# **CITY OF ALBUQUERQUE**



April 7, 2017

Yolanda Padilla-Moyer, PE Bohannan-Huston 7500 Jefferson St NE Courtyard I Albuquerque, NM 87109

Re: Pulte @ Mirehaven Phase 2A Request Pad Certification for lots 7-11 & 16 – Not Accepted Engineer's Stamp dated: 3-11-16 (H09D017F) Certification dated: 3-31-17

Dear Ms. Padilla-Moyer,

Based on the Certification received 3/31/17, the above referenced cannot be accepted for building permit by Hydrology.

PO Box 1293

- The swale behind lots 7-11 is incomplete.
- The grade around the pond outlet needs to be lowered, at least 2' below the grate with a local depression.
- The construction debris in the pond needs to be removed.

Albuquerque

An inspection by our office will need to take place after these corrections are made.

New Mexico 87103 If you have any questions, you can contact me at 924-3695 or Totten Elliott at 924-3982.

www.cabq.gov

Sincerely,

Dana Peterson, P.E. Senior Engineer, Planning Dept. Development Review Services

TE/DP C: CO Clerk Cordova, Camille C.; Miranda, Rachel; Sandoval, Darlene M.; Blocker, Lois

# Bohannan 🛦 Huston

April 5, 2017

Courtyard I 7500 Jefferson St. NE Albuquerque, NM 87109-4335

www.bhinc.com

voice: 505.823.1000 facsimile: 505.798.7988 toll free: 800.877.5332

Mr. Dana Peterson Hydrology Section City of Albuquerque 600 2<sup>nd</sup> Street NW Albuquerque, NM 87102

Re: Partial Grading and Drainage Certification (Lots 7-11, 16) Del Webb Phase 2a
@ Mirehaven
Phase 2A - DRB Case No. 1006864

Dear Dana:

In response to your letter dated April 4, 2017 and our phone conversation that same day, enclosed is a floodplain permit for the lots with Del Webb Phase 2a which are located within the floodplain and in which a LOMR-F will be submitted to FEMA. Also included is a calculation spreadsheet which shows the pad elevation and the lowest grade for each lot. All pads are 2 feet above the lowest grade.

Your review and approval is requested for Building Permit Approval for the above listed buildings. I appreciate your time and consideration. If you have questions or require additional information, please contact me at 823-1000.

Sincerely,

Yolanda Padilla Moyer, P.E. Senior Project Manager Community Development & Planning

Enclosure

cc: Kevin Patton, Pulte Homes Matt Dyer, Pulte Homes

- Engineering **A**
- Spatial Data 🔺
- Advanced Technologies **A**

### Floodplain Development Permit Form

Planning Dept., City of Albuquerque

#### Section 1: General Provisions (Applicant to read and sign)

- 1. No work of any kind may start until a permit is issued.
- 2. Applicant is hereby informed that other permits may be required to fulfill local, state, and federal regulatory requirements.
- 3. Applicant hereby gives consent to the Floodplain Administrator and his/her representative to make reasonable inspections required to verify compliance.
- 4. Applicant must provide a Critical Habitat for Threatened & Endangered Species report if working on or near an endangered species area.
- 5. The applicant certifies that all statements herein and in attachments to this application are, to the best of my knowledge, true and accurate.

Applicant Signature	Volanda add More	h Date	04-05-17
	/) 0		

Applicant Printed Name Yolanda Padilla Moyer, P.E Phone #: 798-7945

## Section 2: Proposed Development in Special Flood Hazard Area (to be completed by Applicant)

Brief Project Description Building permit for 17 lots, Del Webb @ Mirehaven Phase 2A

Applicant is (check one): Owner Builder \_\_\_\_\_ Engineer/Architect x

Project address/Legal Disc/Location: Lot 1 (9140 Wind Caves Way), Lot 2 (9136 Wind Caves Way), Lot 3 (9132 Wind Caves Way), Lot 4 (9128 Wind Caves Way), Lot 5 (9124 Wind Caves Way), Lot 6 (9120 Wind Caves Way), Lot 7 (9116 Wind Caves Way), Lot 8 (9112 Wind Caves Way), Lot 9 (9108 Wind Caves Way), Lot 10 (9104 Wind Caves Way), Lot 11 (9100 Wind Caves Way), Lot 12 (9040 Wind Caves Way), Lot 13 (9036 Wind Caves Way), Lot 14 (9032 Wind Caves Way), Lot 15 (9028 Wind Caves Way), Lot 16 (9024 Wind Caves Way), Lot 17 (9020 Wind Caves Way) at Mirehaven Phase 2A

Description of Work in Special Flood Hazard Area (SFHA):

#### A. Development Activities

Clearing \_\_\_\_ Fill \_\_\_ Drilling \_\_\_\_\_ Excavation \_\_\_\_\_

Watercourse Alteration \_\_\_\_\_ (Including Dredging and Channel Modifications)

Drainage Improvements \_\_\_\_\_Road, Street or Bridge Construction \_\_\_\_\_

Water or Sewer Line Installation Paving Walls, Fences x

Storage of Materials/Equipment for more than a year. \_\_\_\_ Materials Volume (cu. Ft.) \_\_\_\_\_

Other (Please Specify) \_ Home Construction

### **B.** Building Development and Building Type

<u> </u>	tial (1-4 Family) <u>x</u> Residential (More than 4 Family)	
Commercial Addition	n Alteration Demolition	
Manufactured Home		
If an addition or alteration:		
Estimated Cost of structure befor	re addition/alteration.	
Estimated Cost of Project \$	Percent of value (new/existing)	
Is there a Grading & Drainage	e Plan associated with this work? Yes <u>x</u> No	
Drainage file Number:H09D0	)17F	
Section 3: Floodplain Determ	nination (Completed by the Floodplain Administrator	
The proposed development is loc	cated in a SFHA Zone (circle one): A AE AH AO	
And is located on FIRM Panel:		
And is located in a Floodway:	YesNo	
And is located in a Floodway:		
BFE if Applicable:		
BFE if Applicable: Drainage File Number: Floodplain Permit Number:		
BFE if Applicable: Drainage File Number: Floodplain Permit Number: Building Permit / Work Order #		
BFE if Applicable: Drainage File Number: Floodplain Permit Number: Building Permit / Work Order #	 	
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BFE if Applicable: Drainage File Number: Floodplain Permit Number: Building Permit / Work Order #		

#### Section 4: Requirements for building in a SFHA:

(To be completed by the Floodplain Administrator or Representative).
BFE (unless not available) Minimum Finished Floor Elevation:
Minimum Lowest Adjacent Grade (LAG):
Change in water elevation (if in a Floodway):
Is flood-proofing required: YES NO
If yes, method of flood-proofing:
Company certifying the flood-proofing:
An Elevation Certificate is required for structural development in a SFHA. A Certificate of
Occupancy will not be granted until the Planning Department receives the Elevation Certificate.

#### Section 5: Post Development Certification:

A. For structural Development:

Elevation Certificate received on (Date):

Finished Floor Elevation:

Lowest adjacent grade: \_\_\_\_\_

The Floodplain Administrator or Representative verifies that the above information is

acceptable \_\_\_\_\_ is not \_\_\_\_\_ acceptable per the City of Albuquerque Floodplain Ordinance.

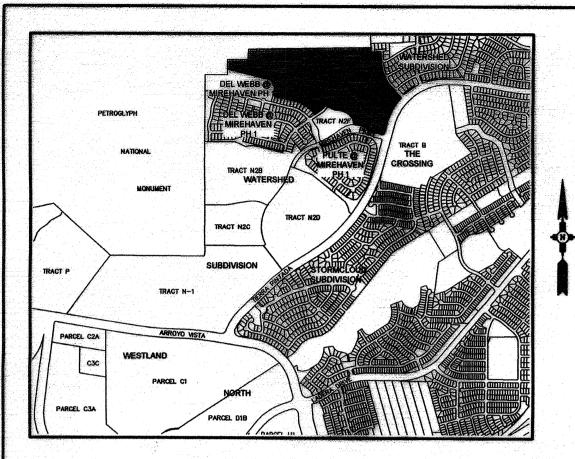
B. The site was visually inspected on (Date)

Certificate of Occupancy approved on (Date)

Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Printed Name:

Lot #	Proposed Pad Elevation	lowest ex elev	highest ex elev	average ex elevation	partial/total	FEMA+ COA 2' +	
1	5321.32	5314.22	5321.83	5318.03	Р	5316.22	5.10
2	5319.08	5312.43	5319.05	5315.74	Р	5314.43	4.65
3	5318.40	5310.84	5316.08	5313.46	Р	5312.84	5.56
4	5317.28	5309.43	5313.25	5311.34	Р	5311.43	5.85
5	5317.28	5308.40	5310.47	5309.44	Р	5310.40	6.88
6	5315.18	5307.16	5308.99	5308.08	Р	5309.16	6.02
7	5313.35	5305.08	5307.50	5306.29	Р	5307.08	6.27
8	5311.41	5303.66	5305.70	5304.68	Р	5305.66	5.75
9	5309.46	5301.90	5304.39	5303.15	Р	5303.90	5.56
10	5307.52	5299.18	5302.98	5301.08	Р	5301.18	6.34
11	5305.57	5297.32	5302.36	5299.84	Р	5299.32	6.25
12	5303.02	5295.00	5299.58	5297.29	Т	5299.29	3.73
13	5301.84	5292.42	5298.50	5295.46	Т	5297.46	4.38
14	5301.60	5290.24	5297.10	5293.67	Т	5295.67	5.93
15	5301.68	5289.62	5297.10	5293.36	Т	5295.36	6.32
16	5301.63	5294.14	5296.57	5295.36	Т	5297.36	4.28
17	5301.03	5291.56	5294.77	5293.17	Р	5293.56	7.47



LOCATION MAP NOT TO SCALE

#### **SUBDIVISION DATA**

1. DRB No. 1006864

- 2. Zone Atlas Index Number: H-8 & H-9.
- 3. Zoning: SU-2 FOR PDA
- 4. Gross Subdivision Acreage: 72.8879 Ac.
- 5. Total number of Lots/Tracts Created: One hundred two (102) Lots and nine (9) Tracts.
- 6. 0 miles public street right-of-way created. 7. 1.11 miles private streets created.
- 8. Area of private streets created: 5.8558 Ac. 255,079 Sq. Ft. (Tract M-13).
- 9. Date of Survey: March, 2014.
- 10. Plat is located within Town of Atrisco Grant, projected Sections 8 & 9, Township 10 North, Range 2 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico.

#### **PURPOSE OF PLAT**

The purpose of this Plat is to Subdivide all of Tract M, Watershed Subdivision, as the same is shown and designated on the plat thereof, filed in the Office of the County Clerk of Bernalillo County, New Mexico on June 9, 2005 in Book 2005C, Page 198, all of Tract N-2-A-1, Correction Plat of DEL WEBB @ MIREHAVEN PHASE I, as the same is shown and designated on the plat thereof, filed in the Office of the County Clerk of Bernalillo County, New Mexico on September 4, 2014 in Book 2014C, Page 93, into 102 Lots and 9 Tracts, to grant new easements and to vacate easements.

#### DESCRIPTION

A certain tract of land situated within the Town of Atrisco Grant, projected Sections 8 & 9, Township 10 North, Range 2 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico, being and comprising all of Tract M, WATERSHED SUBDIVISION, as the same is shown and designated on the plat thereof, filed in the Office of the County Clerk of Bernalillo County, New Mexico on June 9, 2005 in Book 2005C, Page 198, and all of Tract N-2-A-1, Correction Plat of DEL WEBB @ MIREHAVEN PHASE I, as the same is shown and designated on the plat thereof, filed in the Office of the County Clerk of Bernalillo County, New Mexico on September 4, 2014 in Book 2014C, Page 93.

Tract Contains 72.8879 Acres

#### **PUBLIC UTILITY EASEMENTS**

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

- A. Public Service Company of New Mexico ("PNM"), a New Mexico corporation, (PNM Electric) for installation, maintenance, and service of overhead and underground equipment and related facilities reasonably necessary to provide electrical services.
- B. New Mexico Gas Company for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas.
- C. Qwest Corporation d/b/a CenturyLink QC for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide communication services.
- D. Cable TV for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable services.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, replace, modify, renew, operate and maintain facilities for purposes described above, together with free access to, from, and over said easements, with the right and privilege of going upon, over and across adjoining lands of Grantor for the purposes set forth herein and with the right to utilize the right of way and easement to extend services to customers of Grantee, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (above ground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.

Easements for electric transformer/switchgears, as installed, shall extend ten (10) feet in front of transformer/switchgear doors and five (5) feet on each side.

#### Disclaime

In approving this plat, Public Service Company of New Mexico (PNM), New Mexico Gas Company (NMGC) and Qwest Corporation D/B/A CenturyLink (QWEST) did not conduct a Title Search of the properties shown hereon. Consequently, PNM, NMGC and QWEST do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat.

#### FREE CONSENT AND DEDICATION

complete indefeasible title in fee simple to the land shown on this plat. Owner(s) hereby affirm that the described property shown on this plat lies within the platting and subdivision jurisdiction of Albuquerque, New Mexico, Said owner(s) hereby grant all Easements as may be shown on this plat in Fee Simple with Warranty Covenants. Private Access Easements are permanent.

PULTE HOMES OF NEW MEXICO, INC FOR TRACT M Sarret Price, Vice President of Land

Pulte Homes of New Mexico, Inc.

State of New Mexico )

) Bernalillo County of

This instrument was acknowledged before me on <u>5</u> day of <u>October</u> 2016, by <u>Garret Price</u> Vice President

My Commission Expires: 7/18/2019 Marylin Coleman Notary Rublic

DEL WEBB HOMEOWNERS ASSOCIATION FOR TRACT N-24 resident of Del Webb Homeowners Association

Bernalillo County of This instrument was acknowledged before me on 5 day of October President

#### NOTES

- Albuquerque Control Monuments "REWARD" and "BH 41". Bearing = N03°09'40"E
- 2. Distances are ground distances.
- Subdivision filed on June 9, 2005 in Book 2005C, Page 198 are shown in parenthesis ( ).
- Company. Commitment No. 1911525-AL04, Effective Date: March 6, 2014.
- collectors from being installed on buildings or erected on the lots or tracts within the area of proposed Plat. The foregoing requirement shall be a condition to approval of this plat". 6. Tracts M-1A, M-2, M-3, M-7A, M-11A and M-12 are to be owned and maintained by the Del Webb Homeowners
- Association 7. Tract M-13 is granted as a public Sanitary Sewer, Water and Subsurface Storm Drain Easement to be operated and
- Easement reserved for, granted to, and to be maintained by the Homeowners Association. 8. Portions of Tract N-2-A-1 and Tract M are located in Flood Zones "AO" and "X", per FIRM Map Number 3500C0326G,
- Revised August 16, 2012.
- "Gromatzky PS 16469" or a nail and washer stamped "line only".
- to the existing Petroglyph National Monument gate. M-2, Tract M-3 and Tract M-12.

13. PNM, NM Gas Company, Century Link (Qwest), and Comcast shall have the right to cross private streets (Tract M-13) at locations as mutually agreed upon by the owner and said named public utility company.

14. A Public Pedestrian Access Easement granted to the City of Albuquerque over a portion of Tract M-1A is granted with the filing of this plat. See sheet 2 and 3 for location and note.

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4. This Plat was prepared with information included in Title Commitment issued by First American Title Insurance

5. SOLAR NOTE - Pursuant to Section 14-14-4-7 of the City of Albuquerque Code of Ordinances, "No property within the area of this Plat shall at any time be subject to a deed restriction, covenant, or binding agreement prohibiting solar

maintained by the City of Albuquerque and ABCWUA. Tract M-13 is also granted as a permanent Private Access

9. The front (adjacent to street) lot corner will not be staked with the exception of intermediate "pc's and pt's". A witness corner projected along the property line being a chiseled "+" in the curb and gutter will be set upon completion of all street improvements. Offset distance will be adjusted by even foot increments to fall within the pan. Remaining lot corners will be marked with a 5/8" rebar and plastic cap stamped "Gromatzky PS 16469", a nail and washer stamped

10. Centerline monuments to be installed at centerline PC's, PT's, angle points and street intersections prior to acceptance of subdivision street improvements and will consist of a standard 3-1/4" aluminum alloy cap stamped "CITY OF ALBUQUERQUE", CENTERLINE MONUMENTATION", "SURVEY MARKER", "DO NOT DISTURB", "PLS 16469", 11. Access Easement is granted for vehicular access for the National Park Service for maintenance and Law Enforcement

12. Proposed Private Blanket Drainage Easement granted to the City of Albuquerque with the filing of this plat for Tract

SURVEYOR'S CERTIFICATION

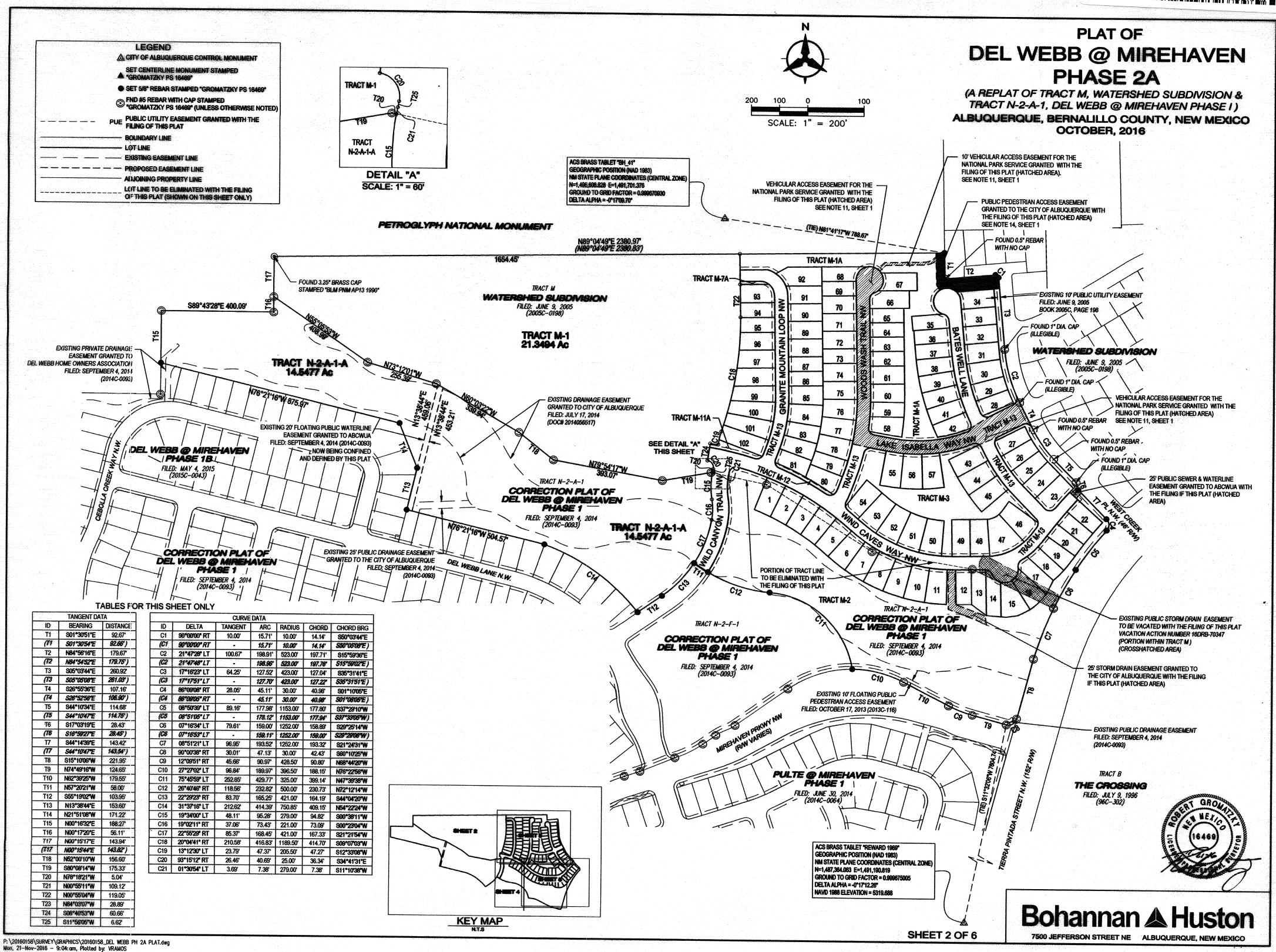
I. Robert Gromatzky, a registered Professional New Mexico Surveyor, certify that I am responsible for this survey and that this plat was prepared by me or under my supervision. shows all existing easements as shown on the plats of record, or made known to me by the owner, utility companies, or other interested parties and conforms to the Minimum Requirements of the Board of Registration for Professional Engineers and Professional Surveyors and meets the minimum requirements for monumentation and surveys contained in the Albuquerque Subdivision Ordinance, and is true and accurate to the best of my knowledge and belief.

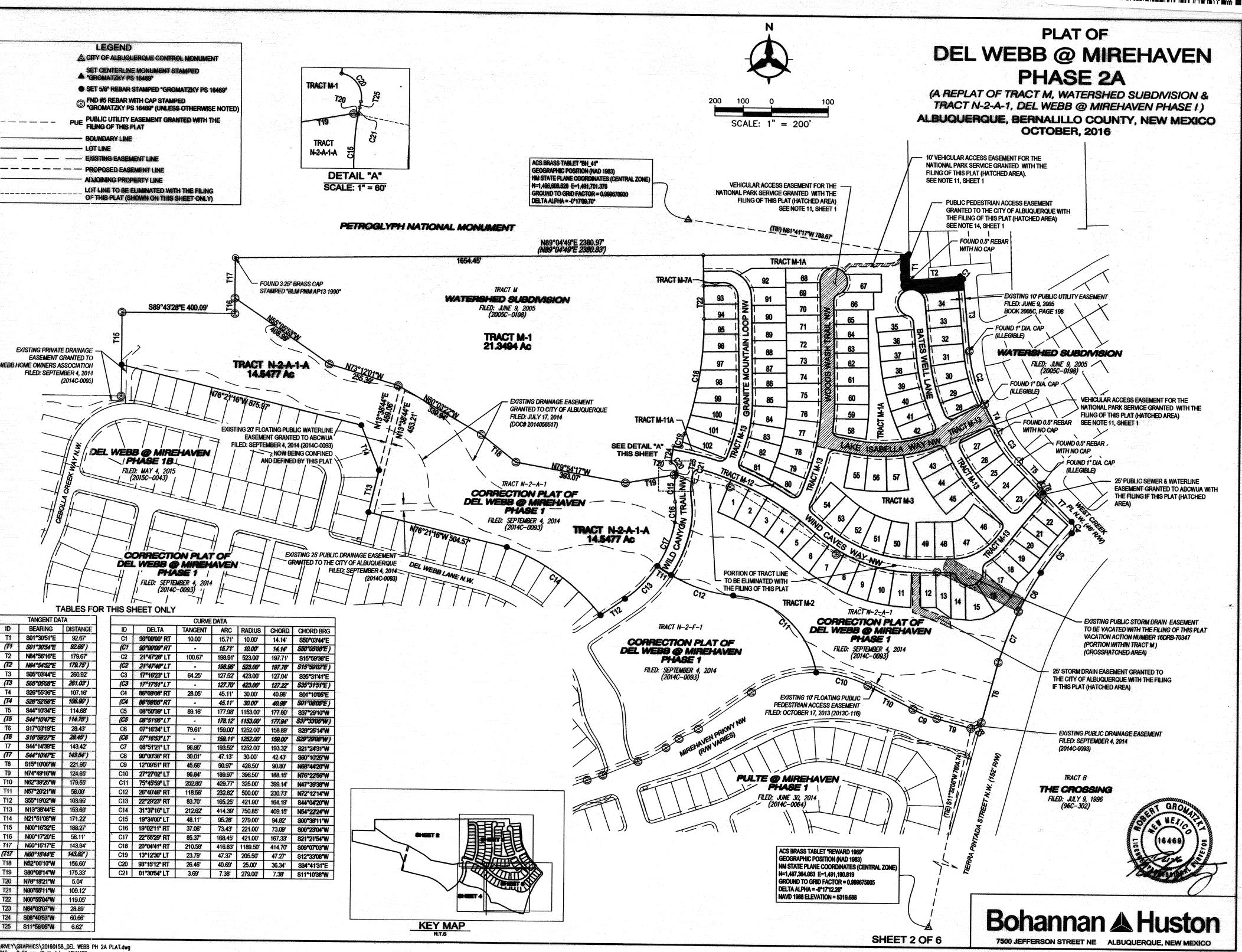
New Mexico Professional Sun

16469

Date: OCTOSON 5, 2016

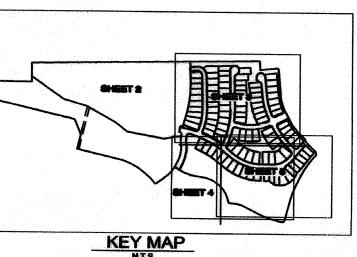
SHEET 1 OF 6

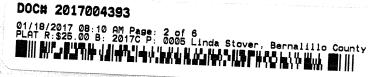


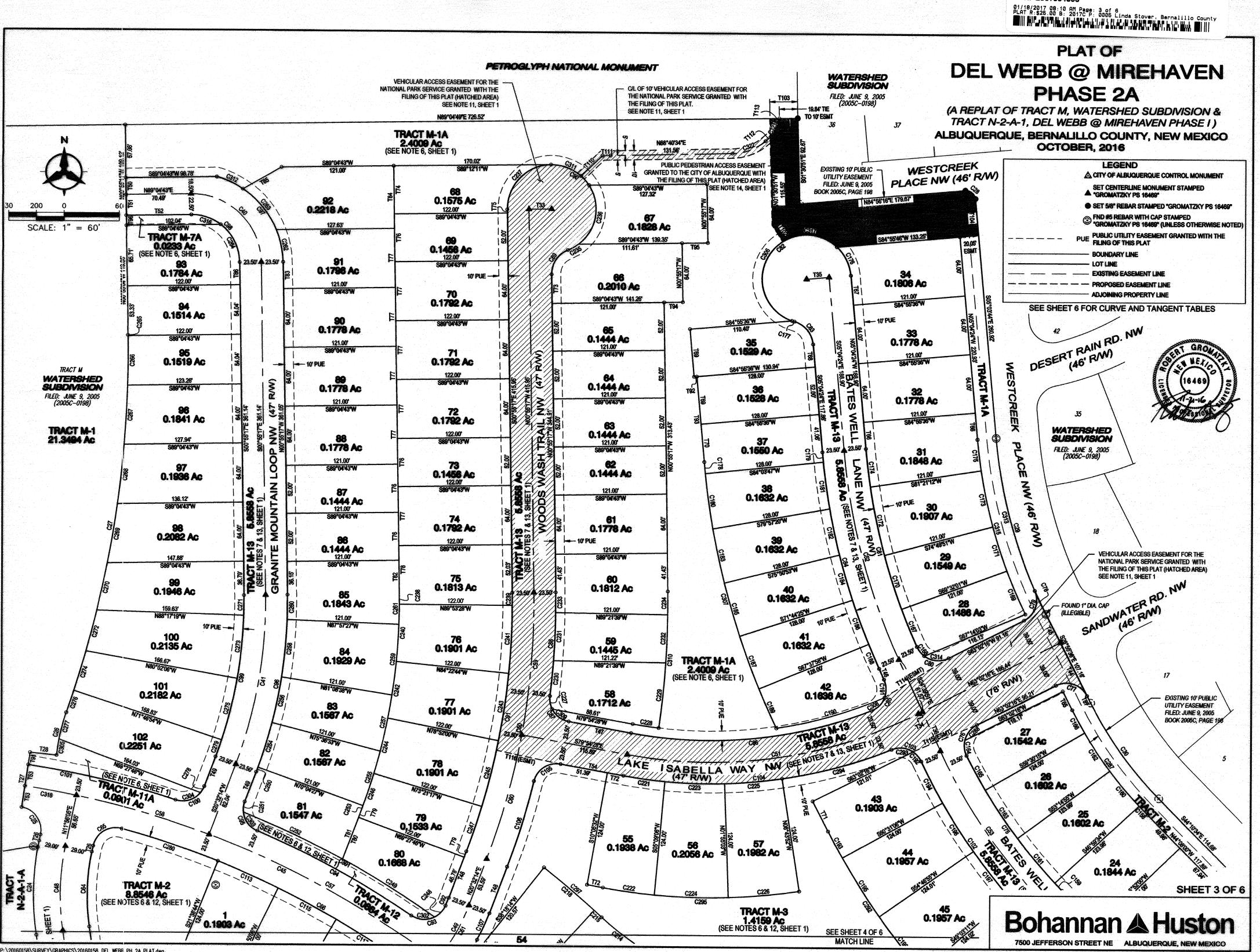


	TANGENT DA	TA
ID	BEARING	DISTANCE
T1	S01*30'51*E	92.67'
(11	S01°30'54"E	92.66')
T2	N84*56'16"E	179.67
(12	N84°54'52"E	179.75')
T3	S05°03'44"E	260.92
(13	S05°05'08"E	261.03")
T4	S26°55'36"E	107.16
(T4	S26°52'56"E	106.90')
T5	S44°10'34"E	114.68
(75	S44°10'47"E	114.75')
<b>T6</b>	S17*03'19*E	28.43'
(776	S16*5927*E	28,45')
17	S44°14'39'E	143.42'
(17	S44°10'47"E	143.54')
<b>T8</b>	S15*10'06"W	221.95
T9	N74°49'16"W	124.65
T10	N62*39'25*W	179.55
T11	N57°20'21"W	58.00'
T12	S55*19'02*W	103.95'
T13	N13°38'44'E	153.60'
T14	N21°51'08"W	171.22
T15	N00°16'32'E	188,27
T16	N00*17'20'E	56.11'
T17	N00°15'17"E	143.94'
(1117	N00°15'44"E	143.82")
T18	N52*00'10*W	156.60'
T19	S80°08'14"W	175.33'
T20	N78°18'21"W	5.04'
T21	N00°55'11"W	109.12
T22	N00°55'04"W	119.05'
T23	N84°03'07"W	28.89'
T24	S08°40'53"W	60.66'
TOP	CALOR HERE PAR	

ID	DELTA	TANGENT	ARC	RADIUS	CHORD	CHORD BRG
C1	90°00'00" RT	10.00'	15.71'	10.00'	14.14'	\$50°03'44"E
(C1	90°00'00" RT		15.71'	10.00"	14.14'	S50°05'08"E)
C2	21*47*28* LT	100.67*	198.91'	523.00'	197.71'	S15*59'36*E
(C2	21°47'48" LT	•	198.96*	523.00'	197.76	S15°59'02"E)
C3	- 17*16'23* LT	64.25'	127.52	423.00'	127.04'	835°31'41'E
(C3	17°17'51"LT		127.70	423.00'	127.22"	S35"31"51"E)
C4	86°09'08" RT	28.05'	45.11'	30.00'	40.98'	S01*10'05*E
(C4	86°09'05" RT	-	45.11'	30.00'	40.98'	S01°08'05'E)
C5	08°50'39" LT	89.16'	177.98'	1153.00'	177.80'	S37*2910*W
(C5	08°51'05*LT	-	178.12	1153.00'	177.94'	\$37*33'05'W)
C6	07°16'34" LT	79.61'	159.00'	1252.00'	158.89'	S29*25'14'W
(C8	07°16'53" LT	•	159,11'	1252.00'	159.00'	S29*29'06 W)
C7	08*51'21* LT	96.95	193.52	1252.00'	193.32	S21*24'31*W
<b>C8</b>	90*00'38" RT	30.01'	47.13'	30.00'	42.43'	S60°10'25*W
C9	12*09'51* RT	45.66'	90.97'	428.50'	90.80'	N68*44*20*W
C10	27*2702* LT	96.84'	189.97	396.50'	188.15'	N76°22'56"W
C11	75°45'59° LT	252.85	429.77	325.00'	399.14'	N47*39'38*W
C12	26*40'46* RT	118.56	232.82	500.00'	230.73'	N72*1214*W
C13	22°29'23° RT	83.70'	165.25'	421.00'	164.19'	S44*04'20*W
C14	31°37'16" LT	212.62	414.39	750.85'	409.15'	N54"22'24"W
C15	19*34'00* LT	48.11'	95.28'	279.00'	94.82'	S00"38'11"W
C16	19*02*11* RT	37.06'	73.43'	221.00'	73.09'	S00*23'04"W
C17	22"55'29" RT	85.37'	168.45'	421.00'	167.33'	S21"21'54"W
C18	20°04'41" RT	210.58	416.83'	1189.50'	414.70	S09*07'03*W
C19	13°12'30° LT	23.79'	47.37'	205.50'	47.27	S12*33'08"W
C20	93*15'12" RT	26.46'	40.69'	25.00'	36.34'	S34"41'31"E
C21	01°30'54" LT	3.69'	7.38'	279.00'	7.38'	S11°10'38"W

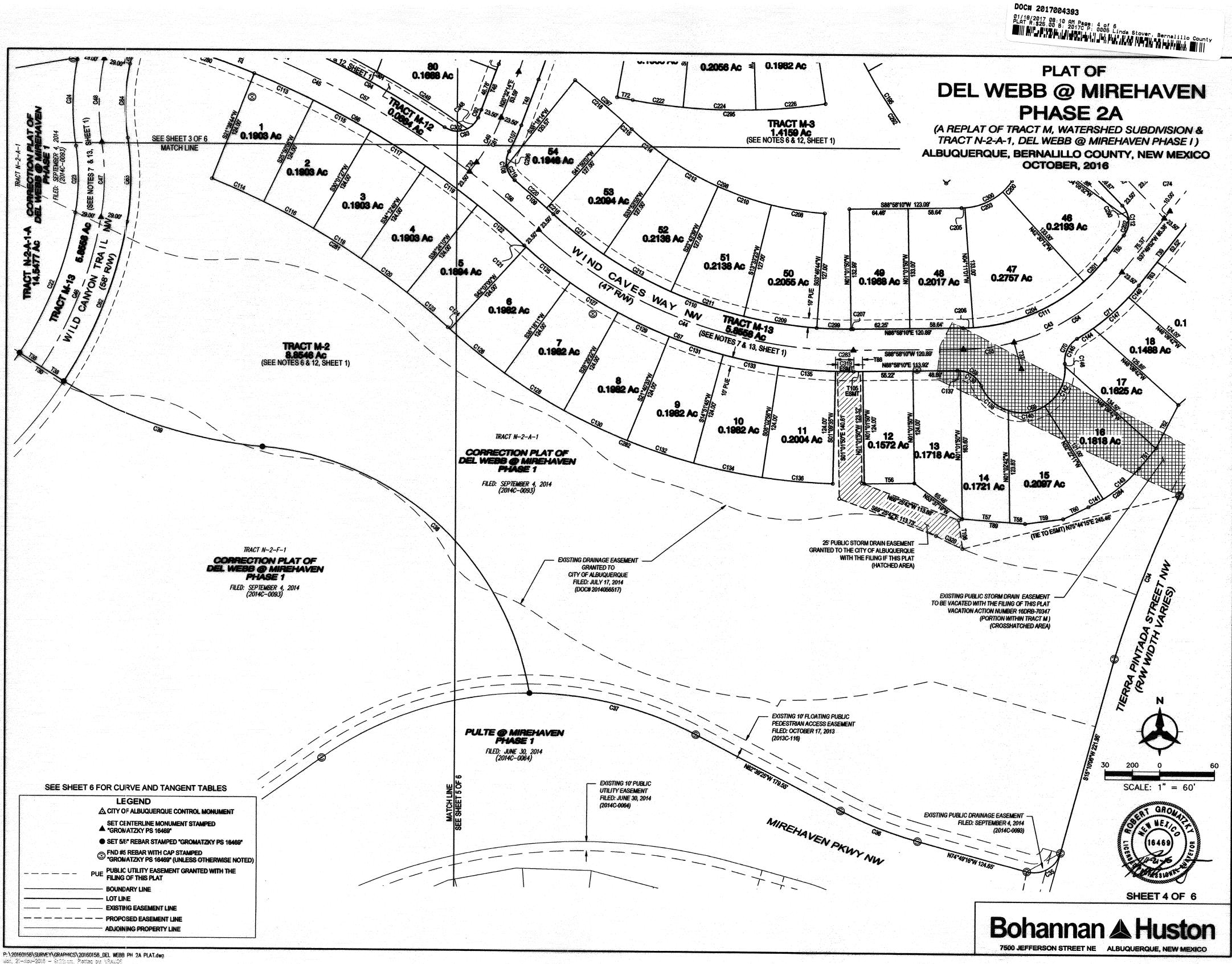


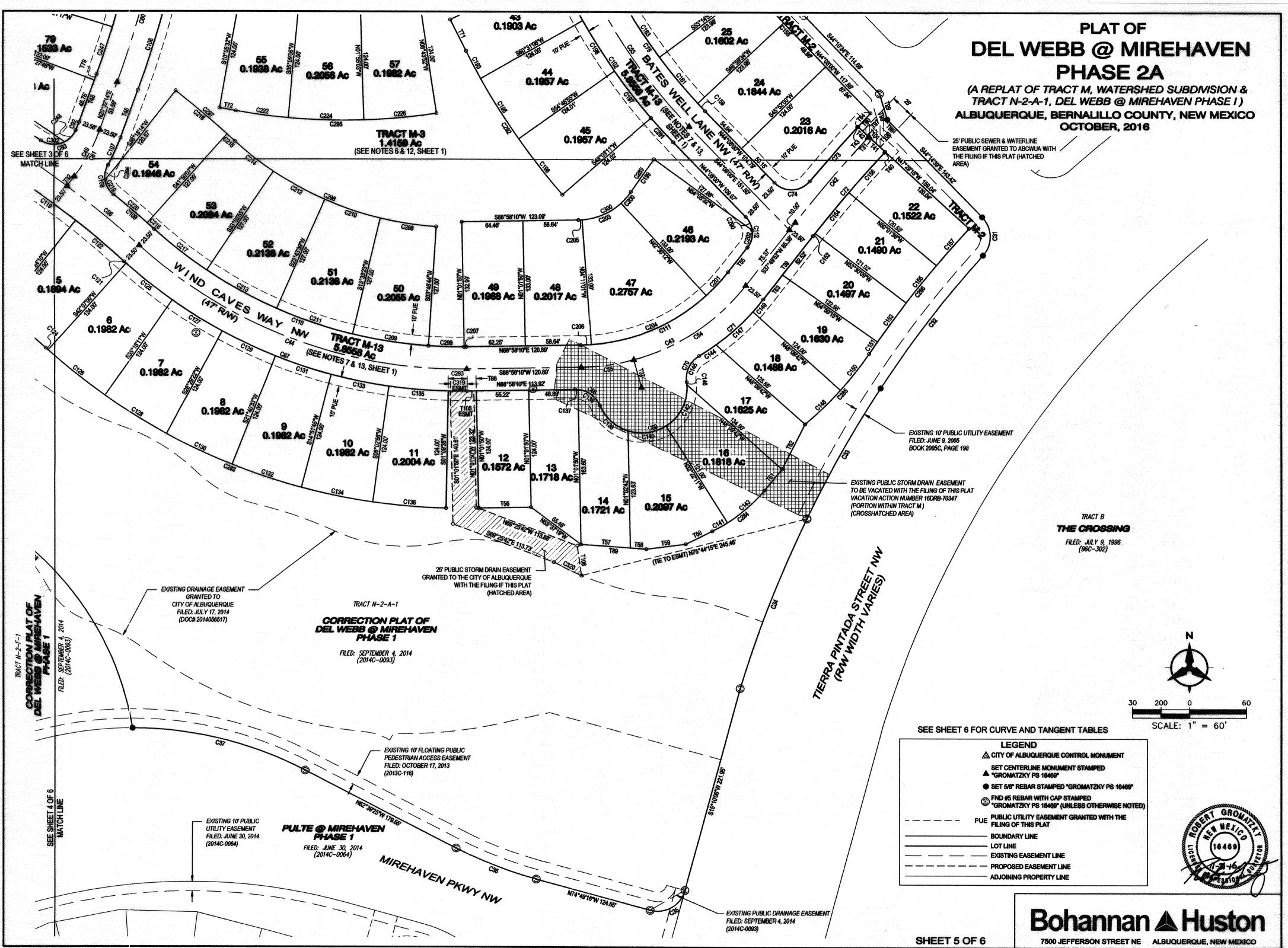




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Nos 27-Nov-2018 - Printer, Robert Str. RANC

DOCH 2017004393 01/18/2017 08:10 AM Page: 5 of 6 PLAT R:\$25.00 B: 2017C P: 0005 Linda Stover, Bernalillo County

ID	DELTA	TANGENT	Curve Data	a RADIUS	CHORD	CHORD BRG			THIOTHE	CURVE DA				<u> </u>	r	
C22	22*55'29" LT	85.37'	168.45'	421.00'	167.33'	N21*21'54'E	ID C122	DELTA 03°59'29" LT	TANGENT 34.03'	ARC 68.02'	RADIUS 976.50'	CHORD 68.01'	CHORD BRG N49*36'05'W	ID C222	DELTA 04°56'26" LT	TANGE 27.9
C23	19*03'03* LT	37.08'	73.48'	221.00	73.14'	N00°22'38"E	C123	03*59/29" RT	29.71'	59.39'	852.50'	59.37'	S49*36'05"E	C223	07*04'09" RT	32.3
C24 C25	21*04'13* RT 93*15'12" LT	51.89' 26.46'	102.60' 40.69'	279.00' 25.00'	102.02' 36.34'	N01°23'59"E N34°41'31"W	C124 C125	00°16'39" LT 06°48'49" RT	1.57' 31.16'	3.14' 62.25'	647.50' 523.50'	3.14' 62.22'	S47*44'41"E N51*17'25'W	C224	07°04'09" LT	39.9
C26	13°12'30' RT	23.79	47.37	205.50'	47.27	N12*33'08'E	C125	06°48'49" LT	38.55'	77.00'	647.50	76.95'	S51*1725*E	C225 C226	06°48'49" RT 06°48'49" LT	31.1
C27	20°04'41" LT	210.51	416.83	1189,50'	414.70	N09*07'03*E	C127	06°48'49" RT	31.16'	62.25'	523.50	62.22	N58°06'13"W	C227	33°46'22" LT	7.5
C28 C29	90°00'00" RT 21°47'28" LT	10.00' 100.6;"	15.71' 198.91'	10.00' 523.00'	14.14' 197.71'	S50°03'44"E S15"59'36'E	C128 C129	06°48'49" LT 06°48'49" RT	38.55' 31.16'	77.00 <sup>°</sup> 62.25 <sup>°</sup>	647.50' 523.50'	76.95' 62.22'	S58*06*13*E N64*55*02*W	C228 C229	03*27'09" LT 04*21'10" LT	14.0 35.5
C30	17°16'23" LT	64.25'	127.52	423.00'	127.04	\$35°31'41"E	C130	06°48'49° LT	38,55'	77.00'	647.50	76.95'	S64*5502*E	C230	02°41'27" RT	19.1
C31 C32	86°09'08" RT 08°50'39" LT	28.05' 89.16'	45.11' 177.98'	30.00' 1153.00'	40.98' 177.80'	S01°10'05'E S37°29'10'W	C131 C132	06*48'49" RT 06*48'49" LT	31.16' 38.55'	62.25' 77.00'	523.50 <sup>°</sup> 647.50 <sup>°</sup>	62.22	N71*43'51'W	C231	03*39'54* RT	26.0
C33	07°16'34" LT	79.61'	159.00'	1252.00	158.89	S29°25'14'W	C133	06°48'49' RT	31.16'	62.25'	523.50	76.95' 62.22'	S71°43'51"E N78°32'40'W	C232 C233	03°11'23" LT 01°33'39" RT	26.0
C34	08°51'21" LT	96.95'	193.52	1252.00'	193.32	S21*24'31*W	C134	06°48'49" LT	38.55'	77.00'	647.50'	76.95'	S78*32'40"E	C234	01°33'39" LT	12.7
C35 C36	90°00'38" RT 12°09'51" RT	30.01 <sup>-</sup> 45.66 <sup>-</sup>	47.13' 90.97'	30.00' 428.50'	42.43' 90.80'	S60°10'25"W N68°44'20"W	C135 C136	06*53'20* RT 06*53'20* LT	31.51' 38.97'	62.94' 77.85'	523.50' 647.50'	62.91' 77.81'	N85°23'44'W S85°23'44'E	C235 C236	15°49'49" LT 85°25'43" RT	6.67 44.3
C37	27°27'02" LT	96.84	189.97	396.50	188.15	N76*22'56*W	C137	06°22'14" LT	1.56	3.11	28.00	3.11'	N87°50'43'W	C230	90°01'16" RT	44.3
C38	75°45'59* LT	252.81	429.77	325.00'	399.14	N47°39'38"W	C138	49°12'46° RT	21.98	41.23'	48.00'	39.97'	N48*00'43"W	C238	01°01'49" RT	5.80
C39 C40	26°40'46" RT 90°00'00" RT	118.56 <sup>°</sup> 75.00'	232.82'	500.00 <sup>4</sup> 75.00 <sup>4</sup>	230.73'	N72°12'14"W S45°55'17"E	C139 C140	61°15'16" LT 49°45'04" RT	16.58' 22.26'	29.93' 41.68'	28.00' 48.00'	28.53' 40.38'	N54*01*58*W S82*30/21*W	C239 C240	01*01'49* LT 05*30'44* RT	6.8 31.0
C41	21°27'31" RT	94.74'	187,26	500,00'	186.17	S09*48*28*W	C141	06°16'53° LT	9.27	18.53'	169.00'	18.52'	N60*46'16'E	C241	05°30'44" LT	36.9
C42 C43	05°07'24" LT 51°08'18" RT	59.41' 107.65'	118.75' 200.82'	1328.00' 225.00'	118.71' 194.22'	S40°23'34"W S63°24'01"W	C142 C143	61*32'06" RT 17*35'53* LT	28.58' 26.16'	51.55' 51.91'	48.00' 169.00'	49.11' 51.70'	S26°51'46°W N48°49'53°E	C242 C243	05°30'44" RT	31.0
C44	43°25'29" RT	199.1()*	378.95	500.00'	369.95	N69°19'05"W	C144	04*54'45' RT	10.66'	21.31	248.50	21.30'	\$56°22'24"W	C243	05°30'44" LT 05°30'44" RT	36.9 31.0
C45 C46	33°42'46" LT 22°54'51" LT	302.91)' 91.20'	588.40	1000.00' 450.00'	579.95	N64°27'44"W	C145	66°14'41" LT	18.27'	32.37'	28.00'	30.60'	\$25°42'27'W	C245	05°30'44" LT	36.9
C40 C47	19°02'37" LT	91.20 41.93'	179.97' 83.09'	450.00	178.77 <sup>.</sup> 82.71'	N21°21'35'E N00°22'51'E	C146 C147	03*30'37" RT 12*04'43" RT	1.47 <sup>*</sup> 26.29'	2.94' 52.39'	48.00' 248.50'	2.94'	905°39'35"E \$47"52'40"W	C246 C247	03°53'31" RT 03°53'31" LT	21.9 26.0
C48	21°04'33" RT	46.51'	91.96'	250.00'	91.44'	N01"23'49"E	C148	08°01'28" LT	26.13'	52,17	372.50	52.13'	N45*51'02*E	C248	39*31'50* RT	8.9
C49 C50	16*10'18* LT 21*27'31* LT	28.41' 149.6!?	56.45' 295.88'	200.00' 790.00'	56,26' 294.15'	N28°37'23'E N09°48'28'E	C149 C150	04°00'26" RT 07°33'57" LT	8.69' 24.63'	17.38' 49.19'	248.50' 372.50'	17.38' 49.15'	S39*50'05"W	C249	06°29'45° LT	58.8
C51	37°00'13° LT	167.3.?	322.92	500,00'	317.33	N81"35'25'E	C150	00°44'56° RT	7.74	45.15	1183.50'	49.15 15.47'	N38*03'20"E N34*38'50"E	C250 C251	00°36'41" RT 26°38'06° LT	2.79
C52 C53	19*35'27* LT 19*28'10* LT	118.6" 103.1"	234.90' 204.22'	687.00 <sup>+</sup> 601.00 <sup>+</sup>	233.76 203.24	S14°52'07"E	C152	00°09'29" LT	1.80	3.60'	1304.50'	3.60'	\$37*54'37*W	C252	06°34'05" RT	59.4
C53 C54	19"28"10" LT 36"47"41" RT	103.11 74.84	204.22	601.00 <sup>-</sup> 225.00 <sup>-</sup>	203.24 142.02	S34°23'55"E S56°13'43"W	C153 C154	02*28'33* RT 02*28'32* LT	25.57' 28.18'	51.14' 56.36'	1183.50' 1304.50'	51.14' 56.36'	N36°15'34"E S39°13'37"W	C253 C254	00°36'41" LT 05°32'06" RT	3.4
C55	14°20'37" RT	28.31'	56.33'	225.00'	56.18'	S81*47'52*W	C155	02°28'33" RT	25.57	51.14'	1183.50'	51.14'	N38*44'07*E	C255	05*32'06* LT	31.1
C56 C57	05°41'07" LT 16°10'18" LT	49.65' 142.0i"	99.23' 282.25'	1000.00'	99.19' 281.31'	N50°26'55'W N61°22'37'W	C156 C157	02*32*17* LT 02*32*22* RT	28.90' 26.23'	57.79' 52.45'	1304.50' 1183.50'	57.78' 52.45'	S41°44'02"W N41°14'34"E	C256 C257	05*32'06* RT 05*32'06* LT	25.3
C58	08*36'09" LT	75.21'	150.14	1000.00'	150.00'	N73°45′50"W	C158	01*43'00" RT	6.80'	13.59'	453.67	13.59'	N43*51'14*W	C257	05 3206 LT	31.1
C59 C60	11*14'44" RT 10*12'48" RT	77.78' 70.60'	155.05' 140.82'	790.00 <sup>°</sup> 790.00 <sup>°</sup>	154.80' 140.64'	S04°42'04"W	C159	01*07'34" LT	5.68'	11.35'	577.50	11.35'	S43°34'13'E	C259	06°48'49" LT	38.3
C61	16°10'18" RT	28.41'	56.45'	200.00	140.64 56.26'	S15°25'50'W S28°37'23'W	C160 C161	06°15'13° RT 06°15'21° LT	24.78' 31.56'	49.52' 63.05'	453.67' 577.50'	49.49' 63.02'	N39*52'08'W S39*52'46'E	C260 C261	02*57'50* RT 02*57'50* LT	13.5 16.6
C62	22°54'17" LT	97.04'	191.49	479.00'	190.21'	N21"21'18"E	C162	06°15'13" RT	24.78'	49.52'	453.67	49.49'	N33*36'55"W	C262	21°01'12" RT	18.1
C63 C64	19*02'37* LT 21*04'33* RT	46.80' 41.11'	92.73' 81.29'	279.00' 221.00'	92.31' 80.84'	N00°22'51"E N01°23'49"E	C163 C164	06°15'21" LT 39°06'15" LT	31.56' 8.88'	63.05' 17.06'	577.50' 25.00'	63.02' 16.73'	S33*3725*E S06*43*21*E	C263 C264	33*54'30" LT 52*31'06" LT	29.8
C65	93°15'12" RT	26.46'	40.69'	25.00'	36.34'	N58"33'41"E	C165	04°13'16" LT	21.28'	42.55'	577.50	42.54'	S28*23'07"E	C265	00°02'03" RT	25.6
C66 C67	27°12'22" RT	236.217	463.68	976.50	459.33	S61°12'32"E	C166	03*31'27" RT	13.96'	27.90'	453.67	27.90	N28°43'35"W	C266	02°36'15" RT	27.0
C68	43°25'29° LT 67°37'29° RT	208.46 18.75	396.76' 33.05'	523.50' 28.00'	387.33' 31.16'	S69°19'05"E S57°13'05"E	C167 C168	03°48'02" LT 28°57'00" LT	22.01' 6.45'	44.01' 12.63'	663.50' 25.00'	44.00' 12.50'	S22°22'00"E S38°44'31"E	C267 C268	03°05'29" RT 03°06'30" RT	32.1 32.2
C69	164°00'33" LT	341.74	137.40'	48.00'	95.07	N74"35'23"E	C169	05°24'20° RT	25.61'	51.18'	542.50	51.16	N23°10'09"W	C269	03*08'05" RT	32.5
C70 C71	66*14'41" RT 20*59'55" LT	18.27 46.05'	32.37 <sup>4</sup> 91.07 <sup>4</sup>	28.00' 248.50'	30.60' 90.56'	N25*42*27*E N48*19'50*E	C170 C171	05°17'51" LT 05°17'51" RT	30.69' 25.10'	61.35 <sup>-</sup> 50.16 <sup>-</sup>	663.50 <sup>°</sup> 542.50 <sup>°</sup>	61.32' 50.14'	S17*49'04"E N17*49'04"W	C270 C271	02*32'28* RT	26.3
C72	05°07'24" RT	58.36'	116.64'	1304.50'	116.61'	N40°23'34"E	C172	06*31'21* LT	37.81'	75.53'	663.50'	50.14 75.49'	S11°54'28'E	C272	02°37'58° LT 02°11'55° RT	10.9
C73	03°15'21" LT	38.18	76.35	1343.50'	76.34'	S41°19'35"W	C173	06°31'21" RT	30.91'	61.76'	542.50'	61.72'	N11*54'28'W	C273	08*15'13" LT	34.3
C74 C75	96°10'05" RT 17°51'32" RT	27.85 90.74	41,96' 180.00'	25.00' 577.50'	37.21' 179.28'	\$87°46'57"W N35°12'14"W	C174 C175	03*34'24" LT 03*34'24" RT	20.70' 16.92'	41.38' 33.83'	663.50' 542.50'	41.37' 33.83'	S06*51'36"E N06*51'36"W	C274 C275	02*08'35" RT 08*15'13" LT	22.2
C76	89°18'44" RT	24.70'	38.97'	25.00'	35,14'	N18"22'54"E	C176	41°51'46' RT	18.36'	35.07	48.00'	34.30'	S26*00'16*E	C276	01*13'21" RT	12.6
C77 C78	90°02'08" RT 03°04'01" RT	25.02 <sup>-</sup> 14.00 <sup>-</sup>	39.29' 27.99'	25.00' 523.00'	35.37' 27.99'	S71°56'40'E N25°21'19'W	C177 C178	03°12'54° LT 00°51'50° LT	1.35 6.32	2.69'	48.00' 838.50'	2.69' 12.64'	S72*39'22"E S05*30'18"E	C277 C278	06°19'04" LT 18°28'21" LT	14.9 4.07
C79	86°51'35" RT	23.67'	37.90'	25.00'	34.37'	S19*36'29'W	C179	00°51'50' RT	5.36'	10.71'	710.50	10.71	N05*30*18*W	C279	02°19'08" LT	9.64
C80 C81	92*41'43* RT 19*11'38* RT	26.20' 112.15/	40.45' 222.27'	25.00' 663.50'	36.18'	N70°36'53"W	C180	04°06'27" LT	30.07'	60.11'	838.50	60.10'	907*59'27"E	C280	06°27'27" RT	55.0
C82	249°11'26" LT		208.76'	48.00'	221.23' 79.03'	N14°40'12"W S50°19'54"W	C181 C182	04°06'27" RT 04°06'27" RT	25.48' 25.48'	50.94' 50.94'	710.50 <sup>°</sup> 710.50 <sup>°</sup>	50.92' 50.92'	N07°59'27"W N12°05'54"W	C281 C282	20°44'55° RT 41°14'03° LT	156.0 243.0
C83	69°11'26" RT	19.31	33.81'	28.00'	31.80'	S39°40'06"E	C183	04°06'27" LT	30.07'	60.11'	838.50	60.10'	S12*05'54*E	C283	02"11'25" LT	10.0
C84 C85	19°35'27" LT 93°01'24" RT	122.67* 26.36	242.94' 40.59'	710.50' 25.00'	241.76' 36.28'	S14°52'07"E S21°50'51"W	C184 C185	04°06'27" RT 04°06'27" LT	25.48' 30.07'	50.94' 60.11'	710.50' 838.50'	50.92' 60.10'	N16°12'21'W S16°12'21'E	C284 C285	23*52'46" LT 15*36'25" LT	35.7 50.9
C86	31*43'58" RT	135.481	263.91'	476.50	260.55'	S84*13'33"W	C186	04°06'27" RT	25.48'	50.94'	710.50	50.92	N20*18'48"W	C285	08°14'23" RT	85.2
C87 C88	86°54'10" RT 07°54'59" LT	23.68 56.29	37.92' 112.40'	25.00' 813.50'	34.39' 112.31'	N36°27'23"W N03°02'12"E	C187 C188	04*06*27* LT 02*17*49* RT	30.07*	60.11 <sup>1</sup>	838.50	60.10'	S20*1848*E	C287	17°44'53" RT	70.8
C89	69°11'26" RT	19.31	33.81'	28.00'	31.80'	N33°40'25"E	C189	02 1/ 49 KI	14.24' 23.41'	28.48' 46.82'	710.50 <sup>°</sup> 838.50 <sup>°</sup>	28.48' 46.81'	N23*30'56'W S23*58'00'E	C288 C289	50°12'29" RT 01°38'06" RT	11.7
C90	249°11'26" LT		208.76	48.00'	79.03'	N56°19'35"W	C190	14°57'07" LT	61.48'	122.26	468.50'	121.91'	N73°33'05'E	C290	36°52'38" LT	8.34
C91 C92	21°27'31" RT 03°03'37" RT	145.24° 4.71'	287.07 <sup>*</sup> 9.43 <sup>*</sup>	766.50' 176.50'	285.40' 9.43'	S09°48'28"W S22°04'02"W	C191 C192	44°42'52° LT 32°32'22° LT	10.28' 7.30'	19.51' 14.20'	25.00' 25.00'	19.02' 14.01'	N02*18'24"W N41*06'38"W	C291 C292	03°10'43" RT 13°58'59" RT	17.3 91.8
C93	100°14'39" RT	29.92	43.74'	25.00'	38.37'	\$73°43'10"W	C193	02°30'49" LT	16.42'	32.84'	748.67	32.84'	S28°13'15'E	C292	54°47'45" LT	91.8
C94 C95	10°39'11" LT 87°20'55" RT	95.43 23.87	190.30' 38,11'	1023.50' 25.00'	190.03' 34.53'	N61*29'06"W	C194	04°38'27" RT	25.31' 27.50'	50.58'	624.50 <sup>°</sup>	50.57	N27*09'41*W	C294	13°26'42" RT	61.7
C96	21°27'31° LT	23.87 99.19	38.11 196.06'	25.00 <sup>°</sup> 523.50 <sup>°</sup>	34.53 194.92	N23°08'14"W N09°48'28"E	C195 C196	05°44'07" LT 05°44'11" RT	37.50 <sup>°</sup> 31.29 <sup>°</sup>	74.94' 62.52'	748.67 <sup>°</sup> 624.50 <sup>°</sup>	74.91' 62.50'	S32°20'43"E N32"21'00"W	C295 C296	18°49'23" RT 37°52'35" LT	107.3
C97	73°22'15' LT	72,95	125.39'	97.92	116.99'	N37*47'59"W	C197	05°44'12' RT	31.29'	62.53'	624.50'	62.50'	N38"05'11"W	C297	04°05'25" RT	41.0
C98 C99	90°00'16" RT 21°27'31" RT	52.00 90.29	81.68' 178.46'	52.00' 476.50'	73.54' 177.42'	S45°22'12"E S09°48'28"W	C198 C199	05°44'03° LT 01°38'06° LT	37.49' 21.23'	74.93' 42.45'	748.67 1487.50'	74.90' 42.45'	S38*04'47"E	C298	38°36'55" LT	122.4
C100	87°20'55" RT	23.87	38.11'	25.00'	34.53'	S64°12'42"W	C200	13*13'26" RT	7.94	42.45	68.50'	42.45	\$35*05'25*W \$40*53'05*W	C299 C300	04°32'40" LT 54°41'49" LT	18.9 35.4
C101	09°12'17" LT	82.39	164.43'	1023.50'	164.25	N76°42'59'W	C201	09*39'55" LT	17.04'	33.99	201.50	33.95'	N42*39'50"E	C301	13°03'50" RT	118.6
C102 C103	19°17'33" RT 87°20'07" LT	106.157 23.86	210.28' 38.11'	624.50' 25.00'	209.29' 34.52'	N34°29'14"W N68°30'30"W	C202 C203	45°05'14" LT 38°19'11" RT	10.38' 23.80'	19.67' 45.81'	25.00 <sup>•</sup> 68.50 <sup>•</sup>	19.17' 44.96'	N15°17'15"E S66°39'23"W	C302 C303	60°42'49' RT 60°42'49' RT	14.6 14.6
C104	32°16'06" RT	151.44	294.83'	523.50'	290.95'	\$83°57'29'W	C204	38°19'11" LT	70.01'	134.76	201.50	132.27	N66*39/23*E	C304	60"4249" RT	14.6
C105 C106	86°27'55" LT 06°54'37" RT	23.50 49.12	37.73' 98.12'	25.00' 813.50'	34.25' 98.06'	S56°51'34"W	C205	03°09'12" RT 03°09'12" LT	1.89'	3.77	68.50' 201 50'	3.77	\$87°23'35'W	C305	04*53'26* RT	8.78
C106	08°09'06" RT	49.12 15.93	31.80'	223.50	31.77	S17*04'55*W S24*36'48*W	C206 C207	03°09'12" LT	5.55' 1.10'	11.09' 2.20'	201.50' 476.50'	11.09 2.20'	N87*23/35"E N89*06'07"E	C306 C307	204*06'46" LT 20*29'35* LT	151.5
C108	79°27'45' LT	20.78	34.67'	25.00'	31.96'	S11°02'30"E	C208	09°46'38" RT	29.89'	59.64'	349.50	59.57'	N81*19'56'W	C308	48°18'32" RT	11.2
C109 C110	03°10'01" RT 43°25'29" LT	28.29 189.74'	56.57' 361.14'	1023.50' 476.50'	56.57' 352.56'	S49°11'22"E S69°19'05"E	C209 C210	09°46'38° LT 10°10'16° RT	40.76' 31.10'	81.31' 62.04'	476.50' 349.50'	81.21' 61.96'	S81*1956"E	C309	53*07'48" RT	12.5
C110 C111	51°08'18" LT	96.41	179.85'	201.50	352.56 173.94'	N63°24'01"E	C210 C211	10°10'16" LT	31.10 42.41'	62.04 84.59'	349.50 476.50	61.96 <sup>°</sup> 84.48'	N71°21'29'W S71°21'29'E	C310 C311	09°06'12" LT 57°54'38" LT	74.4
C112	81°57'53" LT	21.72	35.76'	25.00' 976.50'	32.79' 71.39'	N03*09'04"W	C212	10°10'16" RT	31.10'	62.04'	349.50	61.96'	N61°11'13"W	C312	18°26'33° LT	15.9
C113 C114	04°11'22" LT 04°11'22" RT	35.72 31.18	71.40' 62.33'	976.50' 852.50'	71.38' 62.32'	N66*15'35"W S66*15'35"E	C213 C214	10°10'16" LT 08°29'44" RT	42.41' 25.96'	84.59' 51.82'	476.50' 349.50'	84.48' 51.77'	S61*11'13"E N51*51'13"W	C313 C314	18°43'27" LT 63°44'43" RT	86.2 15.5
C115	04°11'22" LT	35.72	71.40'	976.50'	71.38'	N62*04'13"W	C215	00°33'32" LT	5.61'	11.22'	1150.50'	11.22'	N47*53'07*W	C314 C315	20°47'56' RT	99.5
C116	04°11'22" RT 04°11'22" LT	31.18 35.72	62.33' 71.40'	852.50 <sup>°</sup> 976.50 <sup>°</sup>	62.32' 71.38'	S62*04'13*E N57*52'52*W	C216	00°33'32" RT	4.99'	9.98'	1023.50'	9.98'	S47*53'07*E	C316	37°29'10" LT	17.6
		W.12				Contraction of the second s	C217	08°29'44" LT	35.39'	70.65'	476.50	70.59'	S51°51'13"E	C317	75°38'59" LT	37.2
C117 C118	04°11'22" RT	31.18	62.33'	852.50'	62.32	S57°52'52'E	C218	03*31'53* LT	35.47'	1 10.51	1150.50'	70.90	WAS DOTA AN	1 (2318	03°15'12" I T	1 MA
C117		31.18 35.72 31.18	62.33' 71.40' 62.33'	852.50' 976.50' 852.50'	62.32 71.38 62.32'	857*5252'E N53*41'30'W S53*41'30'E	C218 C219 C220	03°31'53° L1 41°35'10° LT 02°36'29' RT	9.49' 23.30'	18.15' 46.59'	25.00' 1023.50'	17.75' 46.59'	N49°55'49'W S29°58'47"E S49°28'08"E	C318	03°15'12" LT	28.4

P:\20160158\SURVEY\GRAPHICS\20160158\_DEL WEBB PH 2A PLAT.dwg won, 21-Nov-2018 - St20:cm, Pictus Dy VRANOS

TANGENT	CURVE DA	RADIUS	CHORD	CHORD BRG
27.93' 32.34'	55.83'	647.50	55.82	S82*22'41"E
32.34	64.59' 79.89'	523.50' 647.50'	64.55' 79.84'	N88*22'58*W \$88*22'58*E
31.16'	62.25'	523.50	62.22'	S84*40'33*W
38.55'	77.00	647.50	76.95'	N84*40'33*E
7.59	14.74'	25.00'	14.52'	S09*53'29'E
14.06	28.11'	466.50	28.11'	S81*38'03*E
35.51'	70.99'	934.50' 813.50'	70.98' 38.20'	N06*00*20*E S05*38*58*W
26.03	52.04'	813.50	52.03'	S02*28'18"W
26.02	52.03'	934.50'	52.02	N02*14'03"E
11.08'	22.16'	813.50'	22.16'	S00"08'28"E
12.73'	25.46	934.50	25.46'	N00°08'28'W
6.67 44.32	13.26' 71.57'	48.00' 48.00'	13.22'	N60*21'14"E
48.02	75.42	48.00	65.12 <sup>4</sup> 67.89 <sup>4</sup>	S09°43'28'W N44°05'20'E
5.80	11.59	644.50'	11.59'	S00*24'23"E
6.89	13.78'	766.50'	13.78'	N00*24*23*W
31.03'	62.00'	644.50'	61.98'	S02*51'54*W
36.90' 31.03'	73.74'	766.50	73.71'	N02*51'54"E
36.90'	62.00' 73.74'	644.50' 766.50'	61.98 <sup>•</sup> 73.71 <sup>•</sup>	S08*22'38*W N08*22'38*E
31.03'	62.00	644.50'	61.98'	S13*53'21"W
36.90'	73.74'	766.50'	73.71'	N13*53'21"E
21.90'	43.78'	644.50'	43.77	S18*35'29"W
26.04'	52.06'	766.50	52.05'	N18°35'29"E
8.98' 58.82'	17.25'	25.00'	16.91' 117.45'	S43*21'45"W N58*12'04"W
2.79	5.59	523.50	5.59	S20°13'53"W
5.92	11.62'	25.00'	11.52'	S07*13'11"W
59.47'	118.82	1036.50	118.75'	364*43'59*E
3.44'	6.88'	644.50'	6.88	N20*13'53"E
25.31' 31.15'	50.57' 62.26'	523.50' 644.50'	50.55' 62.24'	S17*09'30"W N17*09'30"E
25.31'	50.57	523.50'	62.24 50.55'	S11*37'24"W
31.15'	62.26'	644.50'	62.24'	N11*37'24"E
31.16'	62.25'	523.50'	62.22	S05*26'57*W
38.37	76.64	644.50'	76.60'	N05*26'57"E
13.54' 16.67'	27.08' 33.34'	523.50' 644.50'	27.08'	S00*33'38"W N00*33'38"E
18.17	35.92'	97.92	35.72'	S11*3727*E
29.85'	57.95'	97.92'	57.11'	N39*05'18*W
25.65'	47.66'	52.00'	46.01'	N26*37'37*W
0.36	0.71'	1189.50'	0.71'	S00*54'16*E
27.04' 32.10'	54.06' 64.18'	1189.50' 1189.50'	54.06' 64.17'	900°24'53'W
32.27	64.53'	1189.50	64.52	903°15'45"W 906°21'44"W
32.55'	65.08'	1189.50'	65.07'	S09*29'01*W
26.38'	52.76'	1189.50	52.75'	S12°19'18'W
10.95'	21.90	476.50	21.89'	N00*23'42*E
22.83' 34.38'	45.65' 68.64'	1189.50' 476.50'	45.64' 68.58'	S14*41'30"W N05*50'17"E
22.25'	44.49'	1189.50'	44.49'	S16*51'45'W
34.38'	68.64'	476.50'	68.58'	N14*05'30*E
12.69'	25.38'	1189.50'	25.38'	S18*32'43"W
14.94'	29.83'	205.50	29.81'	S14*59'52"W
4.07' 9.64'	8.06' 19.28'	25.00 <sup>°</sup> 476.50 <sup>°</sup>	8.03 <sup>°</sup> 19.28'	N29*46*24*E N19*22*40*E
55.09'	110.05'	976.50	110.00	S71"34'59"E
156.07	308.72	852.50'	307.03'	S57*58'48*E
243.60'	465.99'	647.50'	456.00'	968*13'23*E
10.01'	20.01'	523.50'	20.01'	S89*56'07*E
35.74' 50.99'	70.43'	169.00 <sup>°</sup> 372.50 <sup>°</sup>	69.93' 101.05'	N51*58'20'E
30.99 85.25'	101.36	3/2.50	101.05' 170.06'	N42*04'04*E N38*23'34*E
70.83	140.53'	453.67	139.97	N35*50'18"W
11.71'	21.91'	25.00'	21.21'	N37*56'01*E
21.23	42.45'	1487.50'	42.45'	N35°05'25"E
8.34' 17.33'	16.09' 34.65'	25.00' 624.50'	15.81' 34.64'	N25°41'41"W
91.81	34.60 182.71'	624.50 748.67	34.64	N42*32'39'W N33*57'20'W
12.96'	23.91'	25.00'	23.01'	N84*46'41"W
61.71'	122.84'	523.50'	122.56	\$74°32'47"W
107.33	212.72	647.50	211.77	N89*19'10"W
8.58'	16.53' 82.13'	25.00'	16.23'	S09*45'05'W
41.08'	82.13' 235.55'	1150.50 <sup>°</sup> 349.50 <sup>°</sup>	82.11' 231.12'	\$49*39'03*E \$66*54'48*E
18.91'	37.79	476.50	37.78	300 0440 E S88°29'36'E
35.43'	65.39'	68.50'	62.94'	N61*37*16*E
118.68	236.33	1036.50'	235.82	S61*29/06*E
14.64'	26.49'	25.00'	25.27'	N86*30'55*W
14.64' 17.14'	26.49' 30.05'	25.00' 25.00'	25.27' 28.28'	N36*27'17"W S73*26'52"W
8.78	17.54	205.50'	17.54	N08°23'37"E
	171.00'	48.00'	93.88'	S31*00'28'W
151.57	299.91'	838.50	298.31'	S15*19'11"E
11.21'	21.08'	25.00'	20.46'	\$44°12'18'W
12.50'	23.18	25.00'	22.36	N53*20'34'W
74.40' 26.56'	148.48' 48.52'	934.50' 48.00'	148.32' 46.48'	N03*37'49'E N61*56'43'W
15.90'	31.52	97.92	31.38'	N65*15'50"W
86.23'	170.92	523.00'	170.16	S14°27'35'E
15.54'	27.81'	25.00'	26.40'	N85*05'23"W
99.56'	196.93'	542.50'	195.85'	N15°28'21'W
17.64'	34.02'	52.00'	33.42' 58.87'	N71°37'45'W N84°45'39'W
37.27	63.38'	48.00'	1 1200 100 1	A CONTRACTOR OF A CONTRACTOR O

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(A REPLAT OF TRACT M, WATERSHED SUBDIVISION & TRACT N-2-A-1, DEL WEBB @ MIREHAVEN PHASE I ) ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO OCTOBER, 2016

			CURVE DA	<b>NTA</b>		
ID	DELTA	TANGENT	ARC	RADIUS	CHORD	CHORD BRG
C319	01°56'16" RT	8.85'	17.70'	523.50'	17.70'	S89*56'18"W
C320	05*57'59" LT	16.16'	32.29'	310.04'	32.27'	964°22'07"E
C321	INTEN	TIONALLY OMIT	TED			
C322	39°43'08" LT	20.23'	38.82'	56.00'	38.05'	N68*49'00*E
C323	40°37'28" LT	8.88	17.02'	24.00'	16.66'	N28°38'42"E

	TANGENT DATA	
ID	BEARING	DISTANCE
T26	N11*56'05*E	6.62
T27	N08*40'53*E	60.66'
T28 T29	S84*03'07*E S17*03'19*E	28.89' 28.43'
T30	N57"20"21"W	58.00'
T31	\$42*57*16*W	0.92'
T32	N36*42'32*E	12.82'
T33	N89°04'43"E	24.50'
T34	N63*02'16'E	5.08'
T35	N84*55'36*E	24.50'
T36	S24*39'51"E	46.57
T37 T38	N15*22*27*W \$57*20*21*E	30.53' 29.00'
T39	N37*4952*E	85.38'
T40	N42*57'16'E	1.10'
T41	N47*29'15"W	23.50'
T42	N47*29'15'W	15.50'
T43	\$42°57°16"W	0.80'
T44	N26*55'36"W	64.02
T45	N26*55'36*W	34.65'
T46 T47	S24*3951*E	13.03'
T48	N79*54'28'W S20*32'14'W	68.61' 53.59'
T49	N20"32"14"E	34.66'
T50	S00*55'11"E	18.50'
T51	800*55'11"E	22.50'
T52	N89°04'43"E	70.50
T53	S08*40*53*W	23.50'
T54	N79*54'28'W	68.96'
T55	N37*49'52'E	33.24'
T56 T57	S88*58'10*W N85*53'46*W	55.22'
T58	N85*53'46"W	52.25' 16.93'
T59	S82*36'06*W	42.00'
T60	\$63*54'42"W	31.02'
T61	S40*01'57"W	29.07'
T62	S26*47'57*W	53.84'
T63	S37°49'52"W	32.86'
T64	S42*57'16'W	20.24'
T65	N26*57'44'W	22.69'
T66 T67	N05*04'24*W	28.93' 31.97'
T68	N05*04'24'W	24.80'
T69	N05*04'24"W	52.00'
T70	N05*04'24"W	41.06'
171	N26*57'44"W	36.77*
T72	N79*54'28'W	17.59'
T73	N00°55'17*W	31.47'
174	N00*55'17"W	52.29'
T75 T76	N00*55'17"W N00*55'17"W	3.92' 52.00'
170	N00*55'17"W	52.00 64.00'
178	N00°55'17"W	52.03'
T79	S20°32'14"W	6.81'
T80	S20°32'14"W	48.85'
T81	S20*32'14'W	55.66'
T82	N00°55'17"W	36.15'
T83	N00°55'17"W	28.90'
T84	N00*55'17*W	68.17
T85 T86	\$60*02'42*W N00*55'17*W	47.95' 24.26'
T87	N26*55'36"W	24.20 8.49'
T88	S88*58'10"W	9.80'
T89	N85*53'46*W	69.18'
T90	S42*57'16"W	19.44'
T91	S08*40'53*W	13.66'
T92	S84*55'37*W	2.94'
T93	N05°04'24"W	93.06'
T94 T95	S89*04'43*W	20.26'
ISO	S89*04'43*W	27.74'

	TANGENT DATA	
ID	BEARING	DISTANCE
T96	N00*55'11"W	11.04'
T97	N43°25'50'E	32.68'
T98	S17*03'19"E	12.16'
T99	S44°14'39"E	14.43'
T100	S43°25'50''W	25.70'
T101	N47°29'15"W	25.00'
T102	N32*35'08'W	21.19'
T103	N89°04'49'E	30.00'
T104	905°03'44"E	39.98'
T105	S88°58'10'W	7.30
T106	N07°44'59'W	31.63'
T107	INTENTIONALLY C	MITTED
T108	INTENTIONALLY C	MITTED
T109	INTENTIONALLY C	MITTED
T110	N46*18'50"E	32.04'
T111	N89"04'43"E	8.69'
T112	N48*57'26"E	7.92
T113	N08*19'58"E	4.74
T114	S58°11'07"W	80.88'
T115	S66*54'12'W	75.21'
T116	N78*04'51"W	70.83'



Bohannan & Huston

7500 JEFFERSON STREET NE ALBUQUERQUE, NEW MEXICO

SHEET 6 OF 6



### City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

	Title: DEL WEBB @ MIREHAVEN PHASE 2A	Building Permit #:	City Drainage #: H-9
DRB#:	10006864 EPC#:		Work Order#: 650388
Legal De	scription: PULTE @ MIREHAVEN PHASE 2A (A RE	PLAT OF TRACT N-2-D OF WATERSHED)	
City Add	ress:		
Engineer	ing Firm: BOHANNAN HUSTON INC		Contact: Yolanda Moyer
Address:	·	JERQUE NM 87109	
Phone#:	823-1000 Fax#:		E-mail: ypadilla@bhinc.com
0			
Owner: Address:	PULTE 7601 JEFFERSON STREET NE SUITE 310 ALBUG	NIM 87109	Contact: KEVIN PATTON
	505-341-8591 Fax#:		E-mail: kevin.patton@pultegroup.com
i nonen.			
Architect	:		Contact:
Address:			
Phone#:	Fax#:		_ E-mail:
Other Co	ontact:		Contact:
Address:			
Phone#:			E-mail:
	AFFIC/ TRANSPORTATION 34/ EROSION & SEDIMENT CONTROL	CERTIFICAT	TE OF OCCUPANCY
NS	4/ ERUSION & SEDIMENT CONTROL		
TYPE OF SUBMITTAL:		PRELIMINA	RY PLAT APPROVAL
X ENGINEER/ARCHITECT CERTIFICATION			FOR SUB'D APPROVAL
CO	NCEPTUAL G & D PLAN		FOR BLDG. PERMIT APPROVAL
	ADING PLAN		F APPROVAL
	AINAGE MASTER PLAN		SE OF FINANCIAL GUARANTEE ON PERMIT APPROVAL
	AINAGE REPORT		PERMIT APPROVAL
CLOMR/LOMR		SO-19 APPR	
			RMIT APPROVAL
	AFFIC CIRCULATION LAYOUT (TCL)	× GRADING/ F	PAD CERTIFICATION
	AFFIC IMPACT STUDY (TIS)	WORK ORDE	
	OSION & SEDIMENT CONTROL PLAN (ESC)	CLOMR/LON	MR
ER			
	HER (SPECIFY)	DRF_DESIGN	
	HER (SPECIFY)	PRE-DESIGN OTHER (SPI	MEETING
OT	HER (SPECIFY) A RESUBMITTAL?: Yes No		

COA STAFF: ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_