

CITY OF ALBUQUERQUE



August 21, 2017

Yolanda Padilla Moyer, P.E.
Bohannon Huston
7601 Jefferson NE, Suite 100
Albuquerque, NM 87109

**RE: Del Webb @ Mirehaven Phase 2A
Grading & Drainage Plan Revision 4
Engineer's Stamp Date 3-11-16 (Rev. 4 Date: 08/17)
Hydrology File: H09D017F**

Dear Ms. Padilla-Moyer:

Based upon the information provided in your submittal received 8/16/17, the above-referenced project cannot be re-approved until the following are addressed:

1. An Engineer Certified Addendum to the Drainage Report is required to support the new drainage pattern. The following should be addressed:
 - a. Proposed Basin Map: Basin G.5 will now drain into G.6
 - b. Geometry and hydraulic capacity of the new swale adjacent to lot 22.
 - c. Hydraulic capacity of the swale behind lots 16-22, accounting for the additional flow from G.5. This swale may need to be upsized.

Engineer's Certification will be required prior to Pad Certification/Release of Financial Guarantee per the DPM Checklist. If you have any questions, you can contact me at 924-3695 or dpeterson@cabq.gov.

Sincerely,

Dana Peterson, P.E.
Senior Engineer, Planning Dept.
Development Review Services

August 15, 2017

Mr. Doug Hughes, P.E.
City of Albuquerque
600 2nd Street NW
Albuquerque, NM 87102

Re: Revised Grading and Drainage Plan, Del Webb @ Mirehaven, Phase 2A
DRB Case No. 1006864

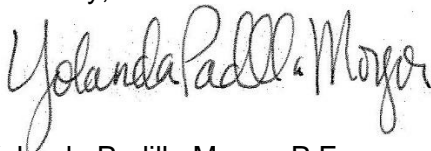
Dear Doug:

Please find enclosed design revision #4 to the approved grading and drainage plan for Phase 2A of the above referenced project.

The revision consists of adding a swale along the eastside of Lot 22 to convey the flow from lots 23-27 to the swale behind lots 16-22 and down to the pond located at the southern corner of the development as should on Sheet 7 of 7.

Please find enclosed the revised grading plan. We are requesting your review and approval. I appreciate your time and consideration. If you have questions or require additional information, please contact me at 823-1000.

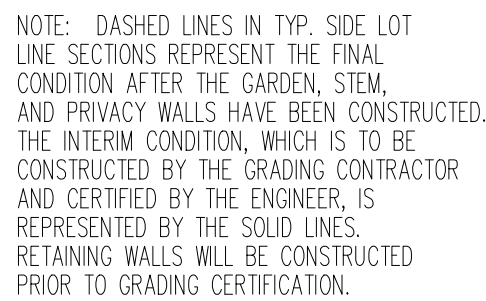
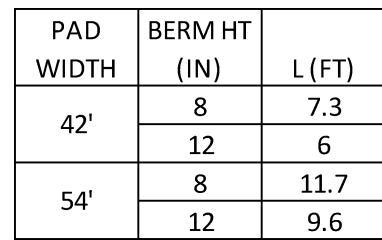
Sincerely,



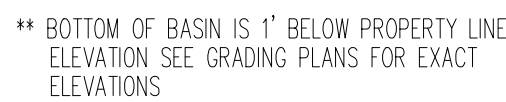
Yolanda Padilla Moyer, P.E.
Senior Project Manager
Community Development & Planning

Enclosure

cc: Kevin Patton, Pulte Homes



(RETAINING HEIGHT IS TAKEN TO BE DIFFERENCE IN FINISHED GRADES ON LEFT AND RIGHT SIDE OF WALL. HEIGHT IS IN ACCORDANCE WITH CITY COMPREHENSIVE ZONING CODE, SECTION 14-16-3-19, GENERAL HEIGHT AND DESIGN REGULATIONS FOR WALLS, FENCES, AND RETAINING WALLS.





LEGEND

PROPOSED SPOT ELEVATION • 5235.25
EXISTING SPOT ELEVATION • EX 5235.25
PROPOSED CONTOUR -5225-
EXISTING STORM DRAIN LINE - - - - -
PROPOSED STORM DRAIN INLET □
PROPOSED STORM DRAIN LINE = = = = =
PROPOSED STORM DRAIN MANHOLE ○
PROPOSED WATER BLOCK ○
RETAINING WALL ~~~~~
PAD 10
TURNED BLOCK TB
STREET SLOPE XX

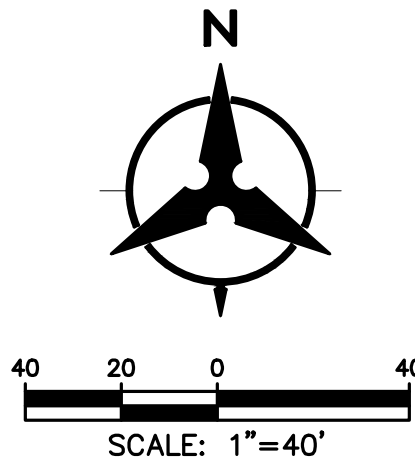
CONTRACTOR SHALL INSTALL 7' WIDE 1' DEEP SWALE ALONG THE NORTHSIDE OF MIREHAVEN ARROYO MAINTENANCE ROAD FROM LOT 158 TO PEDESTRIAN TRAIL BETWEEN LOTS 166/167, AN 8' WIDE 1' DEEP SWALE FROM LOT 167 TO THE PEDESTRIAN TRAIL BETWEEN LOTS 174/175 AND A 12' WIDE 1.5' DEEP SWALE FROM LOT 175 TO POND WEST OF WILLOW CANYON.

CONTRACTOR SHALL INSTALL 8' WIDE 1' DEEP SWALE ALONG THE NORTHSIDE OF MIREHAVEN ARROYO MAINTENANCE ROAD FROM LOT 1 TO POND BEHIND LOT 15.

CONTRACTOR SHALL INSTALL 7' WIDE 1' DEEP SWALE ALONG THE BACKSIDE OF LOT 23 TO LOT 27 AND FROM THE POND AT LOT 16 TO LOT 22.

SWALE LOCATION VARIES BEHIND LOTS 9-11 AND 172-174. SEE PLAN FOR LOCATION

SWALE SHALL BE 12" OF 95% COMPACTION WITH FILTER FABRIC AND 1" TO 2" FRACTURED COBBLE



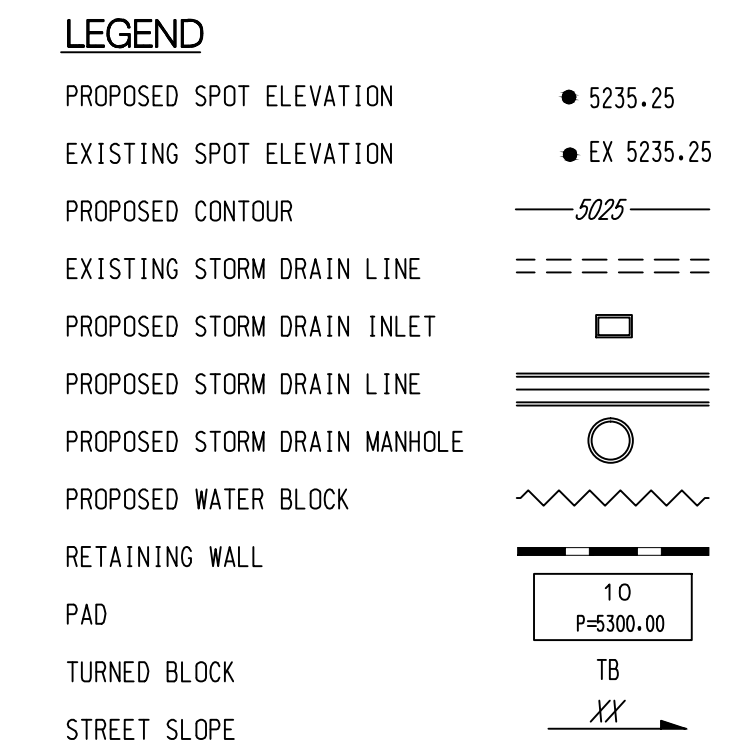
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CITY OF ALBUQUERQUE
DEPARTMENT OF
MUNICIPAL DEVELOPMENT

DEL WEBB @ MIREHAVEN PHASE 2
GRADING PLAN

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	LAST DESIGN UPDATE	MO./DAY/YR.	MO./DAY/YR.
CITY PROJECT NO.	ZONE MAP NO.	SHEET	OF	
		2	7	

AS-BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		ENGINEER'S SEAL		REVISIONS		DESIGN	
CONTRACTOR	DATE	USC&GS BRASS DISC STAMPED "REWARD 1969"	DATE	NO.	BY	YPM	YPM	NO.	DATE	BY	DATE
WORKED BY	DATE	GEOGRAPHIC POSITION (NAD 83)	DATE								
INSPECTOR'S	DATE	N.M. STATE PLANE COORDINATES	DATE								
ACCEPTANCE BY	DATE	(CENTRAL ZONE)	DATE								
VERIFICATION BY	DATE	N=1487364.063 E=1491190.819	DATE								
DRAWINGS	DATE	GROUND TO GRID = 0.999575005	DATE								
SCALE	DATE	DELTA ALPHA = -007712.26"	DATE								
RECORDED BY	DATE	NAVD 1988 ELEVATION = 5319.688	DATE								
NO.	DATE		DATE								



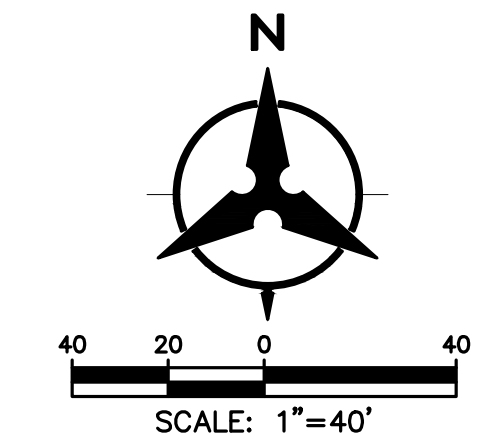
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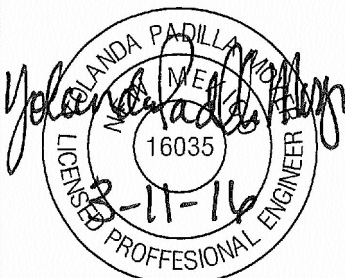
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DEL WEBB @ MIREHAVEN PHASE 2
GRADING PLAN

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	LAST DESIGN UPDATE	MO./DAY/YR.	MO./DAY/YR.
PROJECT NO.		ZONE MAP NO.	SHEET 3 OF 7	

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Tue, 13-Jun-2017 - 4:04:pm, Plotted by: YPADILLA

BHI JOB NO. 20160158

LEGEND

- PROPOSED SPOT ELEVATION • 5235.25
EXISTING SPOT ELEVATION • EX 5235.25
PROPOSED CONTOUR — 5025 —
EXISTING STORM DRAIN LINE — — — —
PROPOSED STORM DRAIN INLET □
PROPOSED STORM DRAIN LINE — — — —
PROPOSED STORM DRAIN MANHOLE ○
PROPOSED WATER BLOCK — — — —
RETAINING WALL — — — —
PAD 10
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STREET SLOPE XX



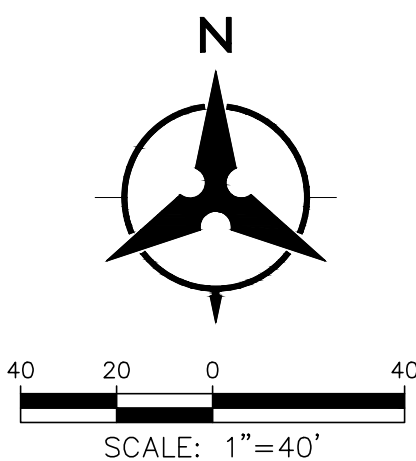
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DEL WEBB @ MIREHAVEN PHASE 2
GRADING PLAN

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	MO./DAY/YR	
		MO./DAY/YR	MO./DAY/YR
CITY PROJECT NO.	ZONE MAP NO.	SHEET 4	OF 7



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BHI JOB NO. 20160158

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PROPOSED WATER BLOCK ~~~~~
RETAINING WALL [Hatched Box]
PAD [Box with 10, P=5300.00]
TURNED BLOCK TB
STREET SLOPE XX

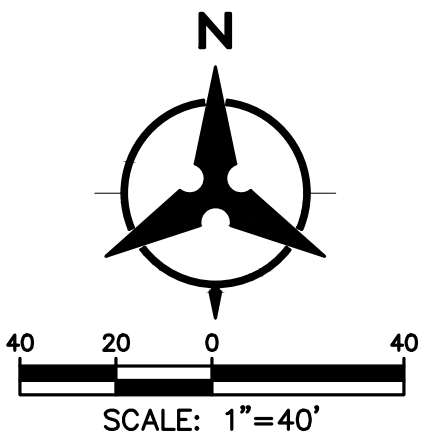
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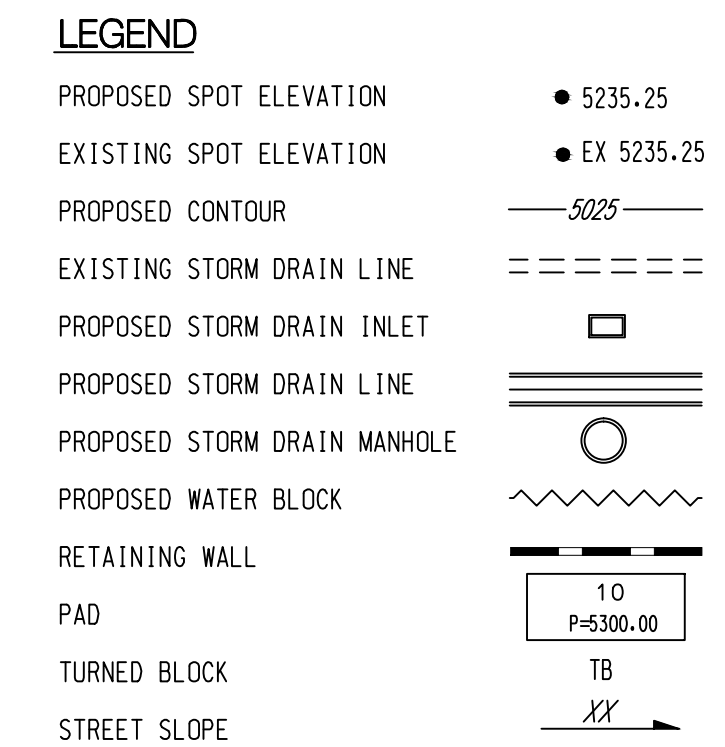
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CITY PROJECT NO.	ZONE MAP NO.	SHEET	OF
		5	7

AS-BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		ENGINEER'S SEAL		REVISIONS		DESIGN	
CONTRACTOR	DATE	US&GS BRASS DISC STAMPED "REWARD 1969"	DATE	NO.	BY	YPM	YPM	NO.	DATE	YPM	YPM
WORKED BY	DATE	GEOGRAPHIC POSITION (NAD 83)	DATE								
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VERIFICATION BY	DATE	N=1487364.063 E=1491190.819	DATE								
DRAWINGS	DATE	GROUND TO GRID = 0.999575005	DATE								
SCALE	DATE	DELTA ALPHA = -007712.26"	DATE								
MICRO-FILM INFORMATION		NO. 1988 ELEVATION = 5319.688	DATE								
RECORDED BY	DATE										
NO.	DATE										





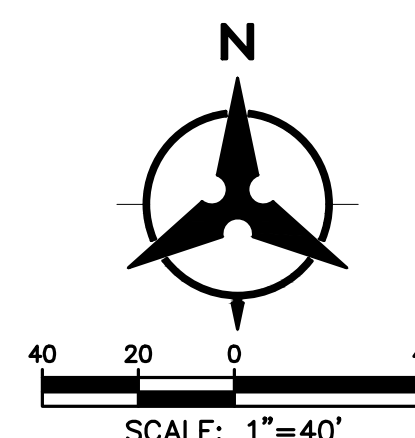
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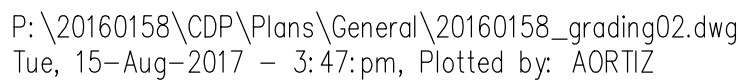
DEL WEBB @ MIREHAVEN PHASE 2
GRADING PLAN

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL

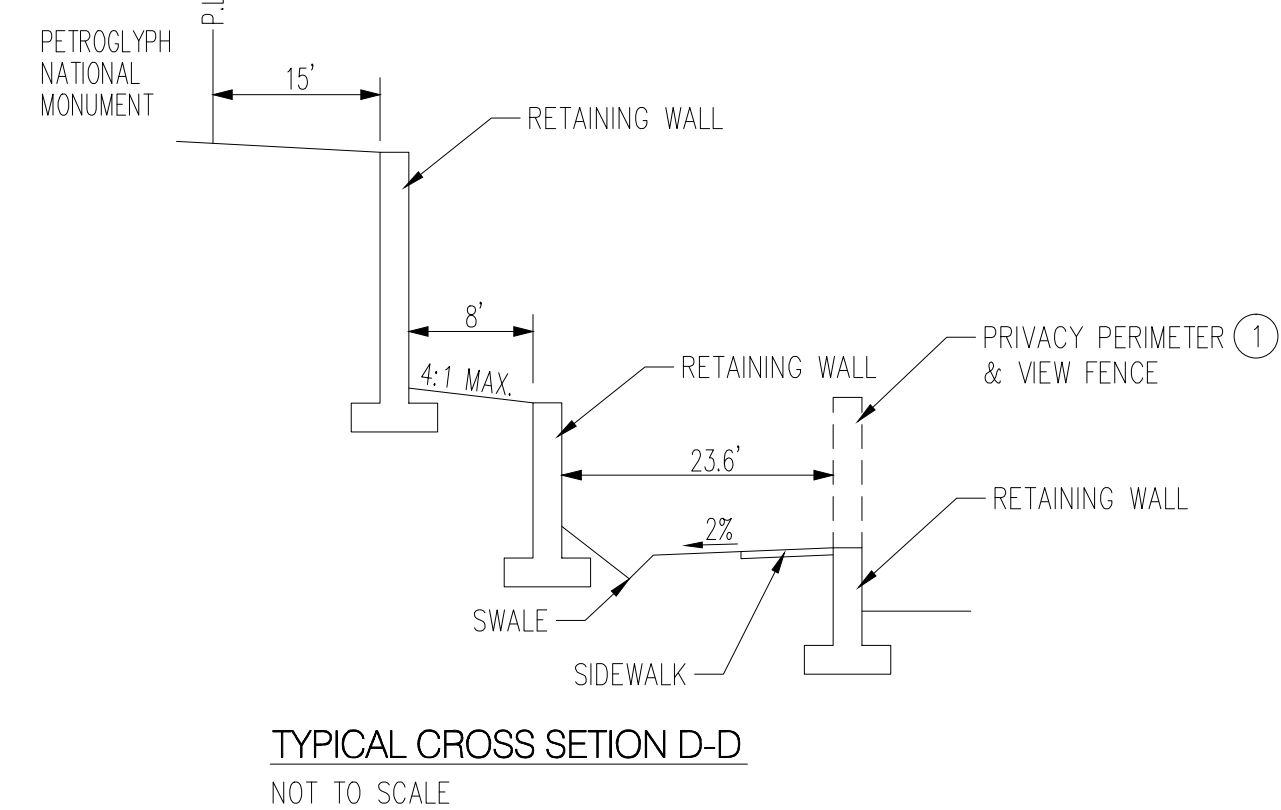
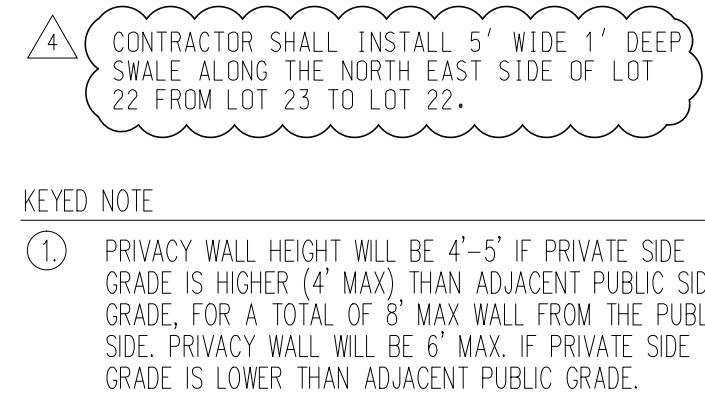
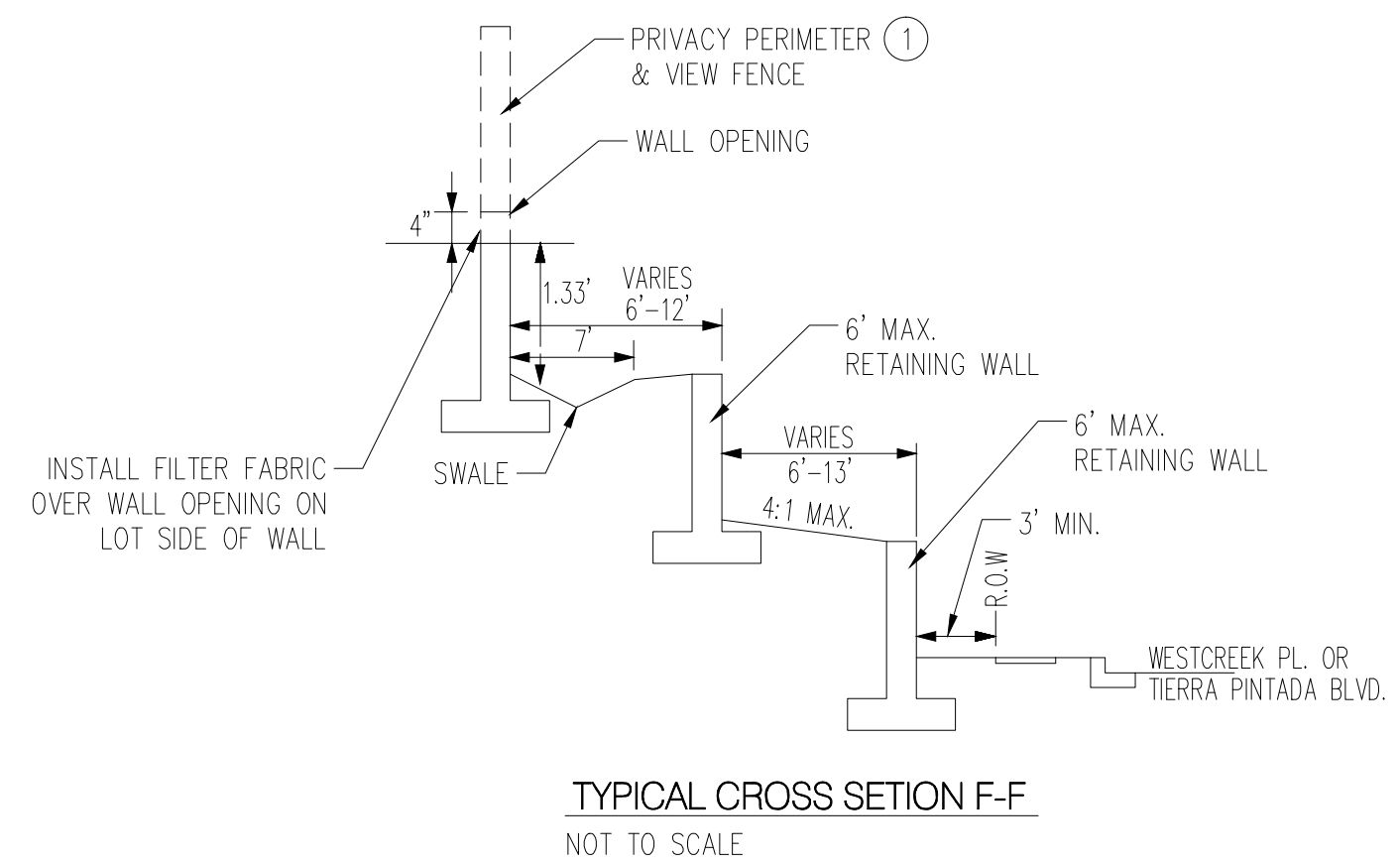
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TYPICAL CROSS SECTION E-E
NOT TO SCALE



ENGINEER'S SEAL		SURVEY INFORMATION		BENCH MARKS		AS-BUILT INFORMATION	
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				N.M. STATE PLANE COORDINATES		INSPECTOR'S ACCEPTANCE BY	
				(CENTRAL ZONE)		FIELD CATION BY	
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				GROUND TO GRID = 0.999675005		MICRO-FILM INFORMATION	
				DELTA ALPHA = -0071712.26"		RECORDED BY	
				NAVD 1988 ELEVATION = 5319.688		NO.	
<div> <div>08/17</div> <div>LOTS 19-23 SWALE REVISION</div> </div>		YPM					
<div> <div>04/17</div> <div>LOT 34 SIDEWAY REVISION</div> </div>		YPM					
<div> <div>01/17</div> <div>REvised NORTH GRADING\RETAINING WALLS</div> </div>		YPM					
<div> <div>08/16</div> <div>LOTS 58--67 DRAIN TO WOODS WASH TR.</div> </div>		YPM					
<div> <div>NO. DATE</div> <div>REMARKS</div> </div>		BY					
<div> <div>DESIGNED BY</div> <div>DATE 01/2016</div> </div>		YPM					
<div> <div>DRAWN BY</div> <div>DATE 01/2016</div> </div>		AR					
<div> <div>CHECKED BY</div> <div>DATE 01/2016</div> </div>		YPM					