

CITY OF ALBUQUERQUE



July 24, 2018

Yolanda Padilla-Moyer, PE
Bohannon-Huston
7500 Jefferson St NE Courtyard I
Albuquerque, NM 87109

**Re: Del Webb @ Mirehaven 2B
Pad Certification for lots 142, 145-150, 154-157, 182
Engineer's Stamp dated: 3-11-16 (H09D017F)
Certification dated: 7-20-18**

Dear Ms. Padilla-Moyer,

Based on the Certifications received 7/20/18, the above referenced Certification for the above mentioned is acceptable for building permit by Hydrology.

If you have any questions, you can contact me at 924-3986 or Totten Elliott at 924-3982.

PO Box 1293

Sincerely,

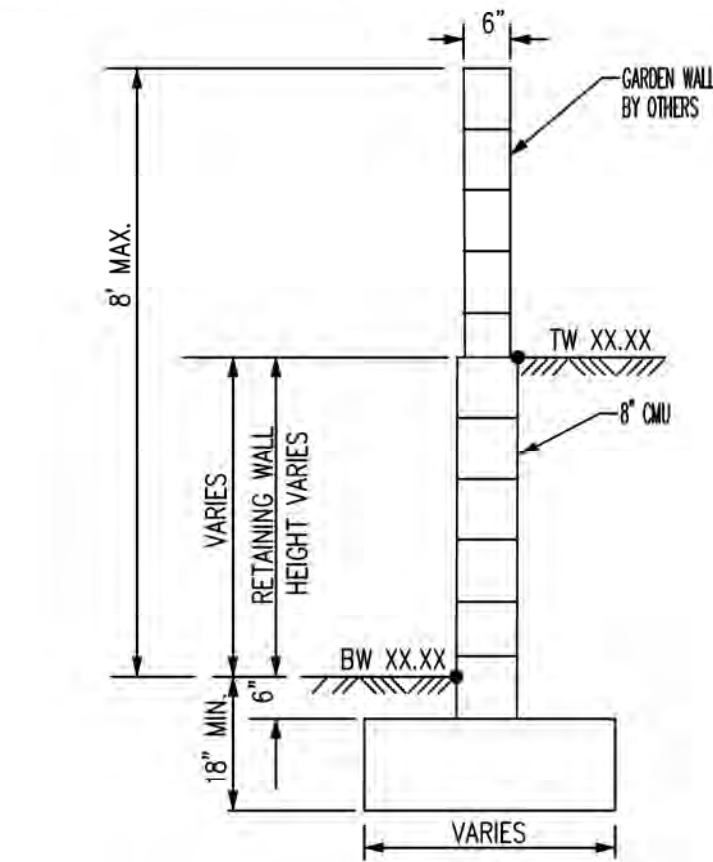
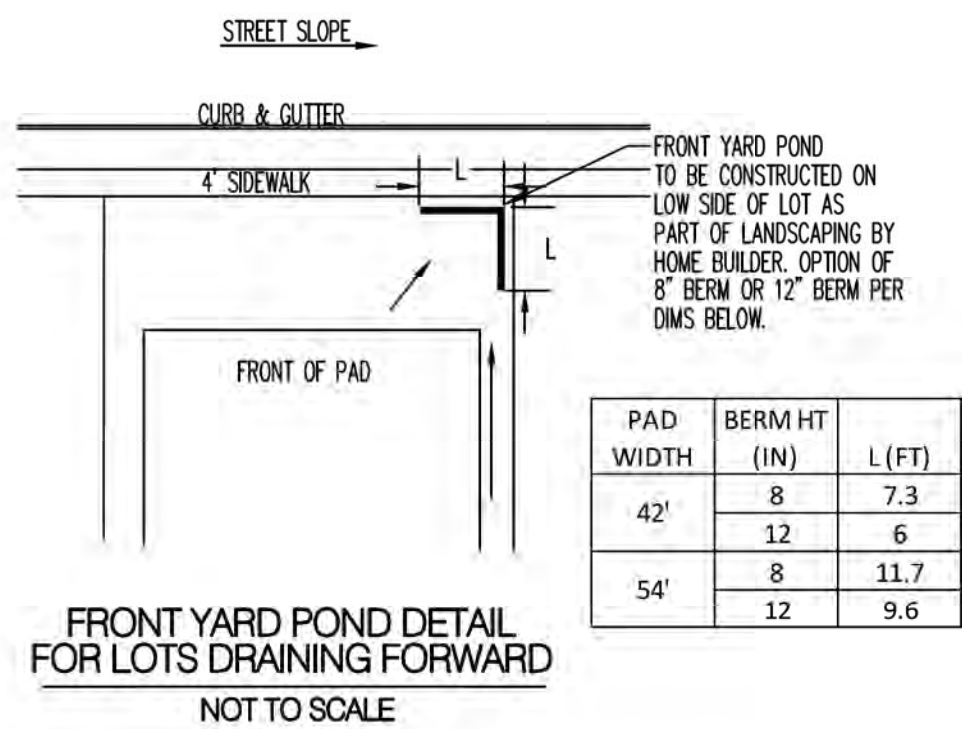
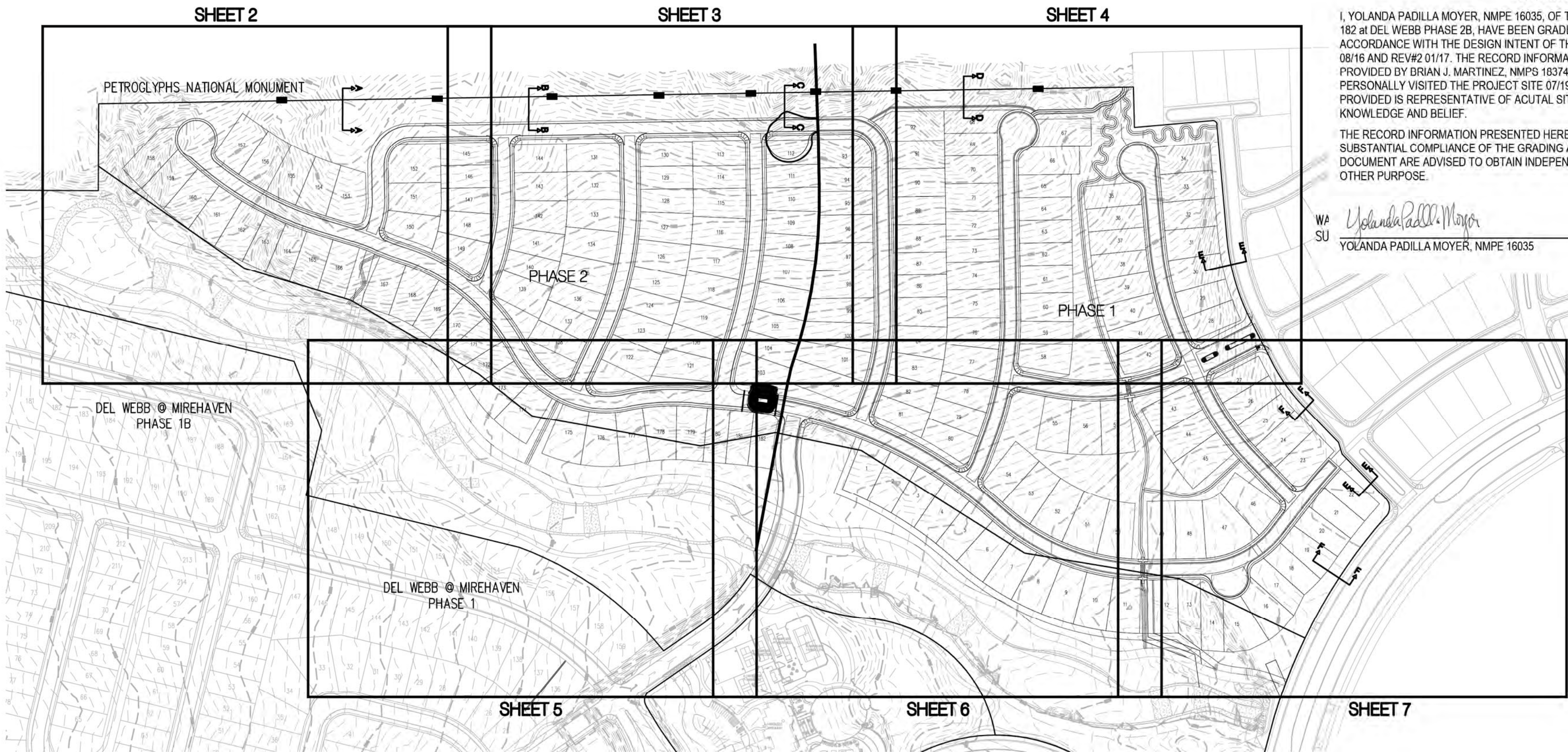
Albuquerque

James D. Hughes, P.E.
Principal Engineer, Planning Dept.
Development and Review Services

NM 87103

TE/JH
C: email

www.cabq.gov



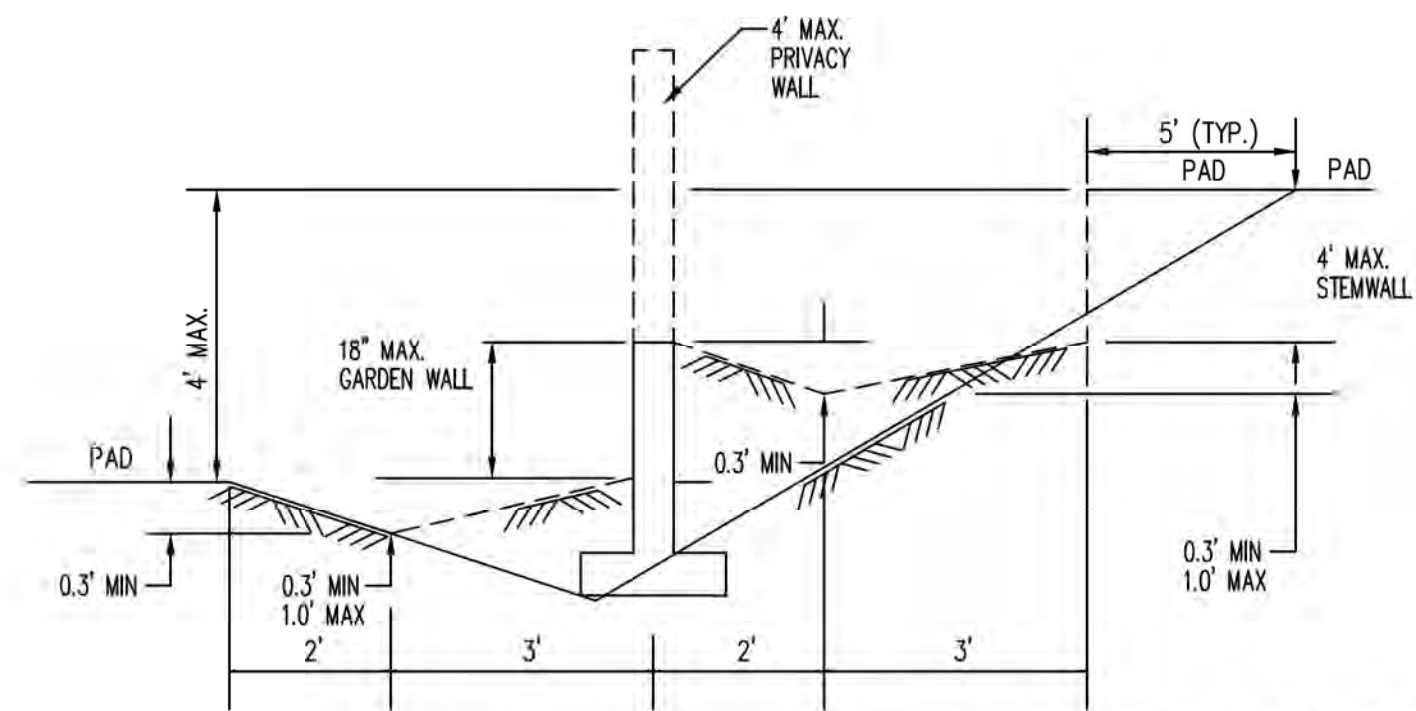
TW=FINISHED GRADE ELEVATION AT TOP OF RETAINING WALL
BW=FINISHED GRADE ELEVATION AT BOTTOM OF RETAINING WALL

TYPICAL RETAINING WALL NOMENCLATURE
NOT TO SCALE

(RETAINING HEIGHT IS TAKEN TO BE DIFFERENCE IN FINISHED GRADES ON LEFT AND RIGHT SIDE OF WALL.)
HEIGHT IS IN ACCORDANCE WITH CITY COMPREHENSIVE ZONING CODE, SECTION 14-16-3-19, GENERAL HEIGHT AND DESIGN REGULATIONS FOR WALLS, FENCES, AND RETAINING WALLS.

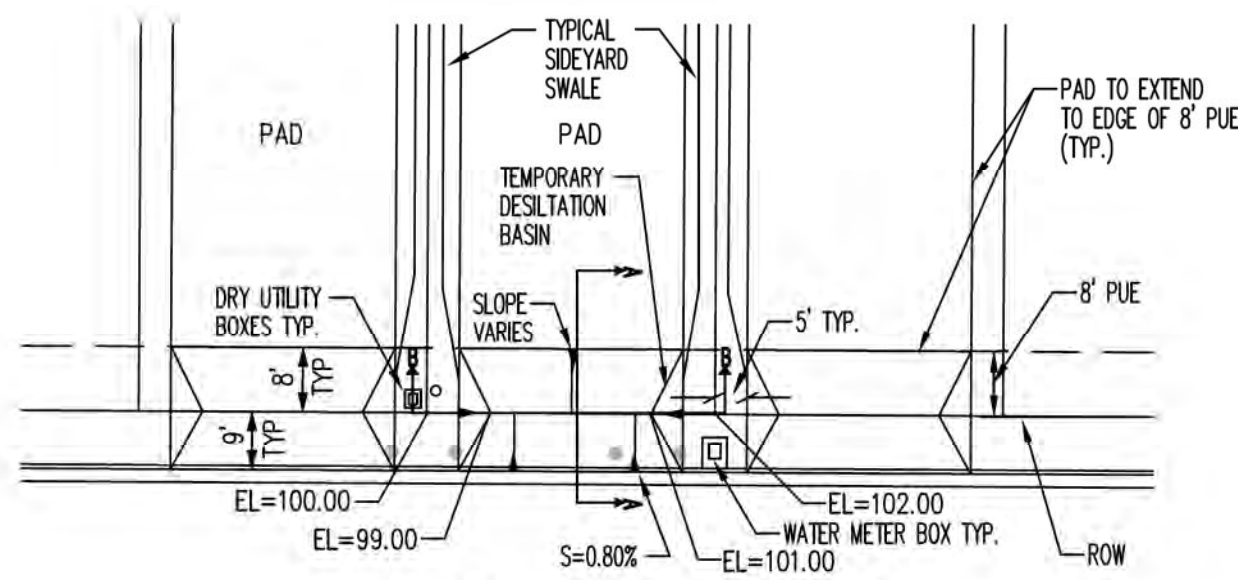
LEGEND

PROPOSED SPOT ELEVATION	• 5235.25
EXISTING SPOT ELEVATION	• EX 5235.25
PROPOSED CONTOUR	— 5225 —
EXISTING STORM DRAIN LINE	---
PROPOSED STORM DRAIN INLET	□
PROPOSED STORM DRAIN LINE	===
PROPOSED STORM DRAIN MANHOLE	○
PROPOSED WATER BLOCK	~
RETAINING WALL	10
PAD	P=5300.00
TURNED BLOCK	TB
STREET SLOPE	XX'



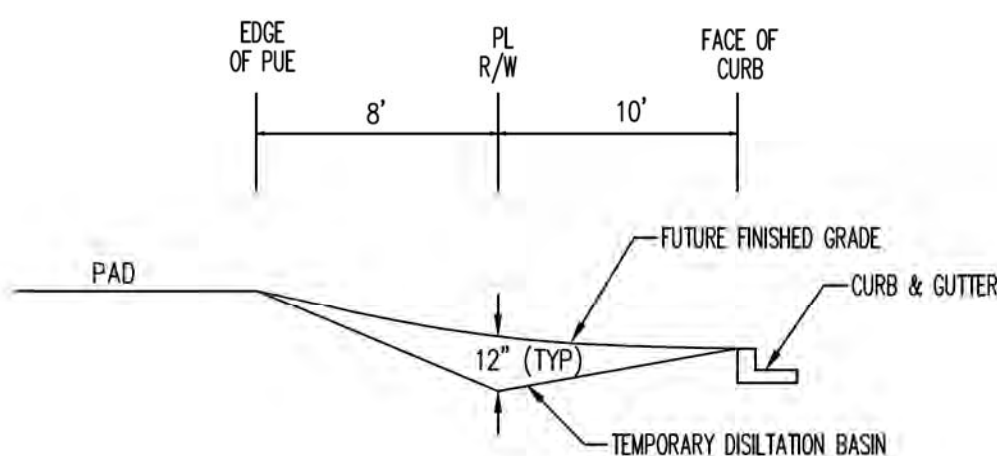
TYPICAL SIDE LOT LINE SECTION
NOT TO SCALE

NOTE: DASHED LINES IN TYP. SIDE LOT LINE SECTIONS REPRESENT THE FINAL CONDITION AFTER THE GARDEN, STEM AND PRIVACY WALLS HAVE BEEN CONSTRUCTED. THE INTERIM CONDITION, WHICH IS TO BE CONSTRUCTED BY THE GRADING CONTRACTOR AND CERTIFIED BY THE ENGINEER, IS REPRESENTED BY THE SOLID LINES. RETAINING WALLS WILL BE CONSTRUCTED PRIOR TO GRADING CERTIFICATION.

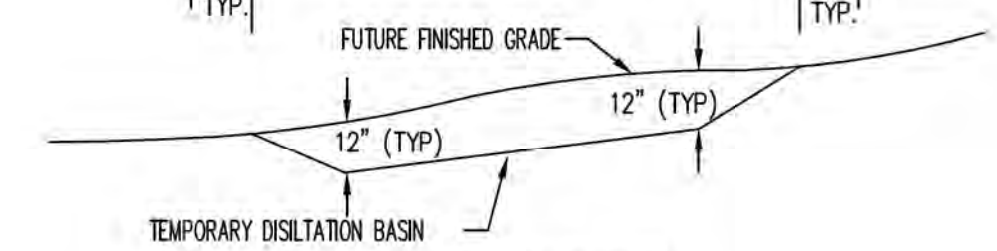


TEMPORARY DESILTATION BASIN
NOT TO SCALE

** BOTTOM OF BASIN IS 1' BELOW PROPERTY LINE ELEVATION SEE GRADING PLANS FOR EXACT ELEVATIONS



TEMPORARY DESILTATION SECTION A-A
NOT TO SCALE



TEMPORARY DESILTATION SECTION B-B
NOT TO SCALE

GENERAL NOTES

- ALL WORK DETAILED ON THESE PLANS AND PERFORMED UNDER THIS CONTRACT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND THE PROJECT GEOTECHNICAL REPORT. WHERE APPLICABLE, CITY OF ALBUQUERQUE PUBLIC WORKS STANDARDS SHALL APPLY.
- THE CONTRACTOR SHALL ABIDE BY ALL LOCAL, STATE, AND FEDERAL LAWS, RULES AND REGULATIONS WHICH APPLY TO THE CONSTRUCTION OF THESE IMPROVEMENTS, INCLUDING EPA REQUIREMENTS WITH RESPECT TO STORM WATER DISCHARGE.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL POTENTIAL OBSTRUCTIONS INCLUDING ALL UNDERGROUND UTILITIES. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION OBSERVER OR ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR SHALL CONTACT LINE LOCATING SERVICE FOR LOCATION OF EXISTING UTILITIES.
- ALL ELECTRICAL, TELEPHONE, CABLE TV, GAS AND OTHER UTILITY LINES, CABLES, AND APPURTENANCES ENCOUNTERED DURING CONSTRUCTION THAT REQUIRE RELOCATION, SHALL BE COORDINATED WITH THAT UTILITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL NECESSARY UTILITY ADJUSTMENTS. NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR DELAYS OR INCONVENIENCES CAUSED BY UTILITY COMPANY WORK CREWS. THE CONTRACTOR MAY BE REQUIRED TO RESCHEDULE HIS ACTIVITIES TO ALLOW UTILITY CREWS TO PERFORM THEIR REQUIRED WORK.
- THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITY LINES WITHIN THE CONSTRUCTION AREA. ANY DAMAGE TO EXISTING FACILITIES CAUSED BY CONSTRUCTION ACTIVITY SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE AND APPROVED BY THE CONSTRUCTION OBSERVER.
- CONSTRUCTION ACTIVITY SHALL BE LIMITED TO THE PROPERTY AND/OR PROJECT LIMITS. ANY DAMAGE TO ADJACENT PROPERTIES RESULTING FROM THE CONSTRUCTION PROCESS SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE.
- OVERNIGHT PARKING OF CONSTRUCTION EQUIPMENT SHALL NOT OBSTRUCT DRIVEWAYS OR DESIGNATED TRAFFIC LANES. THE CONTRACTOR SHALL NOT STORE ANY EQUIPMENT OR MATERIAL WITHIN THE PUBLIC RIGHT-OF-WAY.
- THE CONTRACTOR SHALL OBTAIN ALL THE NECESSARY PERMITS FOR THE PROJECT PRIOR TO COMMENCING CONSTRUCTION (I.E., BARRICAADING, TOPSOIL DISTURBANCE, EXCAVATION PERMITS, EPA STORM WATER PERMITS, ETC.).
- ALL PROPERTY CORNERS DESTROYED DURING CONSTRUCTION SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE. ALL PROPERTY CORNERS MUST BE RESET BY A REGISTERED LAND SURVEYOR.
- THE CONTRACTOR SHALL PREPARE A CONSTRUCTION TRAFFIC CONTROL AND SIGNING PLAN AND OBTAIN APPROVAL OF SUCH PLAN FROM THE CITY OF ALBUQUERQUE, TRAFFIC ENGINEERING DEPARTMENT, PRIOR TO BEGINNING ANY CONSTRUCTION WORK ON OR ADJACENT TO EXISTING STREETS.
- ALL BARRICADES AND CONSTRUCTION SIGNING SHALL CONFORM TO APPLICABLE SECTIONS OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD), US DEPARTMENT OF TRANSPORTATION, LATEST EDITION.
- THE CONTRACTOR SHALL MAINTAIN ALL CONSTRUCTION BARRICADES AND SIGNING AT ALL TIMES. THE CONTRACTOR SHALL VERIFY THE PROPER LOCATION OF ALL BARRICADE AT THE END AND BEGINNING OF EACH DAY.
- THE CONTRACTOR SHALL TAKE ALL STEPS NECESSARY TO CONFORM WITH EPA REQUIREMENTS, INCLUDING COMPLIANCE WITH NPDES PHASE 2 REQUIREMENTS.

GRADING NOTES

- EXCEPT AS PROVIDED HEREIN, GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.
- CONTRACTOR SHALL OBTAIN AND ABIDE BY A TOPSOIL DISTURBANCE PERMIT FROM THE CITY OF ALBUQUERQUE ENVIRONMENTAL HEALTH DIVISION, PRIOR TO CONSTRUCTION. THE COST FOR REQUIRED CONSTRUCTION DUST AND EROSION CONTROL MEASURES SHALL BE INCIDENTAL TO THE PROJECT COST. THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE, AND FEDERAL DUST CONTROL MEASURES AND REQUIREMENTS AND WILL BE RESPONSIBLE FOR PREPARING AND OBTAINING ALL NECESSARY APPLICATIONS AND APPROVALS.
- ALL WORK RELATIVE TO FOUNDATION CONSTRUCTION, SITE PREPARATION, AND PAVEMENT INSTALLATION, AS SHOWN ON THIS PLAN, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE SOILS REPORT PREPARED BY XBEVINYARD DATED JULY 22, 2013. ALL OTHER WORK, UNLESS OTHERWISE STATED OR PROVIDED FOR HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS (FIRST PRIORITY), AND/OR THE CITY OF ALBUQUERQUE (COA) STANDARD SPECIFICATIONS FOR PUBLIC WORKS (SECOND PRIORITY).
- TWO WORKING DAYS PRIOR TO EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE (765-1264) FOR LOCATION OF EXISTING UTILITIES.
- PRIOR TO GRADING, ALL VEGETATION DEBRIS, AND NEAR SURFACE ORGANICALLY CONTAMINATED SOIL SHALL BE STRIPPED FROM ALL AREAS TO BE GRADED. VEGETATION AND DEBRIS SHALL BE DISPOSED OF OFF-SITE OR STOCK-PILED FOR USE IN PLANTERS AND NON-STRUCTURAL FILLS.
- EARTH SLOPES SHALL NOT EXCEED 4 HORIZONTAL TO 1 VERTICAL UNLESS SHOWN OTHERWISE.
- IT IS THE INTENT OF THESE PLANS THAT THIS CONTRACTOR SHALL NOT PERFORM ANY WORK OUTSIDE OF THE PROPERTY BOUNDARIES EXCEPT AS REQUIRED BY THIS PLAN.
- THE CONTRACTOR IS TO ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO ADJACENT PROPERTY OR PUBLIC RIGHT-OF-WAY. THIS SHOULD BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS AT THE PROPERTY LINES WETTING THE SOIL TO PROTECT IT FROM WIND EROSION.
- A DISPOSAL SITE FOR ALL EXCESS EXCAVATION AND UNSUITABLE MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE OBSERVER. ALL COSTS INCURRED IN OBTAINING A DISPOSAL SITE AND HAUL THERE TO SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT, AND NO SEPARATE MEASUREMENT OR PAYMENT SHALL BE MADE.
- PAVING AND ROADWAY GRADES SHALL BE +/- 0.1' FROM PLAN ELEVATIONS. PAD ELEVATION SHALL BE +/- 0.05' FROM BUILDING PLAN ELEVATIONS.
- ALL SPOT ELEVATIONS ARE TO FLOWLINE UNLESS OTHERWISE NOTED. VALLEY GUTTER ELEVATIONS ARE SHOWN AT FLOWLINE ELEVATION.

Bohannon & Huston
www.bhinc.com 800.877.5332



CITY OF ALBUQUERQUE
DEPARTMENT OF MUNICIPAL DEVELOPMENT

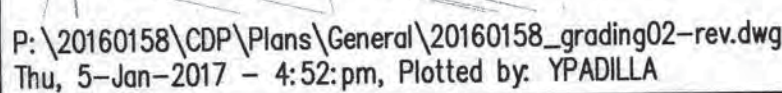
DEL WEBB @ MIREHAVEN PHASE 2
OVERALL GRADING PLAN

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	MO./DAY/YR.	MO./DAY/YR.
CITY PROJECT NO.	ZONE MAP NO.	SHEET	OF
		1	7

YOLANDA PADILLA MOYER, NMPE 16035, OF THE FIRM BOHANNAN HUSTON, HEREBY CERTIFY 142, 145-150, 153-157, 182 at DEL WEBB PHASE, HAVE BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED GRADING AND DRAINAGE PLAN DATED 03-11-16, REV#1 08/16 AND REV#2 01/17. THE RECORD INFORMATION EDITED onto the ORIGINAL DESIGN DOCUMENT HAS BEEN PROVIDED BY BRIAN J. MARTINEZ, NMPS 18374, OF CARTESIAN SURVEYS. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE 07/19/2018 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

YOLANDA PADILLA MOYER, NMPE 16035

DATE _____



PROPOSED SPOT ELEVATION ● 5235.25

EXISTING SPOT ELEVATION ● EX 5235.25

PROPOSED CONTOUR — 5025

EXISTING STORM DRAIN LINE — — — — —

PROPOSED STORM DRAIN INLET □

PROPOSED STORM DRAIN LINE — — — — —

PROPOSED STORM DRAIN MANHOLE ○

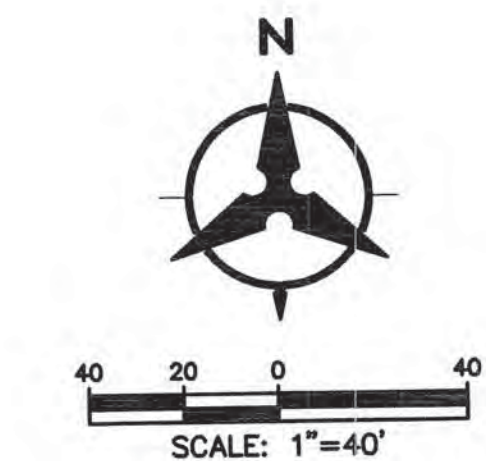
PROPOSED WATER BLOCK ~~~~~

RETAINING WALL —————

PAD P=5300.00

TURNED BLOCK TB

STREET SLOPE XX →



DEL WEBB @ MIREHAVEN PHASE 2
GRADING PLAN

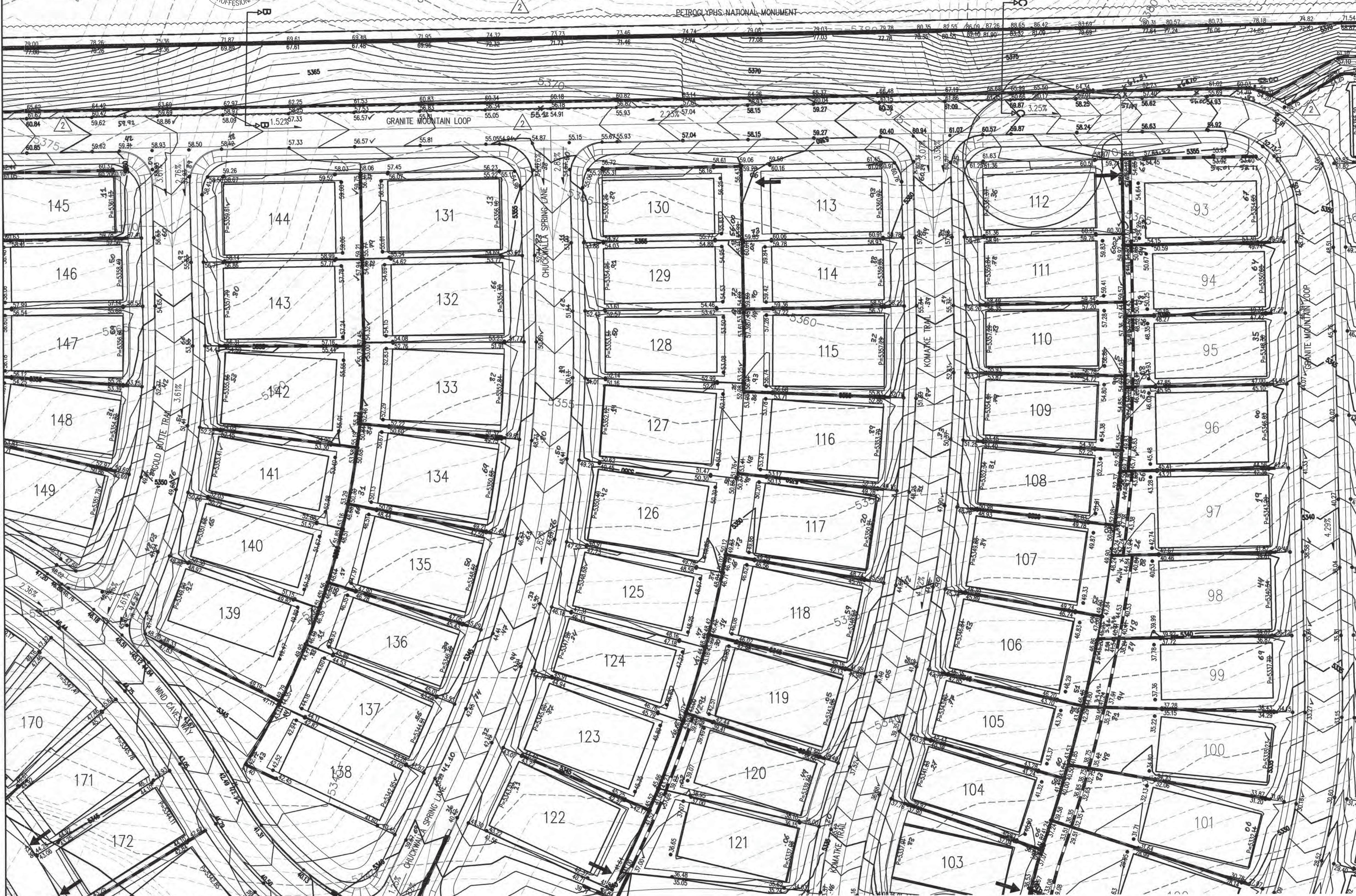
DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	LAST DESIGN UPDATE	MO./DAY/YR.	
CITY PROJECT NO.		ZONE MAP NO.	SHEET	OF
			2	7

GRADING AND DRAINAGE CERTIFICATION

I, YOLANDA PADILLA MOYER, NMPE 16035, OF THE FIRM BOHANNAN HUSTON, HEREBY CERTIFY 142, 145-150, 153-157, 182 at DEL WEBB PHASE 2B, HAVE BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED GRADING AND DRAINAGE PLAN DATED 03-11-16, REV#1 0816 AND REV#2 0117. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN PROVIDED BY BRIAN J. MARTINEZ, NMPS 18374, OF CARTESIAN SURVEYS. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE 07/19/2018 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

Yolanda Padilla Moyer
YOLANDA PADILLA MOYER, NMPE 16035
DATE 07/20/2018
NEW MEXICO
16035
LICENSED PROFESSIONAL ENGINEER



P:\20160158\CDP\Plans\General\20160158_grading02-rev.dwg
Thu, 5-Jan-2017 - 4:53:pm, Plotted by: YPADILLA

BHI JOB NO. 20160158

- LEGEND**
- PROPOSED SPOT ELEVATION • 5235.25
 - EXISTING SPOT ELEVATION • EX 5235.25
 - PROPOSED CONTOUR --- 5025 ---
 - EXISTING STORM DRAIN LINE - - - - -
 - PROPOSED STORM DRAIN INLET □
 - PROPOSED STORM DRAIN LINE = = = = =
 - PROPOSED STORM DRAIN MANHOLE ○
 - PROPOSED WATER BLOCK [Symbol]
 - RETAINING WALL [Symbol]
 - PAD [Symbol]
 - TURNED BLOCK [Symbol]
 - STREET SLOPE [Symbol]

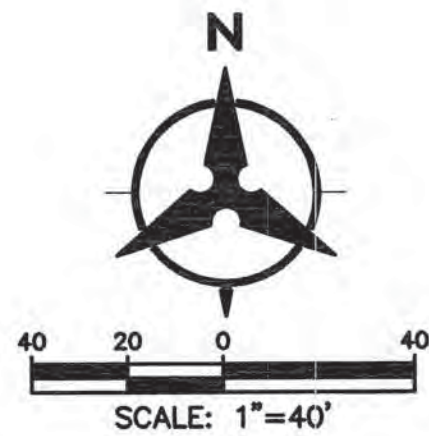
CONTRACTOR SHALL INSTALL 7" WIDE 1' DEEP SWALE ALONG THE NORTHSIDE OF MIREHAVEN ARROYO MAINTENANCE ROAD FROM LOT 158 TO PEDESTRIAN TRAIL BETWEEN LOTS 166/167, AN 8" WIDE 1' DEEP SWALE FROM LOT 167 TO THE PEDESTRIAN TRAIL BETWEEN LOTS 174/175 AND A 12" WIDE 1.5' DEEP SWALE FROM LOT 175 TO POND WEST OF WILLOW CANYON.

CONTRACTOR SHALL INSTALL 8" WIDE 1' DEEP SWALE ALONG THE NORTHSIDE OF MIREHAVEN ARROYO MAINTENANCE ROAD FROM LOT 1 TO POND BEHIND LOT 15.

CONTRACTOR SHALL INSTALL 7" WIDE 1' DEEP SWALE ALONG THE BACKSIDE OF LOT 23 TO LOT 27 AND FROM THE POND AT LOT 16 TO LOT 22.

SWALE LOCATION VARIES BEHIND LOTS 9-11 AND 172-174. SEE PLAN FOR LOCATION

SWALE SHALL BE 12" OF 95% COMPACTION WITH FILTER FABRIC AND 1" TO 2" FRACTURED COBBLE



Bohannon & Huston
www.bhinc.com 800.877.5332

CITY OF ALBUQUERQUE
DEPARTMENT OF
MUNICIPAL DEVELOPMENT
DEL WEBB @ MIREHAVEN PHASE 2
GRADING PLAN

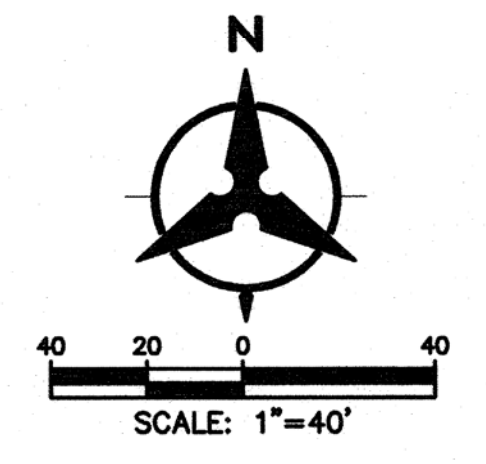
DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	MO./DAY/YR.	MO./DAY/YR.
CITY PROJECT NO.	ZONE MAP NO.	SHEET 3 OF 7	

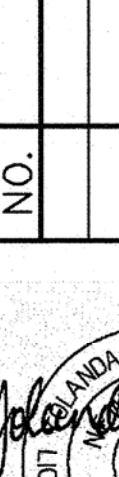
AS-BUILT INFORMATION			
CONTRACTOR	WORK DATE	DATE	DATE
BY	DATE	DATE	DATE
ACCEPTANCE BY	DATE	DATE	DATE
FIELD DRAWINGS	DATE	DATE	DATE
CORRECTION BY	DATE	DATE	DATE
MICRO-FILM INFORMATION			
GROUND TO GRID	N=1491190.819	DATE	DATE
DELTA ALPHA	= -001712.26"	DATE	DATE
NAVD 1988 ELEVATION	= 5319.688	DATE	DATE

SURVEY INFORMATION	
FIELD NOTES	DATE
NO.	BY

ENGINEER'S SEAL
Yolanda Padilla Moyer
16035
LICENSED PROFESSIONAL ENGINEER

REVISIONS	YPM
DESIGN	BY
DATE	DATE
NO.	DATE
DESIGNED BY	DATE
DRAWN BY	DATE
CHECKED BY	DATE



			ENGINEER'S SEAL	SURVEY INFORMATION			BENCH MARKS		AS-BUILT INFORMATION	
				FIELD NOTES						
				NO.	BY	DATE				
Δ	01/17	REMOVED NORTH GRADING/RETAINING WALLS		YPM			USC&GS BRASS DISC STAMPED "REWARD 1969"		CONTRACTOR	
Δ	08/16	LOTS 58-67 DRAIN TO WOODS WASH TR	YPM			GEOGRAPHIC POSITION (NAD 83)		STARTED BY		
		REMARKS	BY			N.M. STATE PLANE COORDINATES		INSPECTOR		
NO. DATE						(CENTRAL ZONE)		FIELD		
		REVISIONS				N=1487364.063 E=1491190.819		VERIFICATION BY		
						GROUND TO GRID = 0.999675005		CORRECTED BY		
		DESIGN				DELTA ALPHA = -001712.26"		MICRO-FILM INFORMATION		
DESIGNED BY	YPM	DATE 01/2016				NAVD 1988 ELEVATION = 5319.688		RECORDED BY		
DRAWN BY	AR	DATE 01/2016						NO.		
CHECKED BY	YPM	DATE 01/2016								



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 3/2018)

Project Title: DEL WEBB @ MIREHAVEN PHASE 2B Building Permit #: _____ Hydrology File #: H-9
DRB#: 1006864 EPC#: _____ Work Order#: 650480
Legal Description: Del Webb Phase 2B at Mirehaven
City Address: _____

Applicant: BOHANNAN HUSTON INC Contact: Yolanda Moyer
Address: 7500 JEFFERSON ST NE COURTYARD 1 ALBUQUERQUE NM 87109
Phone#: 798-7945 Fax#: 798-7988 E-mail: ypadilla@bhinc.com
Other Contact: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

Check all that Apply:

IS THIS A RESUBMITTAL?: ____ Yes ☒ No

DEPARTMENT:

☒ HYDROLOGY/ DRAINAGE
____ TRAFFIC/ TRANSPORTATION

TYPE OF SUBMITTAL:

☒ ENGINEER/ARCHITECT CERTIFICATION
____ PAD CERTIFICATION
____ CONCEPTUAL G & D PLAN
____ GRADING PLAN
____ DRAINAGE MASTER PLAN
____ DRAINAGE REPORT
____ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
____ ELEVATION CERTIFICATE
____ CLOMR/LOMR
____ TRAFFIC CIRCULATION LAYOUT (TCL)
____ TRAFFIC IMPACT STUDY (TIS)
____ OTHER (SPECIFY) _____
____ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

____ BUILDING PERMIT APPROVAL
____ CERTIFICATE OF OCCUPANCY
____ PRELIMINARY PLAT APPROVAL
____ SITE PLAN FOR SUB'D APPROVAL
____ SITE PLAN FOR BLDG. PERMIT APPROVAL
____ FINAL PLAT APPROVAL
____ SIA/ RELEASE OF FINANCIAL GUARANTEE
____ FOUNDATION PERMIT APPROVAL
____ GRADING PERMIT APPROVAL
____ SO-19 APPROVAL
____ PAVING PERMIT APPROVAL
☒ GRADING/ PAD CERTIFICATION (13 Lots)
____ WORK ORDER APPROVAL
____ CLOMR/LOMR
____ FLOODPLAIN DEVELOPMENT PERMIT
____ OTHER (SPECIFY) _____

DATE SUBMITTED: 07-20-2018 By: YOLANDA PADILLA MOYER, P.E.

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____

July 20, 2018

Mr. Dana Peterson
Hydrology Section
City of Albuquerque
600 2nd Street NW
Albuquerque, NM 87102

Re: Partial Grading and Drainage Certification (Lots 142, 145-150, 153-157, 182) Del Webb @
Mirehaven Phase 2B - DRB Case No. 1006864

Dear Dana:

We are submitting a partial grading and drainage certification for Del Webb @ Mirehaven Phase 2B. The partial certification includes Lots 142, 145-150, 153-157, 182. Enclosed for your review is the approved grading and drainage plan dated 03/11/16, rev #1 08/16, rev#2 01/17. These lots have been graded; retaining walls, curb and gutter, pavement and downstream infrastructure have been constructed. The remaining lots have been graded, but the retaining walls have not been completed. The remaining lots will be certified once construction of all improvements has been completed.

After reviewing these as-built elevations and visiting the site on 07-19-18. It is my belief that the above lots have been graded in substantial compliance with the approved grading and drainage plan and that the interim drainage improvements allow runoff to be managed in the interim condition.

Your review and approval is requested for Building Permit Approval for the above listed buildings. I appreciate your time and consideration. If you have questions or require additional information, please contact me at 823-1000.

Sincerely,



Yolanda Padilla Moyer, P.E.
Senior Project Manager
Community Development & Planning

Enclosure

cc: Kevin Patton, Pulte Homes

Engineering ▲

Spatial Data ▲

Advanced Technologies ▲