREHAVEN PHASE 2A **Building Permit #:** _____ **City Drainage #:** H-9
DRB#: 10006864 **EPC#:** _____ **Work Order#:** 650387
Legal Description: PULTE @ MIREHAVEN PHASE 2A (A REPLAT OF TRACT N-2-D OF WATERSHED)
City Address: _____

Engineering Firm: BOHANNAN HUSTON INC **Contact:** Yolanda Moyer
Address: 7500 JEFFERSON ST NE COURTYARD 1 ALBUQUERQUE NM 87109
Phone#: 823-1000 **Fax#:** _____ **E-mail:** ypadilla@bhinc.com

Owner: PULTE **Contact:** KEVIN PATTON
Address: 7601 JEFFERSON STREET NE SUITE 310 ALBUQ. NM 87109
Phone#: 505-341-8591 **Fax#:** _____ **E-mail:** kevin.patton@pultegroup.com

Architect: _____ **Contact:** _____
Address: _____
Phone#: _____ **Fax#:** _____ **E-mail:** _____

Other Contact: _____ **Contact:** _____
Address: _____
Phone#: _____ **Fax#:** _____ **E-mail:** _____

Check all that Apply:

DEPARTMENT:

☒ HYDROLOGY/ DRAINAGE
☐ TRAFFIC/ TRANSPORTATION
☐ MS4/ EROSION & SEDIMENT CONTROL

TYPE OF SUBMITTAL:

☒ ENGINEER/ ARCHITECT CERTIFICATION

☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ DRAINAGE MASTER PLAN
☐ DRAINAGE REPORT
☐ CLOMR/LOMR

☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)

☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

☐ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY

☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☒ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR

☐ PRE-DESIGN MEETING
☐ OTHER (SPECIFY) _____

IS THIS A RESUBMITTAL?: ☐ Yes ☐ No

DATE SUBMITTED: 10-04-16 **By:** YOLANDA PADILLA MOYER, P.E.

COA STAFF: ELECTRONIC SUBMITTAL RECEIVED: _____