

CITY OF ALBUQUERQUE



April 7, 2017

Yolanda Padilla-Moyer, PE
Bohannon-Huston
7500 Jefferson St NE Courtyard I
Albuquerque, NM 87109

Re: Pulte @ Mirehaven Phase 2A
Request Pad Certification for lots 7-11 & 16 – Not Accepted
Engineer's Stamp dated: 3-11-16 (H09D017F)
Certification dated: 3-31-17

Dear Ms. Padilla-Moyer,

Based on the Certification received 3/31/17, the above referenced cannot be accepted for building permit by Hydrology.

PO Box 1293

- The swale behind lots 7-11 is incomplete.
- The grade around the pond outlet needs to be lowered, at least 2' below the grate with a local depression.
- The construction debris in the pond needs to be removed.

Albuquerque

An inspection by our office will need to take place after these corrections are made.

New Mexico 87103

If you have any questions, you can contact me at 924-3695 or Totten Elliott at 924-3982.

www.cabq.gov

Sincerely,

Dana Peterson, P.E.
Senior Engineer, Planning Dept.
Development Review Services

TE/DP

C: CO Clerk Cordova, Camille C.; Miranda, Rachel; Sandoval, Darlene M.; Blocker,
Lois

April 5, 2017

Mr. Dana Peterson
Hydrology Section
City of Albuquerque
600 2nd Street NW
Albuquerque, NM 87102

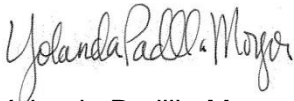
Re: Partial Grading and Drainage Certification (Lots 7-11, 16) Del Webb Phase 2a
@ Mirehaven
Phase 2A - DRB Case No. 1006864

Dear Dana:

In response to your letter dated April 4, 2017 and our phone conversation that same day, enclosed is a floodplain permit for the lots with Del Webb Phase 2a which are located within the floodplain and in which a LOMR-F will be submitted to FEMA. Also included is a calculation spreadsheet which shows the pad elevation and the lowest grade for each lot. All pads are 2 feet above the lowest grade.

Your review and approval is requested for Building Permit Approval for the above listed buildings. I appreciate your time and consideration. If you have questions or require additional information, please contact me at 823-1000.

Sincerely,



Yolanda Padilla Moyer, P.E.
Senior Project Manager
Community Development & Planning

Enclosure

cc: Kevin Patton, Pulte Homes
Matt Dyer, Pulte Homes

Floodplain Development Permit Form

Planning Dept., City of Albuquerque

Section 1: General Provisions (Applicant to read and sign)

1. No work of any kind may start until a permit is issued.
2. Applicant is hereby informed that other permits may be required to fulfill local, state, and federal regulatory requirements.
3. Applicant hereby gives consent to the Floodplain Administrator and his/her representative to make reasonable inspections required to verify compliance.
4. Applicant must provide a Critical Habitat for Threatened & Endangered Species report if working on or near an endangered species area.
5. The applicant certifies that all statements herein and in attachments to this application are, to the best of my knowledge, true and accurate.

Applicant Signature Yolanda Padilla Moyer Date 04-05-17

Applicant Printed Name Yolanda Padilla Moyer, P.E Phone #: 798-7945

Section 2: Proposed Development in Special Flood Hazard Area (to be completed by Applicant)

Brief Project Description Building permit for 17 lots, Del Webb @ Mirehaven Phase 2A

Applicant is (check one): Owner ☐ Builder ☐ Engineer/Architect ☒

Project address/Legal Disc/Location: Lot 1 (9140 Wind Caves Way), Lot 2 (9136 Wind Caves Way), Lot 3 (9132 Wind Caves Way), Lot 4 (9128 Wind Caves Way), Lot 5 (9124 Wind Caves Way), Lot 6 (9120 Wind Caves Way), Lot 7 (9116 Wind Caves Way), Lot 8 (9112 Wind Caves Way), Lot 9 (9108 Wind Caves Way), Lot 10 (9104 Wind Caves Way), Lot 11 (9100 Wind Caves Way), Lot 12 (9040 Wind Caves Way), Lot 13 (9036 Wind Caves Way), Lot 14 (9032 Wind Caves Way), Lot 15 (9028 Wind Caves Way), Lot 16 (9024 Wind Caves Way), Lot 17 (9020 Wind Caves Way) at Mirehaven Phase 2A

Description of Work in Special Flood Hazard Area (SFHA):

A. Development Activities

Clearing ☐ Fill ☐ Drilling ☐ Excavation ☐

Watercourse Alteration ☐ (Including Dredging and Channel Modifications)

Drainage Improvements ☐ Road, Street or Bridge Construction ☐

Water or Sewer Line Installation ☐ Paving ☐ Walls, Fences ☒

Storage of Materials/Equipment for more than a year. ☐ Materials Volume (cu. Ft.) ☐

Other (Please Specify) Home Construction

B. Building Development and Building Type

New Building ☒ Residential (1-4 Family) ☒ Residential (More than 4 Family) _____

Commercial _____ Addition _____ Alteration _____ Demolition _____

Manufactured Home _____

If an addition or alteration:

Estimated Cost of structure before addition/alteration. _____

Estimated Cost of Project \$ _____ Percent of value (new/existing) _____

Is there a Grading & Drainage Plan associated with this work? Yes ☒ No _____

Drainage file Number: H09D017F

Section 3: Floodplain Determination (Completed by the Floodplain Administrator)

The proposed development is located in a SFHA Zone (circle one): A AE AH AO

And is located on FIRM Panel: _____

And is located in a Floodway: ☐ Yes ☐ No

BFE if Applicable: _____

Drainage File Number: _____

Floodplain Permit Number: _____

Building Permit / Work Order #: _____

Site specific Instructions: _____

Signed: _____ Date: _____

Printed Name: _____

If proposed development is a building complete section 4.

Section 4: Requirements for building in a SFHA:

(To be completed by the Floodplain Administrator or Representative).

BFE (unless not available) _____ Minimum Finished Floor Elevation: _____

Minimum Lowest Adjacent Grade (LAG): _____

Change in water elevation (if in a Floodway): _____

Is flood-proofing required: YES ____ NO ____

If yes, method of flood-proofing: _____

Company certifying the flood-proofing: _____

An Elevation Certificate is required for structural development in a SFHA. A Certificate of Occupancy will not be granted until the Planning Department receives the Elevation Certificate.

Section 5: Post Development Certification:

A. For structural Development:

Elevation Certificate received on (Date): _____

Finished Floor Elevation: _____

Lowest adjacent grade: _____

The Floodplain Administrator or Representative verifies that the above information is acceptable ____ is not ____ acceptable per the City of Albuquerque Floodplain Ordinance.

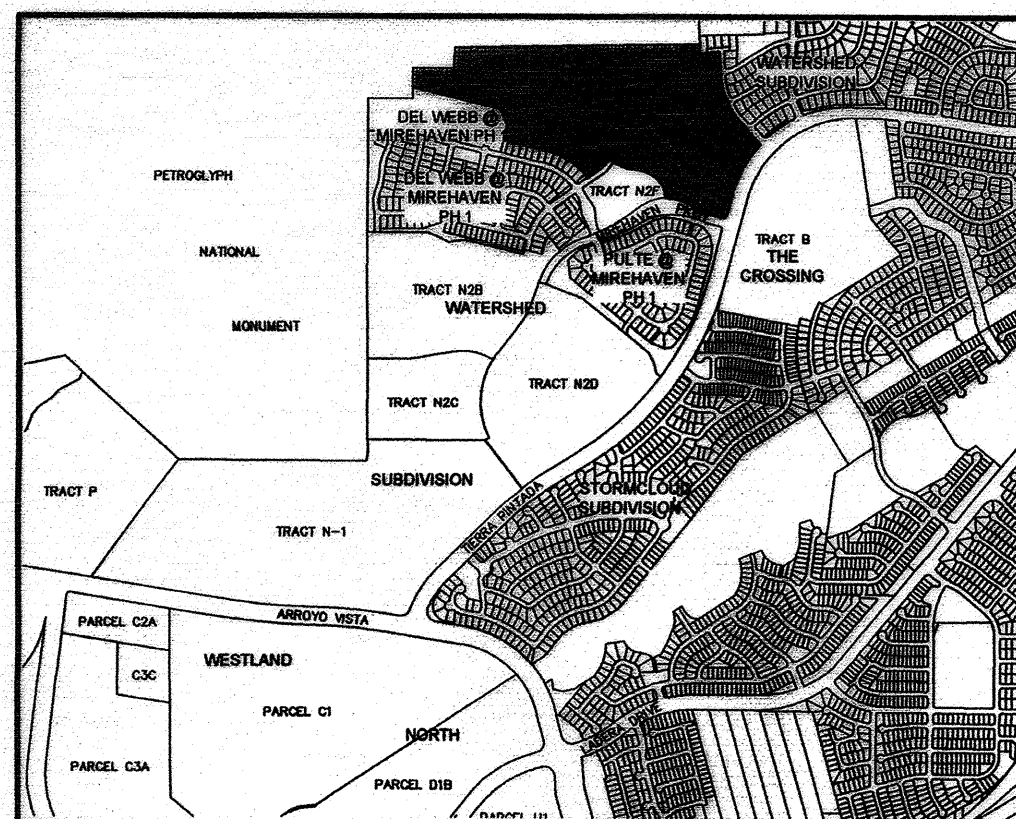
B. The site was visually inspected on (Date) _____

Certificate of Occupancy approved on (Date) _____

Signature: _____ Date: _____

Printed Name: _____

Lot #	Proposed Pad Elevation	lowest ex elev	highest ex elev	average ex elevation	partial/total	FEMA+ COA 2' +	
1	5321.32	5314.22	5321.83	5318.03	P	5316.22	5.10
2	5319.08	5312.43	5319.05	5315.74	P	5314.43	4.65
3	5318.40	5310.84	5316.08	5313.46	P	5312.84	5.56
4	5317.28	5309.43	5313.25	5311.34	P	5311.43	5.85
5	5317.28	5308.40	5310.47	5309.44	P	5310.40	6.88
6	5315.18	5307.16	5308.99	5308.08	P	5309.16	6.02
7	5313.35	5305.08	5307.50	5306.29	P	5307.08	6.27
8	5311.41	5303.66	5305.70	5304.68	P	5305.66	5.75
9	5309.46	5301.90	5304.39	5303.15	P	5303.90	5.56
10	5307.52	5299.18	5302.98	5301.08	P	5301.18	6.34
11	5305.57	5297.32	5302.36	5299.84	P	5299.32	6.25
12	5303.02	5295.00	5299.58	5297.29	T	5299.29	3.73
13	5301.84	5292.42	5298.50	5295.46	T	5297.46	4.38
14	5301.60	5290.24	5297.10	5293.67	T	5295.67	5.93
15	5301.68	5289.62	5297.10	5293.36	T	5295.36	6.32
16	5301.63	5294.14	5296.57	5295.36	T	5297.36	4.28
17	5301.03	5291.56	5294.77	5293.17	P	5293.56	7.47



LOCATION MAP
NOT TO SCALE

SUBDIVISION DATA

1. DRB No. 1006864
2. Zone Atlas Index Number: H-8 & H-9.
3. Zoning: SU-2 FOR PDA
4. Gross Subdivision Acreage: 72.8879 Ac.
5. Total number of Lots/Tracts Created: One hundred two (102) Lots and nine (9) Tracts.
6. 0 miles public street right-of-way created.
7. 1.11 miles private streets created.
8. Area of private streets created: 5.8558 Ac. 255,079 Sq. Ft. (Tract M-13).
9. Date of Survey: March, 2014.
10. Plat is located within Town of Atasco Grant, projected Sections 8 & 9, Township 10 North, Range 2 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico.

PURPOSE OF PLAT

The purpose of this Plat is to Subdivide all of Tract M, Watershed Subdivision, as the same is shown and designated on the plat thereof, filed in the Office of the County Clerk of Bernalillo County, New Mexico on June 9, 2005 in Book 2005C, Page 198, all of Tract N-2-A-1, Correction Plat of DEL WEBB @ MIREHAVEN PHASE I, as the same is shown and designated on the plat thereof, filed in the Office of the County Clerk of Bernalillo County, New Mexico on September 4, 2014 in Book 2014C, Page 93, into 102 Lots and 9 Tracts, to grant new easements and to vacate easements.

DESCRIPTION

A certain tract of land situated within the Town of Atasco Grant, projected Sections 8 & 9, Township 10 North, Range 2 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico, being and comprising all of Tract M, WATERSHED SUBDIVISION, as the same is shown and designated on the plat thereof, filed in the Office of the County Clerk of Bernalillo County, New Mexico on June 9, 2005 in Book 2005C, Page 198, and all of Tract N-2-A-1, Correction Plat of DEL WEBB @ MIREHAVEN PHASE I, as the same is shown and designated on the plat thereof, filed in the Office of the County Clerk of Bernalillo County, New Mexico on September 4, 2014 in Book 2014C, Page 93.

Tract Contains 72.8879 Acres

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

- A. Public Service Company of New Mexico ("PNM"), a New Mexico corporation, (PNM Electric) for installation, maintenance, and service of overhead and underground electrical lines, transformers, and other equipment and related facilities reasonably necessary to provide electrical services.
- B. New Mexico Gas Company for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas.
- C. Qwest Corporation d/b/a CenturyLink QC for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide communication services.
- D. Cable TV for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable services.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, replace, modify, renew, operate and maintain facilities for purposes described above, together with free access to, from, and over said easements, with the right and privilege of going upon, over and across adjoining lands of Grantor for the purposes set forth herein and with the right to utilize the right of way and easement to extend services to customers of Grantee, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (above ground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.

Easements for electric transformer/switchgears, as installed, shall extend ten (10) feet in front of transformer/switchgear doors and five (5) feet on each side.

Disclaimer

In approving this plat, Public Service Company of New Mexico (PNM), New Mexico Gas Company (NMGC) and Qwest Corporation D/B/A CenturyLink (QWEST) did not conduct a Title Search of the properties shown hereon. Consequently, PNM, NMGC and QWEST do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat.

FREE CONSENT AND DEDICATION

The plat shown hereon is made with free consent and in accordance of the desires of the undersigned owner(s), the execution of this plat is their free act and deed. Those signing as owner(s) warrant that they hold among them, complete indefeasible title in fee simple to the land shown on this plat. Owner(s) hereby affirm that the described property shown on this plat lies within the platting and subdivision jurisdiction of Albuquerque, New Mexico. Said owner(s) hereby grant all Easements as may be shown on this plat in Fee Simple with Warranty Covenants. Private Access Easements are permanent.

PULTE HOMES OF NEW MEXICO, INC.
FOR TRACT M

By: Garret Price
Garret Price, Vice President of Land
Pulte Homes of New Mexico, Inc.

State of New Mexico)
County of) Bernalillo

This instrument was acknowledged before me on 5 day of October 2016, by
Garret Price
Vice President

My Commission Expires: 7/18/2019 Marilyn Coleman
Notary Public

DEL WEBB HOMEOWNERS ASSOCIATION
FOR TRACT N-2-A-1

By: Garret Price
Garret Price, President of Del Webb Homeowners Association

State of New Mexico)
County of) Bernalillo

This instrument was acknowledged before me on 5 day of October 2016, by
Garret Price
President

My Commission Expires: 7/18/2019 Marilyn Coleman
Notary Public

NOTES

1. Bearings are New Mexico State Plane Grid Bearings (Central Zone) NAD 1983. Basis of Bearings is between City of Albuquerque Control Monuments "REWARD" and "BH 41". Bearing = N03°09'40"E
2. Distances are ground distances.
3. Record Bearings and distances are the same as shown on the Correction Plat of DEL WEBB @ MIREHAVEN, PHASE I filed on September 4, 2014 in Book 2014C, Page 93. Record Bearings and distances for Tract M, Watershed Subdivision filed on June 9, 2005 in Book 2005C, Page 198 are shown in parenthesis ().
4. This Plat was prepared with information included in Title Commitment issued by First American Title Insurance Company, Commitment No. 1911525-AL04, Effective Date: March 6, 2014.
5. SOLAR NOTE - Pursuant to Section 14-14-4-7 of the City of Albuquerque Code of Ordinances, "No property within the area of this Plat shall at any time be subject to a deed restriction, covenant, or binding agreement prohibiting solar collectors from being installed on buildings or erected on the lots or tracts within the area of proposed Plat. The foregoing requirement shall be a condition to approval of this plat".
6. Tracts M-1A, M-2, M-3, M-7A, M-11A and M-12 are to be owned and maintained by the Del Webb Homeowners Association.
7. Tract M-13 is granted as a public Sanitary Sewer, Water and Subsurface Storm Drain Easement to be operated and maintained by the City of Albuquerque and ABCWUA. Tract M-13 is also granted as a permanent Private Access Easement reserved for, granted to, and to be maintained by the Homeowners Association.
8. Portions of Tract N-2-A-1 and Tract M are located in Flood Zones "AO" and "X", per FIRM Map Number 3500C0326G, Revised August 16, 2012.
9. The front (adjacent to street) lot corner will not be staked with the exception of intermediate "pc's and pt's". A witness corner projected along the property line being a chiseled "x" in the curb and gutter will be set upon completion of all street improvements. Offset distance will be adjusted by even foot increments to fall within the par. Remaining lot corners will be marked with a 5/8" rebar and plastic cap stamped "Gromatzky PS 16469", a nail and washer stamped "Gromatzky PS 16469" or a nail and washer stamped "line only".
10. Centerline monuments to be installed at centerline PC's, PT's, angle points and street intersections prior to acceptance of subdivision street improvements and will consist of a standard 3-1/4" aluminum alloy cap stamped "CITY OF ALBUQUERQUE", "CENTERLINE MONUMENTATION", "SURVEY MARKER", "DO NOT DISTURB", "PLS 16469".
11. Access Easement is granted for vehicular access for the National Park Service for maintenance and Law Enforcement to the existing Petroglyph National Monument gate.
12. Proposed Private Blanket Drainage Easement granted to the City of Albuquerque with the filing of this plat for Tract M-2, Tract M-3 and Tract M-12.
13. PNM, NM Gas Company, Century Link (Qwest), and Comcast shall have the right to cross private streets (Tract M-13) at locations as mutually agreed upon by the owner and said named public utility company.
14. A Public Pedestrian Access Easement granted to the City of Albuquerque over a portion of Tract M-1A is granted with the filing of this plat. See sheet 2 and 3 for location and note.

PLAT OF DEL WEBB @ MIREHAVEN PHASE 2A

(A REPLAT OF TRACT M, WATERSHED SUBDIVISION &
TRACT N-2-A-1, DEL WEBB @ MIREHAVEN PHASE I)
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
OCTOBER, 2016

PROJECT NUMBER 1006864

APPLICATION NUMBER 16-70363

UTILITY APPROVALS:

<u>QWEST CORPORATION d/b/a CENTURYLINK QC</u>	DATE <u>11/4/2016</u>
<u>COMCAST CABLE</u>	DATE <u>10/18/16</u>
<u>PNM ELECTRIC SERVICES</u>	DATE <u>11-4-16</u>
<u>NEW MEXICO GAS COMPANY</u>	DATE <u>10/18/16</u>

CITY APPROVALS:

<u>John G. Preece</u> P.S.	DATE <u>10/6/16</u>
CITY SURVEYOR	DATE <u>10/19/16</u>
<u>Theresa Cadore</u>	DATE <u>10-19-16</u>
ALBUQUERQUE, BERNALILLO COUNTY WATER UTILITY AUTHORITY	DATE <u>10-19-16</u>
<u>Carol S. Dumont</u>	DATE <u>10-19-16</u>
PARKS & RECREATION DEPARTMENT	DATE <u>10-19-16</u>
<u>AMAC</u>	DATE <u>11-21-16</u>
CITY ENGINEER	DATE <u>11-30-16</u>
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE <u>11-30-16</u>
REAL PROPERTY DIVISION	DATE <u>11-30-16</u>

TAX CERTIFICATION

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON UPC #

10080594222934115 - 100805949134210101

PROPERTY OWNER OF RECORD: DEL WEBB13 HOMEOWNERS

Wt Jm 1-10-17
BERNALILLO COUNTY TREASURER'S OFFICE DATE

SURVEYOR'S CERTIFICATION

I, Robert Gromatzky, a registered Professional New Mexico Surveyor, certify that I am responsible for this survey and that this plat was prepared by me or under my supervision, shows all existing easements as shown on the plats of record, or made known to me by the owner, utility companies, or other interested parties and conforms to the Minimum Requirements of the Board of Registration for Professional Engineers and Professional Surveyors and meets the minimum requirements for monumentation and surveys contained in the Albuquerque Subdivision Ordinance, and is true and accurate to the best of my knowledge and belief.

Robert Gromatzky
New Mexico Professional Surveyor 16469

Date: OCTOBER 5, 2016



Bohannon & Huston
7500 JEFFERSON STREET NE ALBUQUERQUE, NEW MEXICO

**PLAT OF
DEL WEBB @ MIREHAVEN
PHASE 2A**
(A REPLAT OF TRACT M, WATERSHED SUBDIVISION &
TRACT N-2-A-1, DEL WEBB @ MIREHAVEN PHASE 1)
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
OCTOBER, 2016

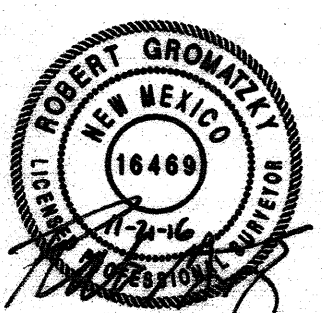
PETROGLYPH NATIONAL MONUMENT

**WATERSHED
SUBDIVISION**
FILED: JUNE 9, 2005
(2005C-0198)

**WESTCREEK
PLACE NW (46' R/W)**

- LEGEND**
- ▲ CITY OF ALBUQUERQUE CONTROL MONUMENT
 - ▲ SET CENTERLINE MONUMENT STAMPED "GROMATZKY PS 16469"
 - SET 5/8" REBAR STAMPED "GROMATZKY PS 16469"
 - ⊙ FND #5 REBAR WITH CAP STAMPED "GROMATZKY PS 16469" (UNLESS OTHERWISE NOTED)
 - PUBLIC UTILITY EASEMENT GRANTED WITH THE FILING OF THIS PLAT
 - BOUNDARY LINE
 - LOT LINE
 - EXISTING EASEMENT LINE
 - PROPOSED EASEMENT LINE
 - ADJOINING PROPERTY LINE

SEE SHEET 6 FOR CURVE AND TANGENT TABLES



**DESERT RAIN RD. NW
(46' R/W)**

**WATERSHED
SUBDIVISION**
FILED: JUNE 9, 2005
(2005C-0198)

VEHICULAR ACCESS EASEMENT FOR THE
NATIONAL PARK SERVICE GRANTED WITH
THE FILING OF THIS PLAT (HATCHED AREA)
SEE NOTE 11, SHEET 1

**SANDWATER RD. NW
(46' R/W)**

EXISTING 10' PUBLIC
UTILITY EASEMENT
FILED: JUNE 9, 2005
BOOK 2005C, PAGE 198

SHEET 3 OF 6

Bohannon & Huston
7500 JEFFERSON STREET NE ALBUQUERQUE, NEW MEXICO

VEHICULAR ACCESS EASEMENT FOR THE
NATIONAL PARK SERVICE GRANTED WITH
THE FILING OF THIS PLAT (HATCHED AREA)
SEE NOTE 11, SHEET 1

10' OF 10' VEHICULAR ACCESS EASEMENT FOR
THE NATIONAL PARK SERVICE GRANTED WITH
THE FILING OF THIS PLAT (HATCHED AREA)
SEE NOTE 11, SHEET 1

PUBLIC PEDESTRIAN ACCESS EASEMENT
GRANTED TO THE CITY OF ALBUQUERQUE WITH
THE FILING OF THIS PLAT (HATCHED AREA)
SEE NOTE 14, SHEET 1

EXISTING 10' PUBLIC
UTILITY EASEMENT
FILED: JUNE 9, 2005
BOOK 2005C, PAGE 198

**TRACT M-1A
2.4009 Ac**
(SEE NOTE 6, SHEET 1)

**TRACT M-1A
2.4009 Ac**
(SEE NOTE 6, SHEET 1)

**TRACT M-13
5.8558 Ac**
(SEE NOTES 7 & 13, SHEET 1)

**TRACT M-3
1.4159 Ac**
(SEE NOTES 6 & 12, SHEET 1)

**TRACT M-7A
0.0293 Ac**
(SEE NOTE 6, SHEET 1)

**TRACT M
WATERSHED
SUBDIVISION**
FILED: JUNE 9, 2005
(2005C-0198)

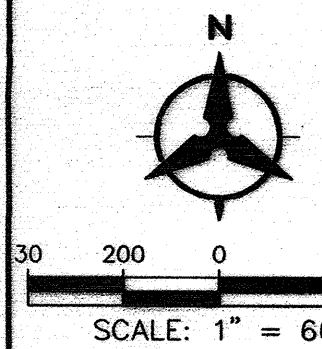
**TRACT M-1
21.3484 Ac**

**TRACT M-13
5.8558 Ac**
(SEE NOTES 7 & 13, SHEET 1)

**TRACT M-11A
0.0011 Ac**
(SEE NOTE 6, SHEET 1)

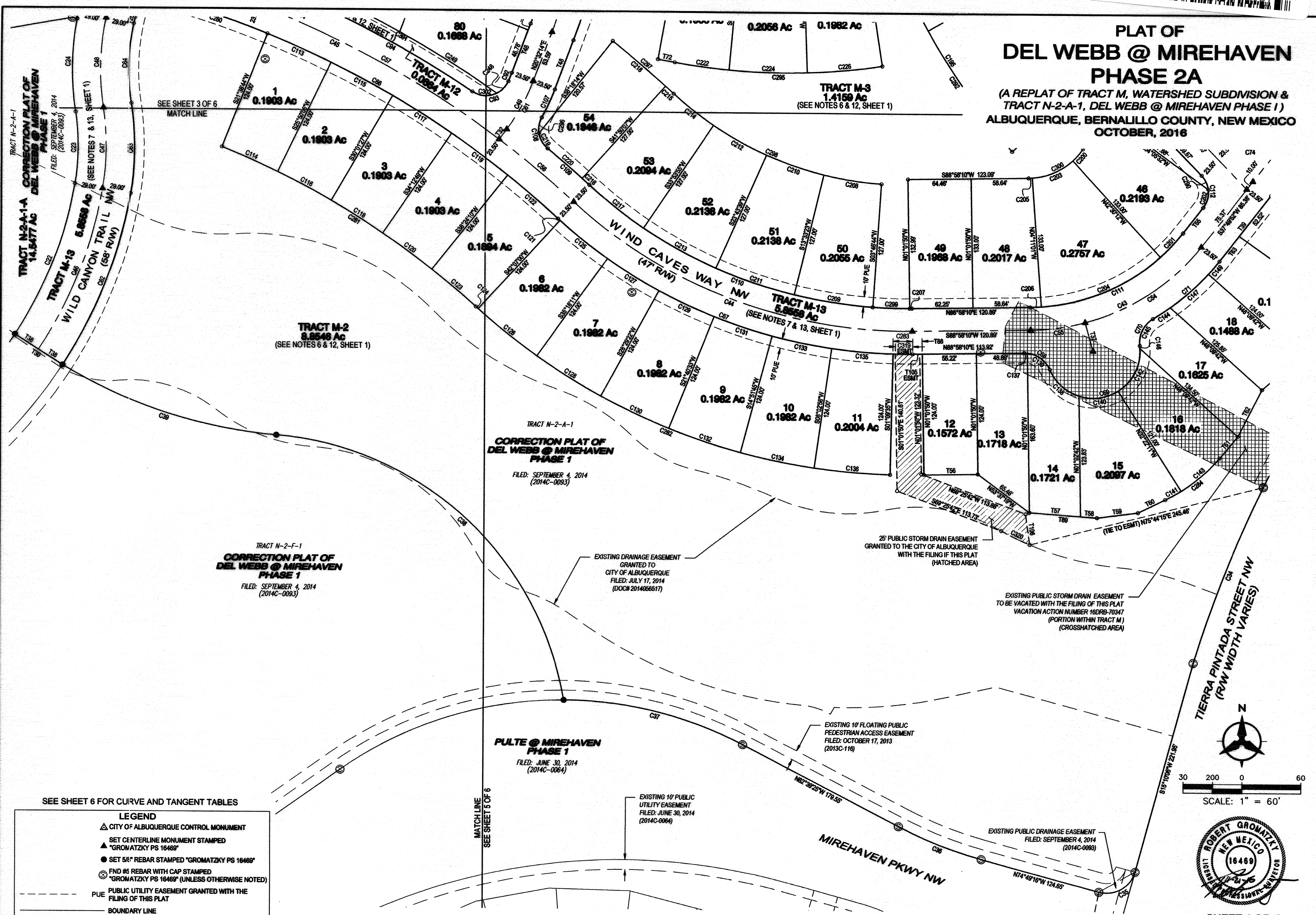
**TRACT M-2
8.8546 Ac**
(SEE NOTES 6 & 12, SHEET 1)

**TRACT M-12
0.0084 Ac**



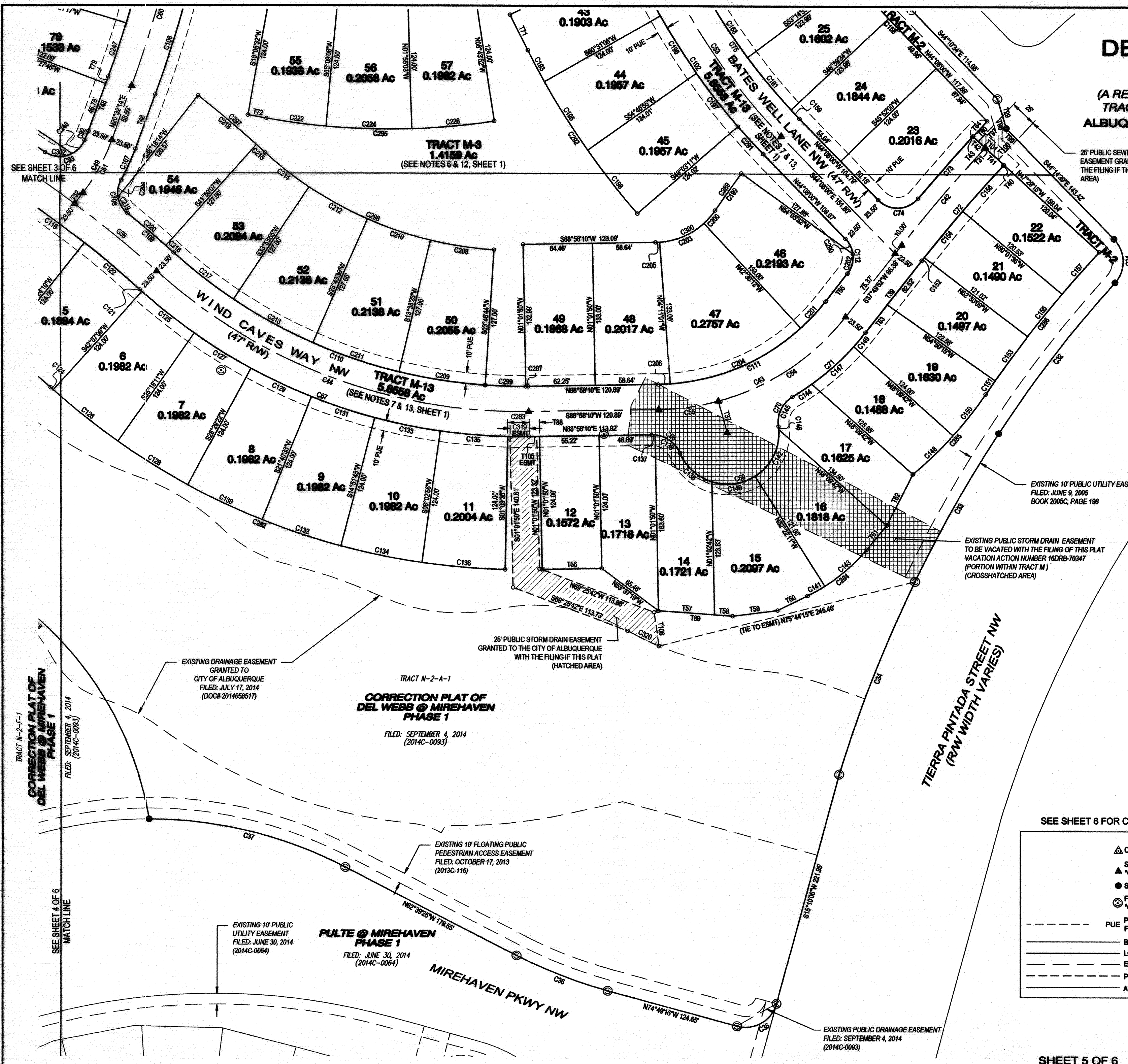
PLAT OF DEL WEBB @ MIREHAVEN PHASE 2A

(A REPLAT OF TRACT M, WATERSHED SUBDIVISION &
TRACT N-2-A-1, DEL WEBB @ MIREHAVEN PHASE 1)
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
OCTOBER, 2016



PLAT OF DEL WEBB @ MIREHAVEN PHASE 2A

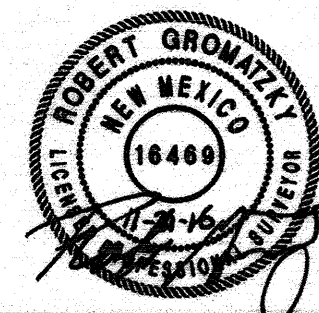
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ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
OCTOBER, 2016



SEE SHEET 6 FOR CURVE AND TANGENT TABLES

LEGEND

- △ CITY OF ALBUQUERQUE CONTROL MONUMENT
- SET CENTERLINE MONUMENT STAMPED
- ▲ "GROMATZKY PS 16489"
- SET 5/8" REBAR STAMPED "GROMATZKY PS 16489"
- ⊙ FND #5 REBAR WITH CAP STAMPED
- ⊙ "GROMATZKY PS 16489" (UNLESS OTHERWISE NOTED)
- PUE PUBLIC UTILITY EASEMENT GRANTED WITH THE FILING OF THIS PLAT
- BOUNDARY LINE
- LOT LINE
- EXISTING EASEMENT LINE
- PROPOSED EASEMENT LINE
- ADJOINING PROPERTY LINE



Bohannon & Huston
7500 JEFFERSON STREET NE ALBUQUERQUE, NEW MEXICO

SHEET 5 OF 6

PLAT OF
DEL WEBB @ MIREHAVEN
PHASE 2A
(A REPLAT OF TRACT M, WATERSHED SUBDIVISION &
TRACT N-2-A-1, DEL WEBB @ MIREHAVEN PHASE 1)
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
OCTOBER, 2016

CURVE DATA						
ID	DELTA	TANGENT	ARC	RADIUS	CHORD	CHORD BRG
C319	01°56'16" RT	8.85'	17.70'	523.50'	17.70'	S88°56'16"W
C320	05°57'59" LT	16.16'	32.29'	310.04'	32.27'	S84°22'07"E
C321	INTENTIONALLY OMITTED					
C322	39°43'08" LT	20.23'	38.82'	56.00'	38.05'	N68°49'00"E
C323	40°37'28" LT	8.88'	17.02'	24.00'	16.66'	N28°38'42"E

TANGENT DATA		
ID	BEARING	DISTANCE
T26	N11°56'08"E	6.62'
T27	N08°40'53"E	60.66'
T28	S84°03'07"E	28.89'
T29	S17°03'19"E	28.43'
T30	N07°20'21"E	58.00'
T31	S42°57'16"W	0.92'
T32	N36°42'32"E	12.82'
T33	N89°04'43"E	24.50'
T34	N63°02'16"E	5.08'
T35	N84°56'36"E	24.50'
T36	S24°39'51"E	46.57'
T37	N15°22'27"W	30.53'
T38	S57°20'21"E	29.00'
T39	N37°49'52"E	85.38'
T40	N42°57'16"E	1.10'
T41	N47°29'15"W	23.50'
T42	N47°29'15"W	15.50'
T43	S42°57'16"W	0.80'
T44	N26°53'36"W	64.02'
T45	N26°53'36"W	34.65'
T46	S24°39'51"E	13.03'
T47	N79°54'28"W	68.61'
T48	S20°32'14"W	53.59'
T49	N20°32'14"E	34.66'
T50	S00°55'11"E	18.50'
T51	S00°55'11"E	22.50'
T52	N89°04'43"E	70.50'
T53	S08°40'53"E	23.50'
T54	N79°54'28"W	68.98'
T55	N37°49'52"E	33.24'
T56	S88°56'16"W	55.22'
T57	N85°53'46"W	52.25'
T58	N85°53'46"W	16.93'
T59	S82°38'08"W	42.00'
T60	S63°54'42"E	31.02'
T61	S40°01'57"W	29.07'
T62	S26°47'57"W	53.84'
T63	S37°49'52"E	32.86'
T64	S42°57'16"W	20.24'
T65	N26°53'46"W	22.69'
T66	N05°04'24"W	28.93'
T67	N05°04'24"W	31.97'
T68	N05°04'24"W	24.80'
T69	N05°04'24"W	52.00'
T70	N05°04'24"W	41.06'
T71	N26°57'44"W	36.77'
T72	N79°54'28"W	17.59'
T73	N00°55'17"W	31.47'
T74	N00°55'17"W	52.29'
T75	N00°55'17"W	3.92'
T76	N00°55'17"W	52.00'
T77	N00°55'17"W	64.00'
T78	N00°55'17"W	52.03'
T79	S20°32'14"W	6.81'
T80	S20°32'14"W	48.85'
T81	S20°32'14"W	55.66'
T82	N00°55'17"W	36.15'
T83	N00°55'17"W	28.90'
T84	N00°55'17"W	68.17'
T85	S60°02'42"W	47.95'
T86	N00°55'17"W	24.26'
T87	N26°53'36"W	8.49'
T88	S88°56'16"W	9.80'
T89	N85°53'46"W	69.18'
T90	S42°57'16"W	19.44'
T91	S08°40'53"W	13.66'
T92	S84°56'37"W	2.94'
T93	N05°04'24"W	93.06'
T94	S89°04'43"W	20.26'
T95	S89°04'43"W	27.74'



CURVE DATA					
ID	DELTA	TANGENT	ARC	RADIUS	CHORD BRG
C22	22°56'29" LT	85.37'	168.45'	421.00'	167.33'
C23	19°03'03" LT	37.08'	73.48'	221.00'	73.14'
C24	21°04'13" RT	51.89'	102.60'	279.00'	102.02'
C25	98°15'12" LT	26.46'	40.69'	25.00'	36.34'
C26	13°12'30" RT	23.79'	47.37'	205.50'	47.27'
C27	20°04'41" LT	210.51'	416.83'	1189.50'	414.70'
C28	90°00'00" RT	10.00'	15.71'	10.00'	14.14'
C29	21°47'29" LT	100.67'	198.91'	523.00'	197.71'
C30	17°16'23" LT	64.25'	127.52'	423.00'	127.04'
C31	86°09'08" RT	28.05'	45.11'	30.00'	40.96'
C32	08°50'39" LT	88.16'	177.98'	1153.00'	177.80'
C33	07°16'54" RT	79.61'	159.00'	1252.00'	158.89'
C34	08°51'21" LT	96.95'	193.52'	1252.00'	193.32'
C35	90°00'39" RT	30.01'	47.13'	30.00'	42.43'
C36	12°09'51" RT	45.66'	90.97'	428.50'	90.80'
C37	27°27'02" LT	96.84'	189.97'	396.50'	188.15'
C38	75°45'59" LT	252.80'	429.77'	325.00'	399.14'
C39	26°40'48" RT	118.56'	232.82'	500.00'	230.73'
C40	90°00'00" RT	75.00'	117.81'	75.00'	106.07'
C41	21°27'31" RT	94.74'	187.26'	500.00'	186.17'
C42	05°07'24" LT	58.41'	118.75'	1328.00'	118.71'
C43	51°08'18" RT	109.67'	200.82'	225.00'	194.22'
C44	43°25'29" RT	199.10'	378.95'	500.00'	369.95'
C45	33°42'46" LT	302.91'	588.40'	1000.00'	579.95'
C46	22°54'51" LT	91.20'	179.97'	450.00'	178.77'
C47	19°02'37" LT	41.93'	83.09'	250.00'	82.71'
C48	21°04'33" RT	46.51'	91.96'	250.00'	91.44'
C49	16°10'18" LT	28.41'	56.45'	200.00'	56.26'
C50	21°27'31" LT	149.87'	295.88'	790.00'	294.15'
C51	37°00'13" LT	167.37'	322.92'	500.00'	317.33'
C52	19°39'27" LT	118.61'	234.90'	687.00'	233.76'
C53	19°28'10" LT	103.11'	204.22'	601.00'	203.24'
C54	36°47'41" RT	74.84'	144.49'	225.00'	142.02'
C55	14°20'37" RT	28.31'	56.33'	225.00'	56.18'
C56	05°41'07" LT	49.65'	99.23'	1000.00'	99.19'
C57	16°10'18" LT	142.01'	282.25'	1000.00'	281.31'
C58	08°36'09" LT	75.21'	150.14'	1000.00'	150.00'
C59	11°14'44" RT	77.78'	155.05'	790.00'	154.80'
C60	10°12'48" RT	70.80'	140.82'	790.00'	140.64'
C61	16°10'18" RT	28.41'	56.45'	200.00'	56.26'
C62	22°54'17" LT	97.04'	191.49'	479.00'	190.21'
C63	19°02'37" LT	46.80'	92.73'	279.00'	92.31'
C64	21°04'33" RT	41.11'	81.29'	221.00'	80.84'
C65	38°15'12" RT	26.46'	40.69'	25.00'	36.34'
C66	27°12'22" RT	236.21'	463.68'	976.50'	459.33'
C67	43°25'29" LT	208.41'	396.79'	523.50'	387.33'
C68	67°37'29" RT	18.75'	33.05'	28.00'	31.16'
C69	164°00'33" LT	341.74'	137.40'	48.00'	95.07'
C70	66°14'41" RT	18.27'	32.37'	28.00'	30.60'
C71	20°59'55" LT	46.05'	91.07'	248.50'	90.56'
C72	05°07'24" RT	58.36'	116.64'	1304.50'	116.61'
C73	03°15'21" LT	38.18'	76.36'	1343.50'	76.34'
C74	96°10'05" RT	27.85'	41.96'	25.00'	37.21'
C75	17°51'32" RT	90.74'	180.00'	577.50'	179.28'
C76	89°18'44" RT	24.70'	38.97'	25.00'	35.14'
C77	90°02'08" RT	25.02'	39.29'	25.00'	35.37'
C78	03°04'01" RT	14.00'	27.99'	523.00'	27.99'
C79	86°51'35" RT	23.67'	37.90'	25.00'	34.37'
C80	92°41'43" RT	28.20'	40.45'	25.00'	36.18'
C81	19°11'38" RT	112.19'	222.27'	663.50'	221.23'
C82	249°11'26" LT	---	208.76'	48.00'	79.03'
C83	69°11'26" RT	19.31'	33.81'	28.00'	31.80'
C84	19°35'27" LT	122.61'	242.94'	710.50'	241.76'
C85	93°01'24" RT	26.36'	40.59'	25.00'	36.28'
C86	31°43'58" RT	135.43'	263.91'	476.50'	260.55'
C87	86°54'10" RT	23.68'	37.92'	25.00'	34.39'
C88	07°54'59" LT	56.29'	112.40'	813.50'	112.31'
C89	69°11'26" RT	19.31'	33.81'	28.00'	31.80'
C90	249°11'26" LT	---	208.76'	48.00'	79.03'
C91	21°27'31" RT	145.24'	287.07'	766.50'	285.40'
C92	03°03'37" RT	4.71'	9.43'	176.50'	9.43'
C93	100°14'38" RT	29.92'	43.74'	25.00'	38.37'
C94	10°38'11" LT	95.43'	190.30'	1023.50'	190.03'
C95	87°26'55" RT	23.87'	38.11'	25.00'	34.53'
C96	21°27'31" LT	99.19'	196.06'	523.50'	194.92'
C97	73°22'15" LT	72.95'	125.39'	97.92'	116.99'
C98	90°06'16" RT	52.00'	81.68'	52.00'	73.54'
C99	21°27'31" RT	90.29'	178.46'	476.50'	177.42'
C100	87°26'55" RT	23.87'	38.11'	25.00'	34.53'
C101	08°12'17" LT	82.39'	164.43'	1023.50'	164.25'
C102	19°17'33" RT	108.11'	210.28'	624.50'	209.29'
C103	87°20'07" LT	23.86'	38.11'	25.00'	34.52'
C104	32°16'06" RT	151.44'	294.83'	523.50'	290.95'
C105	86°27'56" LT	23.50'	37.73'	25.00'	34.25'
C106	06°54'37" RT	49.12'	98.12'	813.50'	98.06'
C107	08°09'08" RT	15.93'	31.80'	223.50'	31.77'
C108	79°27'46" LT	20.78'	34.67'	25.00'	31.96'
C109	03°10'01" RT	28.29'	56.57'	1023.50'	56.57'
C110	43°25'29" LT	189.74'	361.14'	476.50'	362.56'
C111	51°08'18" LT	96.41'	179.85'	201.50'	173.94'
C112	81°57'53" LT	21.72'	35.76'	25.00'	32.79'
C113	04°11'22" LT	35.72'	71.40'	976.50'	71.38'
C114	04°11'22" LT	31.18'	62.33'	852.50'	62.32'
C115	04°11'22" LT	35.72'	71.40'	976.50'	71.38'
C116	04°11'22" LT	31.18'	62.33'	852.50'	62.32'
C117	04°11'22" LT	35.72'	71.40'	976.50'	71.38'
C118	04°11'22" LT	31.18'	62.33'	852.50'	62.32'
C119	04°11'22" LT	35.72'	71.40'	976.50'	71.38'
C120	04°11'22" LT	31.18'	62.33'	852.50'	62.32'
C121	00°16'39" RT	1.27'	2.54'	523.50'	2.54'

CURVE DATA					
ID	DELTA	TANGENT	ARC	RADIUS	CHORD BRG
C122	03°59'29" LT	34.03'	68.02'	976.50'	68.01'
C123	03°59'29" RT	29.71'	59.39'	852.50'	59.37'
C124	00°16'39" RT	1.57'	3.14'	647.50'	3.14'
C125	06°48'49" RT	31.16'	62.25'	523.50'	62.22'
C126	06°48'49" LT	38.55'	77.00'	647.50'	76.95'
C127	06°48'49" RT	31.16'	62.25'	523.50'	62.22'
C128	06°48'49" LT	38.55'	77.00'	647.50'	76.95'
C129	06°48'49" RT	31.16'	62.25'	523.50'	62.22'
C130	06°48'49" LT	38.55'	77.00'	647.50'	76.95'
C131	06°48'49" RT	31.16'	62.25'	523.50'	62.22'
C132	06°48'49" LT	38.55'	77.00'	647.50'	76.95'
C133	06°48'49" RT	31.16'	62.25'	523.50'	62.22'
C134	06°48'49" LT	38.55'	77.00'	647.50'	76.95'
C135	06°53'20" RT	31.51'	62.94'	523.50'	62.91'
C136	06°53'20" LT	38.97'	77.85'	647.50'	77.81'
C137	06°22'14" LT	1.56'	3.11'	28.00'	3.11'
C138	49°12'46" RT	21.98'	41.23'	48.00'	39.97'
C139	61°15'18" LT	16.58'	28.93'	28.00'	28.53'
C140	49°45'04" RT	22.26'	41.68'	48.00'	40.38'
C141	06°16'53" LT	9.27'	18.53'	169.00'	18.52'
C142	61°32'06" RT	28.58'	51.55'	48.00'	49.11'
C143	17°36'53" RT	26.16'	51.91'	169.00'	51.70'
C144	04°54'45" RT	10.66'	21.31'	248.50'	21.30'
C145	66°14'44" LT	18.27'	32.37'	28.00'	30.60'
C146	03°30'37" RT	1.47'	2.94'	48.00'	2.94'
C147	12°04'43" RT	26.29'	52.39'	248.50'	52.29'
C148	08°01'28" RT	26.13'	52.17'	372.50'	52.13'
C149	04°02'26" RT	8.69'	17.38'	248.50'	17.38'
C150	07°33'57" LT	24.63'	49.19'	372.50'	49.15'
C151	00°44'56" RT	7.74'	15.47'	1183.50'	15.47'
C152	00°09'29" LT	1.80'	3.60'	1934.50'	3.60'
C153	02°29'33" RT	25.57'	51.14'	1183.50'	51.14'
C154	02°28'32" LT	28.18'	56.36'	1304.50'	56.36'
C155	02°29'33" RT	25.57'	51.14'	1183.50'	51.14'
C156	02°32'17" LT	28.90'	57.79'	1304.50'	57.78'
C157	02°32'22" RT	26.23'	52.45'	1183.50'	52.45'
C158	01°43'00" RT	6.80'	13.59'	453.67'	13.59'
C159	01°07'34" LT	5.68'	11.35'	577.50'	11.35'
C160	06°15'13" RT	24.78'	49.52'	453.67'	49.49'
C161	06°15'21" LT	31.56'	63.05'	577.50'	63.02'
C162	06°15'13" RT	24.78'	49.52'	453.67'	49.48'
C163	06°15'21" LT	31.56'	63.05'	577.50'	63.02'
C164	39°06'15" LT	8.88'	17.06'	25.00'	16.73'
C165	04°13'16" LT	21.28'	42.55'	577.50'	42.54'
C166	03°31'27" RT	13.96'	27.90'	453.67'	27.90'
C167	03°48'02" LT	22.01'	44.01'	653.50'	44.00'
C168	28°57'00" LT	6.45'	12.63'	25.00'	12.50'
C169	05°24'20" RT	25.61'	51.18'	542.50'	51.16'
C170	05°17'51" LT	30.69'	61.35'	663.50'	61.32'
C171	05°17'51" RT	25.10'	50.16'	542.50'	50.14'
C172	06°31'21" RT	37.81'	75.53'	663.50'	75.49'
C173	06°31'21" RT	30.91'	61.76'	542.50'	61.72'
C174	03°34'24" LT	20.70'	41.38'	663.50'	41.37'
C175	03°34'24" RT	16.92'	33.83'	542.50'	33.83'
C176	41°51'46" RT	18.36'	35.07'	48.00'	34.30'
C177	03°12'54" LT	1.35'	2.69'	48.00'	2.69'
C178	00°51'50" LT	6.32'	12.64'	838.50'	12.64'
C179	00°51'50" RT	5.36'	10.71'	710.50'	10.71'
C180	04°06'27" LT	30.07'	60.11'	838.50'	60.10'
C181	04°06'27" RT	25.48'	50.94'	710.50'	50.92'
C182	04°06'27" RT	25.48'	50.94'	710.50'	50.92'
C183	04°06'27" LT	30.07'	60.11'	838.50'	60.10'
C184	04°06'27" RT	25.48'	50.94'	710.50'	50.92'
C185	04°06'27" LT	30.07'	60.11'	838.50'	60.10'
C186	04°06'27" RT	25.48'	50.94'	710.50'	50.92'
C187	04°06'27" LT	30.07'	60.11'	838.50'	60.10'
C188	02°17'49" RT	14.24'	28.48'	710.50'	28.48'
C189	03°11'56" LT	23.41'	46.82'	838.50'	46.81'
C190	14°57'00" LT	61.48'	122.26'	468.50'	121.91'
C191	44°42'52" LT	10.28'	19.51'	25.00'	19.02'
C192	32°32'22" LT	7.30'	14.20'	25.00'	14.01'
C193	02°30'49" LT	16.42'	32.84'	748.67'	32.84'
C194	04°39'27" RT	25.31'	50.58'	624.50'	50.57'
C195	06°44'07" LT	37.50'	74.94'	748.67'	74.91'
C196	06°44'11" RT	31.29'	62.62'	624.50'	62.50'
C197	05°44'12" RT	31.29'	62.53'	624.50'	62.50'
C198	06°44'03" LT	37.49'	74.93'	748.67'	74.90'
C199	01°38'05" LT	21.23'	42.45'	1487.50'	42.45'
C200	13°13'26" RT	7.94'	15.81'	68.50'	15.77'
C201	09°39'56" LT	17.04'	33.98'	201.50'	33.95'
C202	45°06'14" LT	10.38'	19.67'	25.00'	19.17'
C203	36°19'11" RT	23.80'	45.61'	68.50'	44.96'
C204	36°19'11" LT	70.01'	134.76'	201.50'	132.27'
C205	03°09'12" RT	1.89'	3.77'	68.50'	3.77'
C206	03°09'12" LT	5.55'	11.09'	201.50'	11.09'
C207	00°15'54" LT	1.10'	2.20'	476.50'	2.20'
C208	06°46'38" RT	29.89'	59.64'	349.50'	59.57'
C209	06°46'38" LT	40.76'	81.31'	349.50'	81.21'
C210	10°10'16" RT	31.10'	62.04'	349.50'	61.96'
C211	10°10'16" LT	42.41'	84.59'	476.50'	84.48'
C212	10°10'16" RT	31.10'	62.04'	349.50'	61.96'
C213	10°10'16" LT	42.41'	84.59'	476.50'	84.48'
C214	04°29'44" RT	25.96'	51.82'	349.50'	51.77'
C215	00°33'32" LT	5.61'	11.22'	1150.50'	11.22'
C216	00°33'32" RT	4.99'	9.98'	1023.50'	9.98'
C217	06°29'44" LT	35.39'	70.65'	476.50'	70.59'
C218	03°51'53" LT	35.47'	70.91'	1150.50'	70.90'
C219	41°35'10" RT	9.49'	18.15'	25.00'	17.75'
C220	02°29'36" RT	23.30'	46.59'	1023.50'	46.58'
C221	04°56'26" RT	22.58'	45.14'	923.50'	45.13'
C222	04°56'26" RT	22.58'	45.14'	923.50'	45.13'



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

Project Title: DEL WEBB @ MIREHAVEN PHASE 2A **Building Permit #:** _____ **City Drainage #:** H-9
DRB#: 10006864 **EPC#:** _____ **Work Order#:** 650388
Legal Description: PULTE @ MIREHAVEN PHASE 2A (A REPLAT OF TRACT N-2-D OF WATERSHED)
City Address: _____

Engineering Firm: BOHANNAN HUSTON INC **Contact:** Yolanda Moyer
Address: 7500 JEFFERSON ST NE COURTYARD 1 ALBUQUERQUE NM 87109
Phone#: 823-1000 **Fax#:** _____ **E-mail:** ypadilla@bhinc.com

Owner: PULTE **Contact:** KEVIN PATTON
Address: 7601 JEFFERSON STREET NE SUITE 310 ALBUQ. NM 87109
Phone#: 505-341-8591 **Fax#:** _____ **E-mail:** kevin.patton@pultegroup.com

Architect: _____ **Contact:** _____
Address: _____
Phone#: _____ **Fax#:** _____ **E-mail:** _____

Other Contact: _____ **Contact:** _____
Address: _____
Phone#: _____ **Fax#:** _____ **E-mail:** _____

Check all that Apply:

DEPARTMENT:

☒ HYDROLOGY/ DRAINAGE
☐ TRAFFIC/ TRANSPORTATION
☐ MS4/ EROSION & SEDIMENT CONTROL

TYPE OF SUBMITTAL:

☒ ENGINEER/ ARCHITECT CERTIFICATION
(resubmittal)
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ DRAINAGE MASTER PLAN
☐ DRAINAGE REPORT
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

☐ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY
☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☒ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR
☐ PRE-DESIGN MEETING
☐ OTHER (SPECIFY) _____

IS THIS A RESUBMITTAL?: ☐ Yes ☐ No

DATE SUBMITTED: 04-05-14 **By:** YOLANDA PADILLA MOYER, P.E.

COA STAFF: ELECTRONIC SUBMITTAL RECEIVED: _____