

CITY OF ALBUQUERQUE



August 21, 2017

Yolanda Padilla Moyer, P.E.
Bohannon Huston
7601 Jefferson NE, Suite 100
Albuquerque, NM 87109

**RE: Del Webb @ Mirehaven Phase 2A
Grading & Drainage Plan Revision 4
Engineer's Stamp Date 3-11-16 (Rev. 4 Date: 08/17)
Hydrology File: H09D017F**

Dear Ms. Padilla-Moyer:

Based upon the information provided in your submittal received 8/16/17, the above-referenced project cannot be re-approved until the following are addressed:

1. An Engineer Certified Addendum to the Drainage Report is required to support the new drainage pattern. The following should be addressed:
 - a. Proposed Basin Map: Basin G.5 will now drain into G.6
 - b. Geometry and hydraulic capacity of the new swale adjacent to lot 22.
 - c. Hydraulic capacity of the swale behind lots 16-22, accounting for the additional flow from G.5. This swale may need to be upsized.

Engineer's Certification will be required prior to Pad Certification/Release of Financial Guarantee per the DPM Checklist. If you have any questions, you can contact me at 924-3695 or dpeterson@cabq.gov.

Sincerely,

Dana Peterson, P.E.
Senior Engineer, Planning Dept.
Development Review Services



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

Project Title: DEL WEBB @ MIREHAVEN PHASE 2A **Building Permit #:** _____ **City Drainage #:** H-8/H-9
DRB#: 10006864 **EPC#:** _____ **Work Order#:** 650388
Legal Description: DEL WEBB @ MIREHAVEN PHASE 2A (A REPLAT OF TRACT N-2-A-1 & TRACT M OF WATERSHED)
City Address: _____

Engineering Firm: BOHANNAN HUSTON INC **Contact:** Yolanda Moyer
Address: 7500 JEFFERSON ST NE COURTYARD 1 ALBUQUERQUE NM 87109
Phone#: 823-1000 **Fax#:** _____ **E-mail:** ypadilla@bhinc.com

Owner: PULTE **Contact:** KEVIN PATTON
Address: 7601 JEFFERSON STREET NE SUITE 310 ALBUQ. NM 87109
Phone#: 505-341-8591 **Fax#:** _____ **E-mail:** kevin.patton@pultegroup.com

Architect: _____ **Contact:** _____
Address: _____
Phone#: _____ **Fax#:** _____ **E-mail:** _____

Other Contact: _____ **Contact:** _____
Address: _____
Phone#: _____ **Fax#:** _____ **E-mail:** _____

Check all that Apply:

DEPARTMENT:

- HYDROLOGY/ DRAINAGE
- TRAFFIC/ TRANSPORTATION
- MS4/ EROSION & SEDIMENT CONTROL

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- BUILDING PERMIT APPROVAL
- CERTIFICATE OF OCCUPANCY
- PRELIMINARY PLAT APPROVAL
- SITE PLAN FOR SUB'D APPROVAL
- SITE PLAN FOR BLDG. PERMIT APPROVAL
- FINAL PLAT APPROVAL
- SIA/ RELEASE OF FINANCIAL GUARANTEE
- FOUNDATION PERMIT APPROVAL
- GRADING PERMIT APPROVAL
- SO-19 APPROVAL
- PAVING PERMIT APPROVAL
- GRADING/ PAD CERTIFICATION
- WORK ORDER APPROVAL
- CLOMR/LOMR
- PRE-DESIGN MEETING
- OTHER (SPECIFY) _____

TYPE OF SUBMITTAL:

- ENGINEER/ ARCHITECT CERTIFICATION
- CONCEPTUAL G & D PLAN
- GRADING PLAN
- DRAINAGE MASTER PLAN
- DRAINAGE REPORT
- CLOMR/LOMR
- TRAFFIC CIRCULATION LAYOUT (TCL)
- TRAFFIC IMPACT STUDY (TIS)
- EROSION & SEDIMENT CONTROL PLAN (ESC)
- OTHER (SPECIFY) Revision to existing approved plan

IS THIS A RESUBMITTAL?: Yes No

DATE SUBMITTED: 08-15-17 By: YOLANDA PADILLA MOYER, P.E.

COA STAFF: _____ ELECTRONIC SUBMITTAL RECEIVED: _____

August 15, 2017

Mr. Doug Hughes, P.E.
City of Albuquerque
600 2nd Street NW
Albuquerque, NM 87102

Re: Revised Grading and Drainage Plan, Del Webb @ Mirehaven, Phase 2A
DRB Case No. 1006864

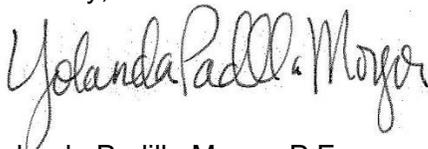
Dear Doug:

Please find enclosed design revision #4 to the approved grading and drainage plan for Phase 2A of the above referenced project.

The revision consists of adding a swale along the eastside of Lot 22 to convey the flow from lots 23-27 to the swale behind lots 16-22 and down to the pond located at the southern corner of the development as should on Sheet 7 of 7.

Please find enclosed the revised grading plan. We are requesting your review and approval. I appreciate your time and consideration. If you have questions or require additional information, please contact me at 823-1000.

Sincerely,



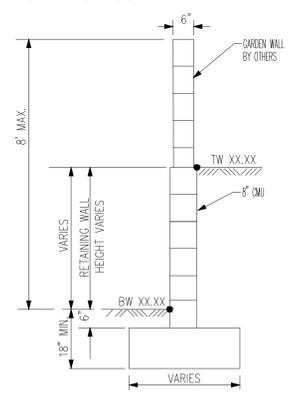
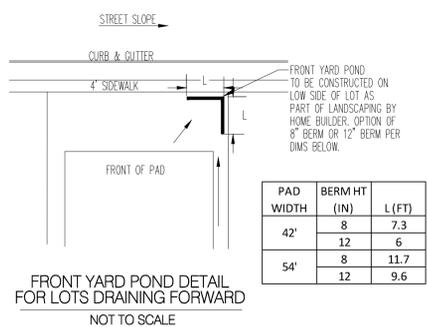
Yolanda Padilla Moyer, P.E.
Senior Project Manager
Community Development & Planning

Enclosure

cc: Kevin Patton, Pulte Homes

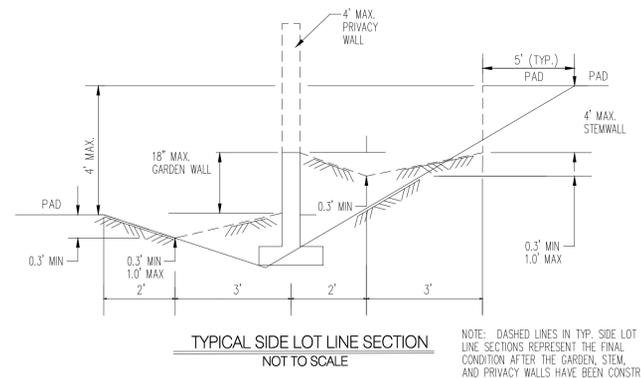


FOR WALL CROSS SECTIONS SEE SHEET 7.



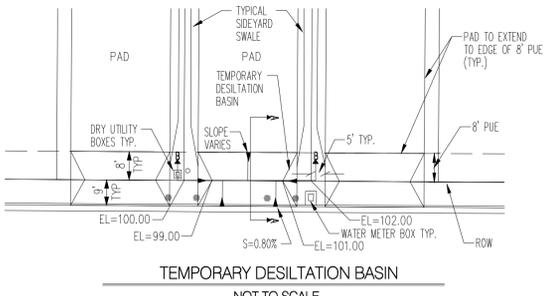
TW=FINISHED GRADE ELEVATION AT TOP OF RETAINING WALL
 BW=FINISHED GRADE ELEVATION AT BOTTOM OF RETAINING WALL
TYPICAL RETAINING WALL NOMENCLATURE
 NOT TO SCALE

(RETAINING HEIGHT IS TAKEN TO BE DIFFERENCE IN FINISHED GRADES ON LEFT AND RIGHT SIDE OF WALL.)
 HEIGHT IS IN ACCORDANCE WITH CITY COMPREHENSIVE ZONING CODE, SECTION 14-16-3-19, GENERAL HEIGHT AND DESIGN REGULATIONS FOR WALLS, FENCES, AND RETAINING WALLS.



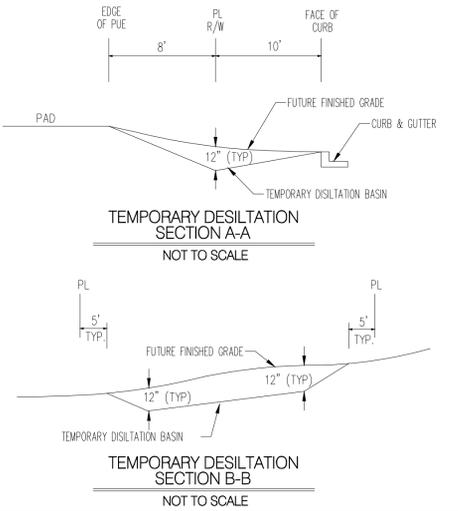
TYPICAL SIDE LOT LINE SECTION
 NOT TO SCALE

NOTE: DASHED LINES IN TYP. SIDE LOT LINE SECTIONS REPRESENT THE FINAL CONDITION AFTER THE GARDEN, STEM AND PRIVACY WALLS HAVE BEEN CONSTRUCTED. THE INTERMEDIATE CONDITION, WHICH IS TO BE CONSTRUCTED BY THE GRADING CONTRACTOR AND CERTIFIED BY THE ENGINEER, IS REPRESENTED BY THE SOLID LINES. RETAINING WALLS WILL BE CONSTRUCTED PRIOR TO GRADING CERTIFICATION.



TEMPORARY DESILTATION BASIN
 NOT TO SCALE

** BOTTOM OF BASIN IS 1' BELOW PROPERTY LINE ELEVATION SEE GRADING PLANS FOR EXACT ELEVATIONS



TEMPORARY DESILTATION SECTION A-A
 NOT TO SCALE

TEMPORARY DESILTATION SECTION B-B
 NOT TO SCALE

LEGEND

- PROPOSED SPOT ELEVATION ● 5235.25
- EXISTING SPOT ELEVATION ● EX 5235.25
- PROPOSED CONTOUR --- 5025
- EXISTING STORM DRAIN LINE - - - - -
- PROPOSED STORM DRAIN INLET □
- PROPOSED STORM DRAIN MANHOLE ○
- PROPOSED WATER BLOCK [Symbol]
- RETAINING WALL [Symbol]
- PAD [Symbol]
- TURNED BLOCK [Symbol]
- STREET SLOPE [Symbol]

GENERAL NOTES

- ALL WORK DETAILED ON THESE PLANS AND PERFORMED UNDER THIS CONTRACT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND THE PROJECT GEOTECHNICAL REPORT. WHERE APPLICABLE, CITY OF ALBUQUERQUE PUBLIC WORKS STANDARDS SHALL APPLY.
- THE CONTRACTOR SHALL ABIDE BY ALL LOCAL, STATE, AND FEDERAL LAWS, RULES AND REGULATIONS WHICH APPLY TO THE CONSTRUCTION OF THESE IMPROVEMENTS, INCLUDING EPA REQUIREMENTS WITH RESPECT TO STORM WATER DISCHARGE.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL POTENTIAL OBSTRUCTIONS INCLUDING ALL UNDERGROUND UTILITIES. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION OBSERVER OR ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR SHALL CONTACT LINE LOCATING SERVICE FOR LOCATION OF EXISTING UTILITIES.
- ALL ELECTRICAL, TELEPHONE, CABLE TV, GAS AND OTHER UTILITY LINES, CABLES, AND APPURTENANCES ENCOUNTERED DURING CONSTRUCTION THAT REQUIRE RELOCATION, SHALL BE COORDINATED WITH THAT UTILITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL NECESSARY UTILITY ADJUSTMENTS. NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR DELAYS OR INCONVENIENCES CAUSED BY UTILITY COMPANY WORK CREWS. THE CONTRACTOR MAY BE REQUIRED TO RESCHEDULE HIS ACTIVITIES TO ALLOW UTILITY CREWS TO PERFORM THEIR REQUIRED WORK.
- THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITY LINES WITHIN THE CONSTRUCTION AREA. ANY DAMAGE TO EXISTING FACILITIES CAUSED BY CONSTRUCTION ACTIVITY SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE AND APPROVED BY THE CONSTRUCTION OBSERVER.
- CONSTRUCTION ACTIVITY SHALL BE LIMITED TO THE PROPERTY AND/OR PROJECT LIMITS. ANY DAMAGE TO ADJACENT PROPERTIES RESULTING FROM THE CONSTRUCTION PROCESS SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE.
- OVERNIGHT PARKING OF CONSTRUCTION EQUIPMENT SHALL NOT OBSTRUCT DRIVEWAYS OR DESIGNATED TRAFFIC LANES. THE CONTRACTOR SHALL NOT STORE ANY EQUIPMENT OR MATERIAL WITHIN THE PUBLIC RIGHT-OF-WAY.
- THE CONTRACTOR SHALL OBTAIN ALL THE NECESSARY PERMITS FOR THE PROJECT PRIOR TO COMMENCING CONSTRUCTION (I.E., BARRICADING, TOPSOIL DISTURBANCE, EXCAVATION PERMITS, EPA STORM WATER PERMITS, ETC.).
- ALL PROPERTY CORNERS DESTROYED DURING CONSTRUCTION SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE. ALL PROPERTY CORNERS MUST BE RESET BY A REGISTERED LAND SURVEYOR.
- THE CONTRACTOR SHALL PREPARE A CONSTRUCTION TRAFFIC CONTROL AND SIGNING PLAN AND OBTAIN APPROVAL OF SUCH PLAN FROM THE CITY OF ALBUQUERQUE, TRAFFIC ENGINEERING DEPARTMENT, PRIOR TO BEGINNING ANY CONSTRUCTION WORK ON OR ADJACENT TO EXISTING STREETS.
- ALL BARRICADES AND CONSTRUCTION SIGNING SHALL CONFORM TO APPLICABLE SECTIONS OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD), US DEPARTMENT OF TRANSPORTATION, LATEST EDITION.
- THE CONTRACTOR SHALL MAINTAIN ALL CONSTRUCTION BARRICADES AND SIGNING AT ALL TIMES. THE CONTRACTOR SHALL VERIFY THE PROPER LOCATION OF ALL BARRICADES AT THE END AND BEGINNING OF EACH DAY.
- THE CONTRACTOR SHALL TAKE ALL STEPS NECESSARY TO CONFORM WITH EPA REQUIREMENTS, INCLUDING COMPLIANCE WITH NPDES PHASE 2 REQUIREMENTS.

GRADING NOTES

- EXCEPT AS PROVIDED HEREIN, GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.
- CONTRACTOR SHALL OBTAIN AND ABIDE BY A TOPSOIL DISTURBANCE PERMIT FROM THE CITY OF ALBUQUERQUE ENVIRONMENTAL HEALTH DIVISION, PRIOR TO CONSTRUCTION. THE COST FOR REQUIRED CONSTRUCTION DUST AND EROSION CONTROL MEASURES SHALL BE INCIDENTAL TO THE PROJECT COST. THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE, AND FEDERAL DUST CONTROL MEASURES AND REQUIREMENTS AND WILL BE RESPONSIBLE FOR PREPARING AND OBTAINING ALL NECESSARY APPLICATIONS AND APPROVALS.
- ALL WORK RELATIVE TO FOUNDATION CONSTRUCTION, SITE PREPARATION, AND PAVEMENT INSTALLATION, AS SHOWN ON THIS PLAN, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE SOILS REPORT PREPARED BY XEROVIKARD DATED JULY 22, 2013. ALL OTHER WORK, UNLESS OTHERWISE STATED OR PROVIDED FOR HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS (FIRST PRIORITY), AND/OR THE CITY OF ALBUQUERQUE (CODA) STANDARD SPECIFICATIONS FOR PUBLIC WORKS (SECOND PRIORITY).
- TWO WORKING DAYS PRIOR TO EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE (765-1264) FOR LOCATION OF EXISTING UTILITIES.
- PRIOR TO GRADING, ALL VEGETATION DEBRIS, AND NEAR SURFACE ORGANICALLY CONTAMINATED SOIL SHALL BE STRIPPED FROM ALL AREAS TO BE GRADED. VEGETATION AND DEBRIS SHALL BE DISPOSED OF OFF-SITE OR STOCK-PILED FOR USE IN PLANTERS AND NON-STRUCTURAL FILLS.
- EARTH SLOPES SHALL NOT EXCEED 4 HORIZONTAL TO 1 VERTICAL UNLESS SHOWN OTHERWISE.
- IT IS THE INTENT OF THESE PLANS THAT THIS CONTRACTOR SHALL NOT PERFORM ANY WORK OUTSIDE OF THE PROPERTY BOUNDARIES EXCEPT AS REQUIRED BY THIS PLAN.
- THE CONTRACTOR IS TO ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO ADJACENT PROPERTY OR PUBLIC RIGHT-OF-WAY. THIS SHOULD BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS AT THE PROPERTY LINES WETTING THE SOIL TO PROTECT IT FROM WIND EROSION.
- A DISPOSAL SITE FOR ALL EXCESS EXCAVATION AND UNSUITABLE MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE OBSERVER. ALL COSTS INCURRED IN OBTAINING A DISPOSAL SITE AND HAUL THERE TO SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT, AND NO SEPARATE MEASUREMENT OR PAYMENT SHALL BE MADE.
- PAVING AND ROADWAY GRADES SHALL BE +/- 0.1' FROM PLAN ELEVATIONS. PAD ELEVATION SHALL BE +/- 0.05' FROM BUILDING PLAN ELEVATIONS.
- ALL SPOT ELEVATIONS ARE TO FLOWLINE UNLESS OTHERWISE NOTED. VALLEY GUTTER ELEVATIONS ARE SHOWN AT FLOWLINE ELEVATION.

SURVEY INFORMATION		FIELD NOTES		ENGINEER'S SEAL	
NO.	BY	NO.	DATE	YPM	REVISIONS
				04/17	LOT 34 SIDEYARD REVISION
				01/17	REVISED NORTH GRADING/RETAINING WALLS
				08/16	LOTS 58-67 DRAIN TO WOODS WASH TR.
					REMARKS
					DESIGN
					DATE: 01/2016
					DRAWN BY: AR
					CHECKED BY: YPM

Bohannon & Huston
 www.bhinc.com 800.877.5332

CITY OF ALBUQUERQUE
 DEPARTMENT OF MUNICIPAL DEVELOPMENT

DEL WEBB @ MIREHAVEN PHASE 2
 OVERALL GRADING PLAN

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	MO, DAY/YR	MO, DAY/YR
CITY PROJECT NO.	ZONE MAP NO.	SHEET 1 OF 7	



LEGEND

- PROPOSED SPOT ELEVATION ● 5235.25
- EXISTING SPOT ELEVATION ● EX 5235.25
- PROPOSED CONTOUR — 5025
- EXISTING STORM DRAIN LINE — — — —
- PROPOSED STORM DRAIN INLET □
- PROPOSED STORM DRAIN LINE — — — —
- PROPOSED STORM DRAIN MANHOLE ○
- PROPOSED WATER BLOCK — — — —
- RETAINING WALL — — — —
- PAD 10 P=5300.00
- TURNED BLOCK TB
- STREET SLOPE XX

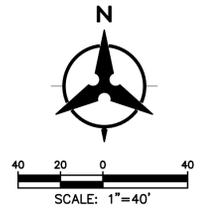
CONTRACTOR SHALL INSTALL 7' WIDE 1' DEEP SWALE ALONG THE NORTHSIDE OF MIREHAVEN ARROYO MAINTENANCE ROAD FROM LOT 158 TO PEDESTRIAN TRAIL BETWEEN LOTS 166/167, AN 8' WIDE 1' DEEP SWALE FROM LOT 167 TO THE PEDESTRIAN TRAIL BETWEEN LOTS 174/175 AND A 12' WIDE 1.5' DEEP SWALE FROM LOT 175 TO POND WEST OF WILLOW CANYON.

CONTRACTOR SHALL INSTALL 8' WIDE 1' DEEP SWALE ALONG THE NORTHSIDE OF MIREHAVEN ARROYO MAINTENANCE ROAD FROM LOT 1 TO POND BEHIND LOT 15.

CONTRACTOR SHALL INSTALL 7' WIDE 1' DEEP SWALE ALONG THE BACKSIDE OF LOT 23 TO LOT 27 AND FROM THE POND AT LOT 16 TO LOT 22.

SWALE LOCATION VARIES BEHIND LOTS 9-11 AND 172-174. SEE PLAN FOR LOCATION

SWALE SHALL BE 12" OF 95% COMPACTION WITH FILTER FABRIC AND 1" TO 2" FRACTURED COBBLE



Bohannon & Huston
www.bhinc.com 800.877.5332

CITY OF ALBUQUERQUE
DEPARTMENT OF MUNICIPAL DEVELOPMENT
DEL WEBB @ MIREHAVEN PHASE 2
GRADING PLAN

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	MO./DAY/YR.	MO./DAY/YR.
CITY PROJECT NO.		ZONE MAP NO.	SHEET 2 OF 7

AS-BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		ENGINEER'S SEAL	
CONTRACTOR	DATE	USC&GS BRASS DISC STAMPED "REWARD 1969"	DATE	NO.	BY		DESIGNED BY YPM DATE 01/2016 DRAWN BY AR DATE 01/2016 CHECKED BY YPM DATE 01/2016
INSPECTOR'S ACCEPTANCE BY	DATE	N.M. STATE PLANE COORDINATES (CENTRAL ZONE)	DATE				
DRAWINGS VERIFICATION BY	DATE						
MICRO-FILM INFORMATION							
RECORDED BY	DATE						
	DATE						



- LEGEND**
- PROPOSED SPOT ELEVATION ● 5235.25
 - EXISTING SPOT ELEVATION ● EX 5235.25
 - PROPOSED CONTOUR - - - - - 5025
 - EXISTING STORM DRAIN LINE - - - - -
 - PROPOSED STORM DRAIN INLET □
 - PROPOSED STORM DRAIN LINE ————
 - PROPOSED STORM DRAIN MANHOLE ○
 - PROPOSED WATER BLOCK ~~~~~
 - RETAINING WALL [Symbol]
 - PAD [Symbol]
 - TURNED BLOCK [Symbol]
 - STREET SLOPE [Symbol]

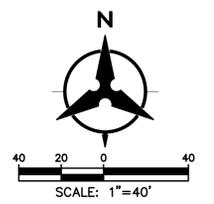
CONTRACTOR SHALL INSTALL 7" WIDE 1' DEEP SWALE ALONG THE NORTHSIDE OF MIREHAVEN ARROYO MAINTENANCE ROAD FROM LOT 158 TO PEDESTRIAN TRAIL BETWEEN LOTS 166/167, AN 8" WIDE 1' DEEP SWALE FROM LOT 167 TO THE PEDESTRIAN TRAIL BETWEEN LOTS 174/175 AND A 12" WIDE 1.5' DEEP SWALE FROM LOT 175 TO POND WEST OF WILLOW CANYON.

CONTRACTOR SHALL INSTALL 8" WIDE 1' DEEP SWALE ALONG THE NORTHSIDE OF MIREHAVEN ARROYO MAINTENANCE ROAD FROM LOT 1 TO POND BEHIND LOT 15.

CONTRACTOR SHALL INSTALL 7" WIDE 1' DEEP SWALE ALONG THE BACKSIDE OF LOT 23 TO LOT 27 AND FROM THE POND AT LOT 16 TO LOT 22.

SWALE LOCATION VARIES BEHIND LOTS 9-11 AND 172-174. SEE PLAN FOR LOCATION

SWALE SHALL BE 12" OF 95% COMPACTION WITH FILTER FABRIC AND 1" TO 2" FRACTURED COBBLE



Bohannon & Huston
 www.bhinc.com 800.877.5332

CITY OF ALBUQUERQUE DEPARTMENT OF MUNICIPAL DEVELOPMENT DEL WEBB @ MIREHAVEN PHASE 2 GRADING PLAN		DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	MO./DAY/YR.	MO./DAY/YR.
		LAST DESIGN UPDATE			
CITY PROJECT NO.	ZONE MAP NO.	SHEET	OF		
		5	7		

SURVEY INFORMATION		FIELD NOTES		ENGINEER'S SEAL	
NO.	BY	NO.	BY		
CONTRACTOR BY: REWARD 1969 INSPECTOR'S ACCEPTANCE BY: (NAD 83) N.M. STATE PLANE COORDINATES (CENTRAL ZONE) N=1487364.063 E=1491190.819 GROUND TO GRID = 0.999675005 DELTA ALPHA = -007712.26" NAVD 1988 ELEVATION = 5319.688		REVISIONS DESIGN		DESIGNED BY: YPM	DATE 01/2016
BENCH MARKS USC&GS BRASS DISC STAMPED "REWARD 1969"		AS-BUILT INFORMATION CONTRACTOR DATE INSPECTOR'S ACCEPTANCE BY DATE VERIFICATION BY DATE DRAWINGS PREPARED BY DATE MICRO-FILM INFORMATION RECORDED BY DATE		DRAWN BY: AR	DATE 01/2016
PAD TURNED BLOCK STREET SLOPE		SURVEY INFORMATION NO. BY		CHECKED BY: YPM	DATE 01/2016

P: \\20160158\CDP\Plans\General\20160158_grading02-rev.dwg
 Thu, 5-Jan-2017 - 4:54:pm, Plotted by: YPADILLA



LEGEND

- PROPOSED SPOT ELEVATION ● 5235.25
- EXISTING SPOT ELEVATION ● EX 5235.25
- PROPOSED CONTOUR --- 5025
- EXISTING STORM DRAIN LINE - - - - -
- PROPOSED STORM DRAIN INLET □
- PROPOSED STORM DRAIN LINE ———
- PROPOSED STORM DRAIN MANHOLE ○
- PROPOSED WATER BLOCK ○
- RETAINING WALL [Symbol]
- PAD [Symbol]
- TURNED BLOCK [Symbol]
- STREET SLOPE [Symbol]

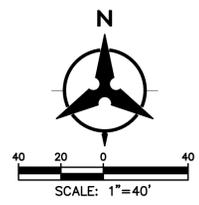
CONTRACTOR SHALL INSTALL 7" WIDE 1' DEEP SWALE ALONG THE NORTHSIDE OF MIREHAVEN ARROYO MAINTENANCE ROAD FROM LOT 158 TO PEDESTRIAN TRAIL BETWEEN LOTS 166/167. AN 8" WIDE 1' DEEP SWALE FROM LOT 167 TO THE PEDESTRIAN TRAIL BETWEEN LOTS 174/175 AND A 12" WIDE 1.5' DEEP SWALE FROM LOT 175 TO POND WEST OF WILLOW CANYON.

CONTRACTOR SHALL INSTALL 8" WIDE 1' DEEP SWALE ALONG THE NORTHSIDE OF MIREHAVEN ARROYO MAINTENANCE ROAD FROM LOT 1 TO POND BEHIND LOT 15.

CONTRACTOR SHALL INSTALL 7" WIDE 1' DEEP SWALE ALONG THE BACKSIDE OF LOT 23 TO LOT 27 AND FROM THE POND AT LOT 16 TO LOT 22.

SWALE LOCATION VARIES BEHIND LOTS 9-11 AND 172-174. SEE PLAN FOR LOCATION

SWALE SHALL BE 12" OF 95% COMPACTION WITH FILTER FABRIC AND 1" TO 2" FRACTURED COBBLE



Bohannon & Huston
www.bhinc.com 800.877.5332

CITY OF ALBUQUERQUE
DEPARTMENT OF MUNICIPAL DEVELOPMENT
DEL WEBB @ MIREHAVEN PHASE 2
GRADING PLAN

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	MO./DAY/YR.	MO./DAY/YR.
CITY PROJECT NO.		ZONE MAP NO.	SHEET 6 OF 7

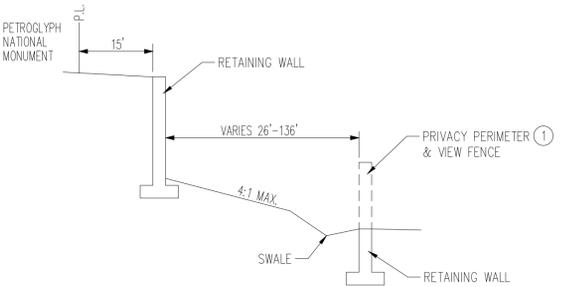
AS-BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION	
CONTRACTOR	DATE	US&GS BRASS DISC STAMPED "REWARD 1969"	DATE	NO.	BY
INSPECTOR'S ACCEPTANCE BY	DATE	GEOGRAPHIC POSITION (NAD 83)	DATE		
DRAWING VERIFICATION BY	DATE	N.M. STATE PLANE COORDINATES (CENTRAL ZONE)			
DRAWING DATE		GROUND TO GRID = 0.999675005			
		DELTA ALPHA = -007712.26"			
		NAVD 1988 ELEVATION = 5319.688			



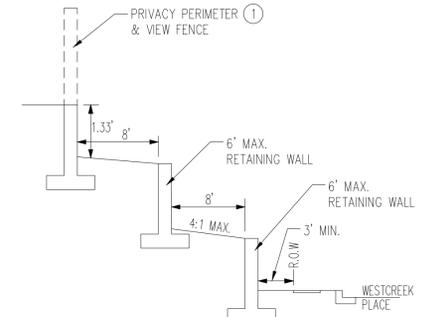
REVISIONS	BY	DATE
DESIGN	YPM	01/01/2016
	AR	01/01/2016
	YPM	01/01/2016



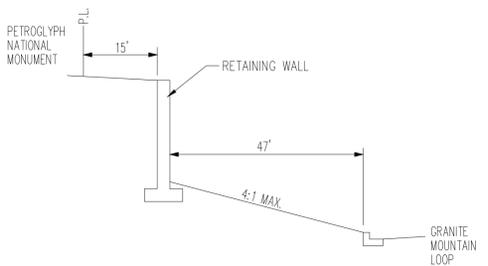
- LEGEND**
- PROPOSED SPOT ELEVATION ● 5235.25
 - EXISTING SPOT ELEVATION ● EX 5235.25
 - PROPOSED CONTOUR - - - 5025
 - EXISTING STORM DRAIN LINE - - - - -
 - PROPOSED STORM DRAIN INLET □
 - PROPOSED STORM DRAIN LINE ———
 - PROPOSED STORM DRAIN MANHOLE ○
 - PROPOSED WATER BLOCK [Symbol]
 - RETAINING WALL [Symbol]
 - PAD [Symbol]
 - TURNED BLOCK [Symbol]
 - STREET SLOPE [Symbol]



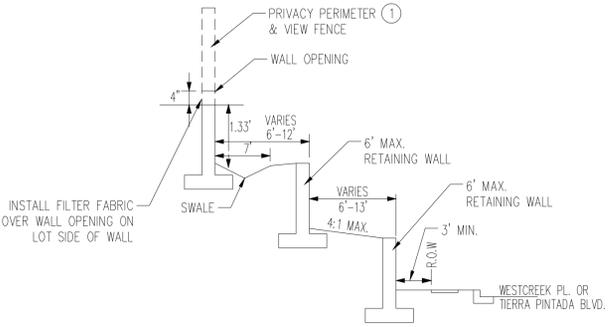
TYPICAL CROSS SECTION A-A
NOT TO SCALE



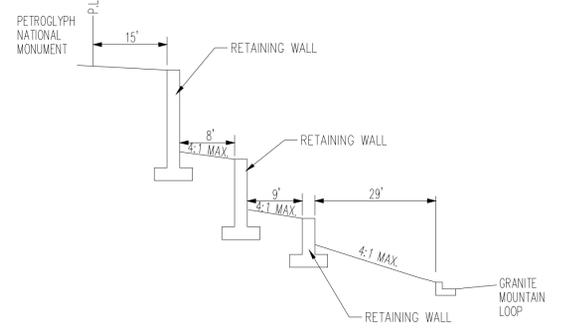
TYPICAL CROSS SECTION E-E
NOT TO SCALE



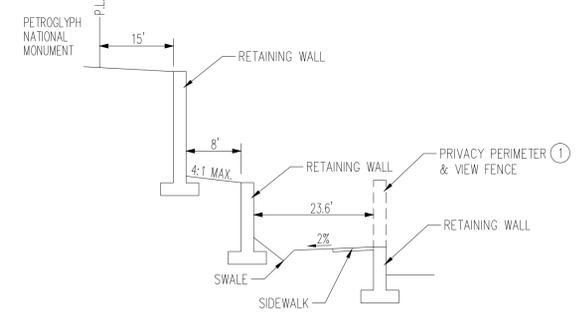
TYPICAL CROSS SECTION B-B
NOT TO SCALE



TYPICAL CROSS SECTION F-F
NOT TO SCALE



TYPICAL CROSS SECTION C-C
NOT TO SCALE



TYPICAL CROSS SECTION D-D
NOT TO SCALE

CONTRACTOR SHALL INSTALL 7' WIDE 1' DEEP SWALE ALONG THE NORTHSIDE OF MIREHAVEN ARROYO MAINTENANCE ROAD FROM LOT 158 TO PEDESTRIAN TRAIL BETWEEN LOTS 166/167. AN 8' WIDE 1' DEEP SWALE FROM LOT 167 TO THE PEDESTRIAN TRAIL BETWEEN LOTS 174/175 AND A 9' WIDE 1' DEEP SWALE FROM LOT 167 TO POND WEST OF WILLOW CANYON.

CONTRACTOR SHALL INSTALL 8' WIDE 1' DEEP SWALE ALONG THE NORTHSIDE OF MIREHAVEN ARROYO MAINTENANCE ROAD FROM LOT 1 TO POND BEHIND LOT 15.

CONTRACTOR SHALL INSTALL 7' WIDE 1' DEEP SWALE ALONG THE BACKSIDE OF LOT 23 TO LOT 27 AND FROM THE POND AT LOT 16 TO LOT 22.

SWALE LOCATION VARIES BEHIND LOTS 9-11 AND 172-174. SEE PLAN FOR LOCATION

SWALE SHALL BE 12" OF 95% COMPACTION WITH FILTER FABRIC AND 1" TO 2" FRACTURED COBBLE.

CONTRACTOR SHALL INSTALL 5' WIDE 1' DEEP SWALE ALONG THE NORTH EAST SIDE OF LOT 22 FROM LOT 23 TO LOT 22.

KEYED NOTE

① PRIVACY WALL HEIGHT WILL BE 4'-5' IF PRIVATE SIDE GRADE IS HIGHER (4' MAX) THAN ADJACENT PUBLIC SIDE GRADE. FOR A TOTAL OF 8' MAX WALL FROM THE PUBLIC SIDE. PRIVACY WALL WILL BE 6' MAX. IF PRIVATE SIDE GRADE IS LOWER THAN ADJACENT PUBLIC GRADE.

BENCH MARKS		AS-BUILT INFORMATION	
JUS&GS BRASS DISC STAMPED "REWARD 1969"	CONTRACTOR DATE	CONTRACTOR DATE	DATE
GEOGRAPHIC POSITION (NAD 83)	INSPECTOR'S DATE	INSPECTOR'S DATE	DATE
N.M. STATE PLANE COORDINATES (CENTRAL ZONE)	ACCEPTANCE BY DATE	ACCEPTANCE BY DATE	DATE
N=1487364.063 E=149190.819	DRAWINGS BY	DRAWINGS BY	DATE
GROUND TO GRID = 0.999675005	VERIFICATION BY	VERIFICATION BY	DATE
DELTA ALPHA = -007712.26"	MICRO-FILM INFORMATION	MICRO-FILM INFORMATION	DATE
NAVD 1988 ELEVATION = 5319.688	RECORDED BY	RECORDED BY	DATE
	NO.	NO.	DATE
	BY	BY	DATE
	REVISIONS	REVISIONS	DATE
	DESIGN	DESIGN	DATE
	YPM	YPM	DATE
	BY	BY	DATE
	NO. DATE	NO. DATE	DATE
	DESIGNED BY YPM	DESIGNED BY YPM	DATE
	DRAWN BY AR	DRAWN BY AR	DATE
	CHECKED BY YPM	CHECKED BY YPM	DATE

Bohannon & Huston
www.bhinc.com 800.877.5332

CITY OF ALBUQUERQUE
DEPARTMENT OF MUNICIPAL DEVELOPMENT

DEL WEBB @ MIREHAVEN PHASE 2
GRADING PLAN

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	MO, DAY, YR.	MO, DAY, YR.
CITY PROJECT NO.	ZONE MAP NO.	SHEET 7 OF 7	