

CITY OF ALBUQUERQUE

Planning Department
Brennon Williams, Director



Mayor Timothy M. Keller

August 14, 2020

Yolanda Padilla Moyer, PE
Bohannon-Huston
7500 Jefferson St NE Courtyard I
Albuquerque, NM 87109

RE: **Del Webb Phase 3A & 3B**
Request for Partial Pad Certification Unit 3A & 3B – Approved
Request for Release of Financial Guarantee
Grading Plan Stamp Date: 7/9/18
Certification Dated: 8/12/20
Drainage File: H09D017G

Dear Ms. Padilla Moyer:

PO Box 1293

Based on the submittal received on 8/12/20 and site inspection on 8/13/20, this certification is approved for Building Permit for the Unit listed above.

Albuquerque

Based on the certification received on 8/12/20 and site inspection on 8/13/20, this certification is accepted for Release of Financial Guarantee by Hydrology.

NM 87103

Please note, Certificate of Occupancy will be held until all Infrastructure improvements are complete. Please have the contractor properly maintain the site and infrastructure until Certificate of Occupancy is issued.

www.cabq.gov

If you have any questions, please contact me at 924-3986 or earmijo@cabq.gov.

Sincerely,

Ernest Armijo, P.E.
Principal Engineer, Hydrology
Planning Department
Development Review Services



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 11/2018)

Project Title: _____ **Building Permit #:** _____ **Hydrology File #:** _____

DRB#: _____ **EPC#:** _____ **Work Order#:** _____

Legal Description: _____

City Address: _____

Applicant: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Owner: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

TYPE OF SUBMITTAL: _____ PLAT (1 # OF LOTS) _____ RESIDENCE _____ DRB SITE _____ ADMIN SITE

IS THIS A RESUBMITTAL?: _____ Yes _____ No

DEPARTMENT: _____ TRAFFIC/ TRANSPORTATION _____ HYDROLOGY/ DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

- _____ ENGINEER/ARCHITECT CERTIFICATION
- _____ PAD CERTIFICATION
- _____ CONCEPTUAL G & D PLAN
- _____ GRADING PLAN
- _____ DRAINAGE MASTER PLAN
- _____ DRAINAGE REPORT
- _____ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- _____ ELEVATION CERTIFICATE
- _____ CLOMR/LOMR
- _____ TRAFFIC CIRCULATION LAYOUT (TCL)
- _____ TRAFFIC IMPACT STUDY (TIS)
- _____ OTHER (SPECIFY) _____
- _____ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- _____ BUILDING PERMIT APPROVAL
- _____ CERTIFICATE OF OCCUPANCY
- _____ PRELIMINARY PLAT APPROVAL
- _____ SITE PLAN FOR SUB'D APPROVAL
- _____ SITE PLAN FOR BLDG. PERMIT APPROVAL
- _____ FINAL PLAT APPROVAL
- _____ SIA/ RELEASE OF FINANCIAL GUARANTEE
- _____ FOUNDATION PERMIT APPROVAL
- _____ GRADING PERMIT APPROVAL
- _____ SO-19 APPROVAL
- _____ PAVING PERMIT APPROVAL
- _____ GRADING/ PAD CERTIFICATION
- _____ WORK ORDER APPROVAL
- _____ CLOMR/LOMR
- _____ FLOODPLAIN DEVELOPMENT PERMIT
- _____ OTHER (SPECIFY) _____

DATE SUBMITTED: _____ **By:** _____

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____

August 12, 2020

Mr. Ernest Armijo, P.E.
Hydrology Section
City of Albuquerque
600 2nd Street NW
Albuquerque, NM 87102

Re: Final Grading and Drainage Certification Del Webb Phase 3A & 3B @ Mirehaven
Phase 3B - DRB Case No. 1006864

Dear Ernest,

We are submitting a final grading and drainage certification for Del Webb @ Mirehaven Phase 3A and 3B. Enclosed for your review is the approved grading and drainage plan dated 07/09/18. These lots have been graded; retaining walls, curb and gutter, and downstream infrastructure have been constructed.

After reviewing these as-built elevations and visiting the site on 08/10/2020, it is my belief that the above lots have been graded in substantial compliance with the approved grading and drainage plan and that the interim drainage improvements allow runoff to be managed in the interim condition.

Your review and approval is requested for Building Permit Approval for the above listed buildings. I appreciate your time and consideration. If you have questions or require additional information, please contact me at 823-1000.

Sincerely,



Yolanda Padilla Moyer, P.E.
Vice President
Community Development & Planning

Enclosure

cc: Kevin Patton, Pulte Homes
Brian Anderson, Pulte Homes

Engineering ▲

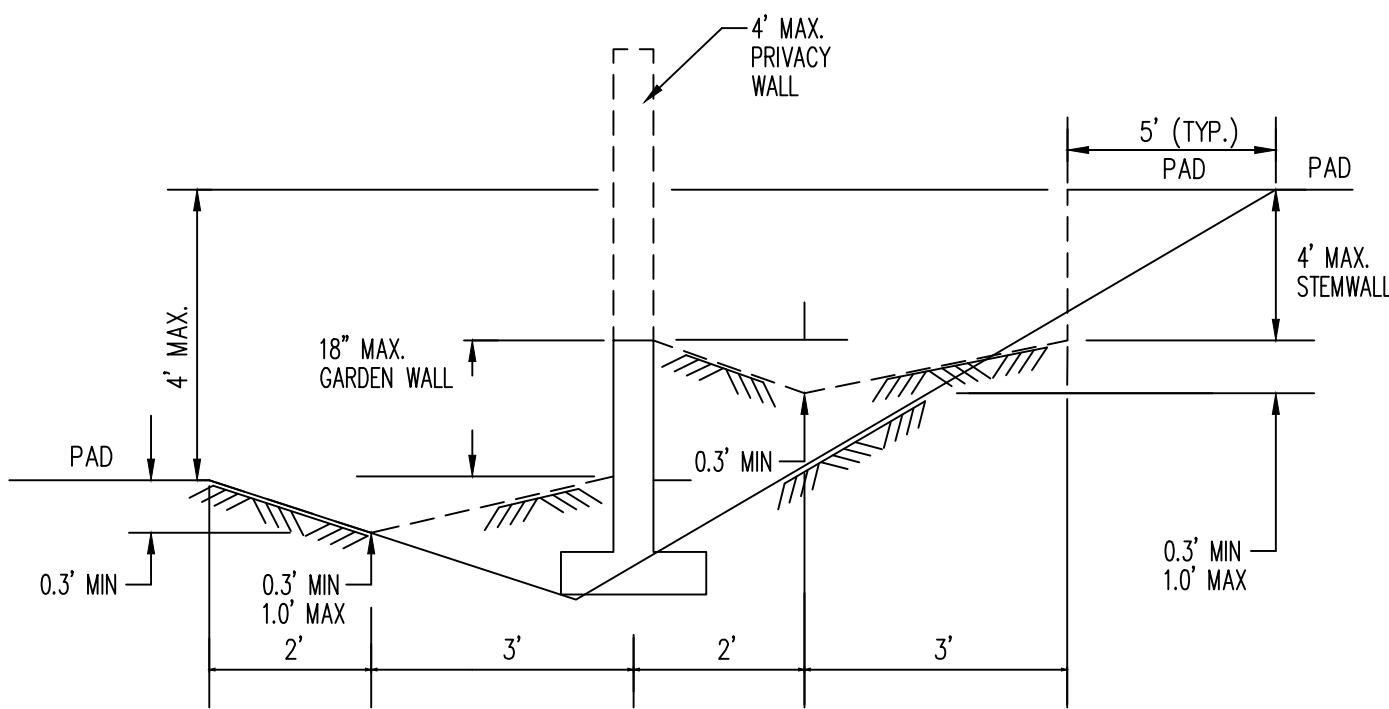
Spatial Data ▲

Advanced Technologies ▲



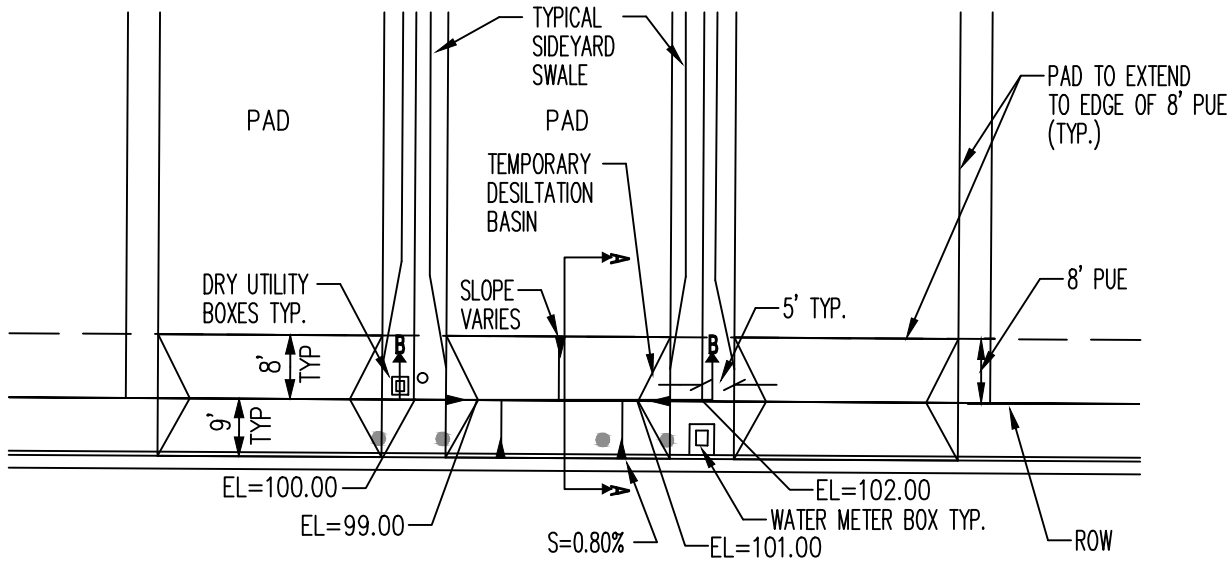
NOTE

ALL SLOPES ON HOA TRACTS TO BE STABILIZED BY NATIVE SEED AND MULCH PER STD SPEC 1012 WITH GRAVEL MULCH OR BETTER.



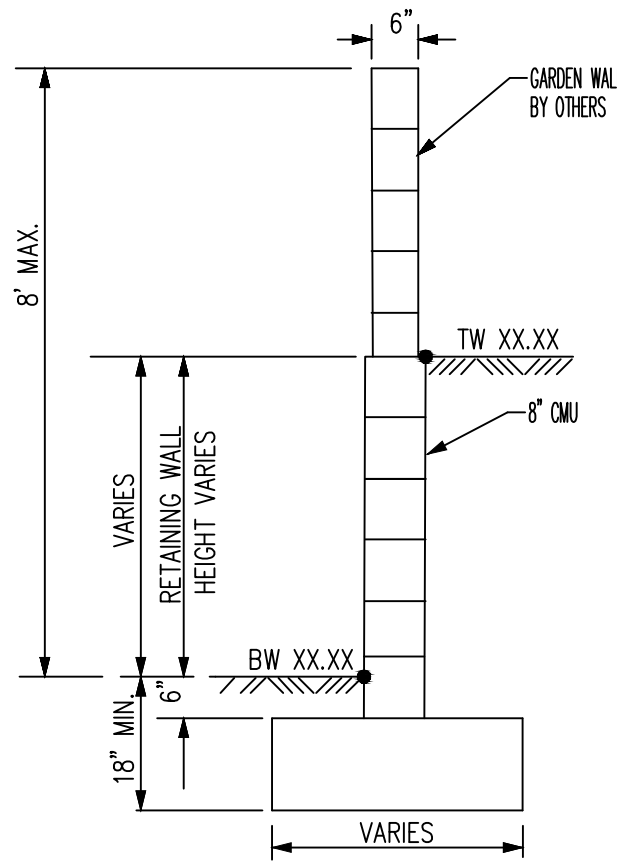
TYPICAL SIDE LOT LINE SECTION
NOT TO SCALE

NOTE- DASHED LINES IN TYP. SIDE LOT LINE SECTIONS REPRESENT THE FINAL CONDITION AFTER THE GARDEN, STEM, AND PRIVACY WALLS HAVE BEEN CONSTRUCTED. THE INTERM CONDITION, WHICH IS TO BE CONSTRUCTED BY THE GRADING CONTRACTOR AND CERTIFIED BY THE ENGINEER, IS REPRESENTED BY THE SOLID LINES. RETAINING WALLS WILL BE CONSTRUCTED PRIOR TO GRADING CERTIFICATION.



TEMPORARY DESILTATION BASIN
NOT TO SCALE

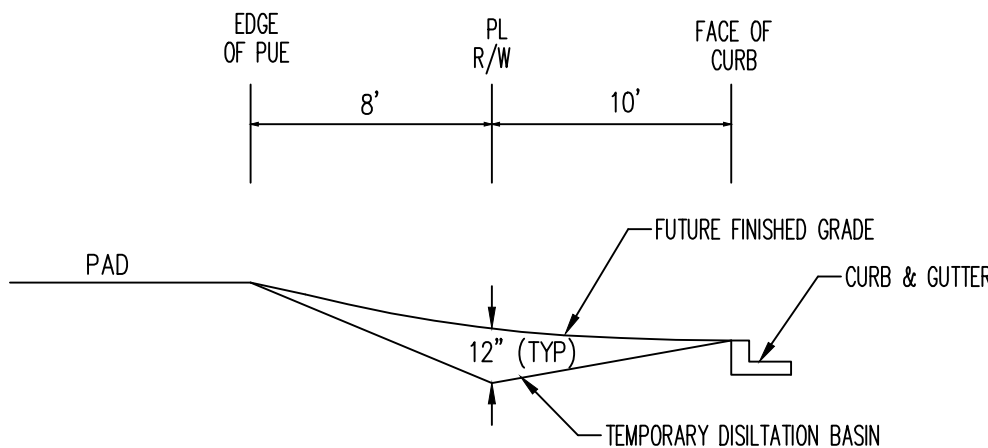
** BOTTOM OF BASIN IS 1' BELOW PROPERTY LINE ELEVATION SEE GRADING PLANS FOR EXACT ELEVATIONS



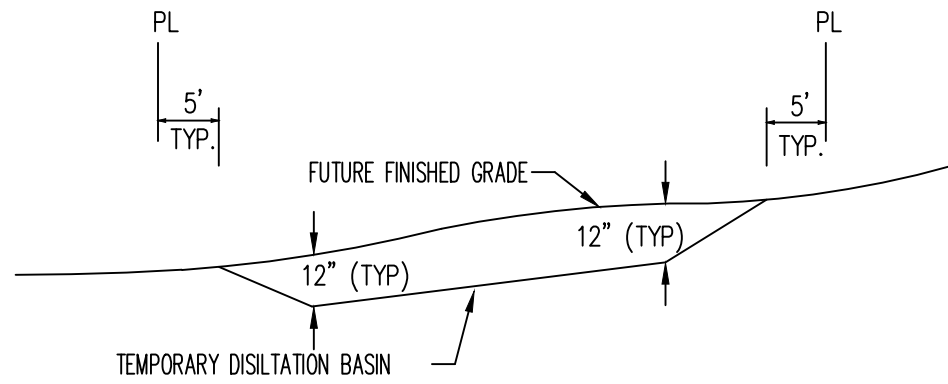
TW=FINISHED GRADE ELEVATION AT TOP OF RETAINING WALL
BW=FINISHED GRADE ELEVATION AT BOTTOM OF RETAINING WALL

TYPICAL RETAINING WALL NOMENCLATURE
NOT TO SCALE

(RETAINING HEIGHT IS TAKEN TO BE DIFFERENCE IN FINISHED GRADES ON LEFT AND RIGHT SIDE OF WALL.)
HEIGHT IS IN ACCORDANCE WITH CITY COMPREHENSIVE ZONING CODE, SECTION 14-16-3-19, GENERAL HEIGHT AND DESIGN REGULATIONS FOR WALLS, FENCES, AND RETAINING WALLS.



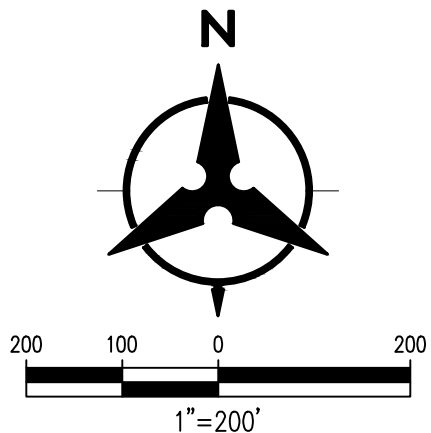
TEMPORARY DESILTATION
SECTION A-A
NOT TO SCALE



TEMPORARY DESILTATION
SECTION B-B
NOT TO SCALE

LEGEND

- PROPOSED SPOT ELEVATION: 5235.25
- EXISTING SPOT ELEVATION: EX 5235.25
- PROPOSED CONTOUR: 5225
- EXISTING STORM DRAIN LINE: ---
- PROPOSED STORM DRAIN INLET: [Symbol]
- PROPOSED STORM DRAIN LINE: [Symbol]
- PROPOSED STORM DRAIN MANHOLE: [Symbol]
- PROPOSED WATER BLOCK: [Symbol]
- RETAINING WALL: [Symbol]
- PAD: [Symbol]
- TURNED BLOCK: TB
- STREET SLOPE: XX



GENERAL NOTES

- ALL WORK DETAILED ON THESE PLANS AND PERFORMED UNDER THIS CONTRACT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND THE PROJECT GEOTECHNICAL REPORT. WHERE APPLICABLE, CITY OF ALBUQUERQUE PUBLIC WORKS STANDARDS SHALL APPLY.
- THE CONTRACTOR SHALL ABIDE BY ALL LOCAL, STATE, AND FEDERAL LAWS, RULES AND REGULATIONS WHICH APPLY TO THE CONSTRUCTION OF THESE IMPROVEMENTS, INCLUDING EPA REQUIREMENTS WITH RESPECT TO STORM WATER DISCHARGE.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL POTENTIAL OBSTRUCTIONS INCLUDING ALL UNDERGROUND UTILITIES. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION OBSERVER OR ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR SHALL CONTACT LINE LOCATING SERVICE FOR LOCATION OF EXISTING UTILITIES.
- ALL ELECTRICAL, TELEPHONE, CABLE TV, GAS AND OTHER UTILITY LINES, CABLES, AND APPURTENANCES ENCOUNTERED DURING CONSTRUCTION THAT REQUIRE RELOCATION, SHALL BE COORDINATED WITH THAT UTILITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL NECESSARY UTILITY ADJUSTMENTS. NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR DELAYS OR INCONVENIENCES CAUSED BY UTILITY COMPANY WORK CREWS. THE CONTRACTOR MAY BE REQUIRED TO RESCHEDULE HIS ACTIVITIES TO ALLOW UTILITY CREWS TO PERFORM THEIR REQUIRED WORK.
- THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITY LINES WITHIN THE CONSTRUCTION AREA. ANY DAMAGE TO EXISTING FACILITIES CAUSED BY CONSTRUCTION ACTIVITY SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE AND APPROVED BY THE CONSTRUCTION OBSERVER.
- CONSTRUCTION ACTIVITY SHALL BE LIMITED TO THE PROPERTY AND/OR PROJECT LIMITS. ANY DAMAGE TO ADJACENT PROPERTIES RESULTING FROM THE CONSTRUCTION PROCESS SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE.
- OVERNIGHT PARKING OF CONSTRUCTION EQUIPMENT SHALL NOT OBSTRUCT DRIVEWAYS OR DESIGNATED TRAFFIC LANES. THE CONTRACTOR SHALL NOT STORE ANY EQUIPMENT OR MATERIAL WITHIN THE PUBLIC RIGHT-OF-WAY.
- THE CONTRACTOR SHALL OBTAIN ALL THE NECESSARY PERMITS FOR THE PROJECT PRIOR TO COMMENCING CONSTRUCTION (I.E., BARRICADING, TOPSOIL DISTURBANCE, EXCAVATION PERMITS, EPA STORM WATER PERMITS, ETC.).
- ALL PROPERTY CORNERS DESTROYED DURING CONSTRUCTION SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE. ALL PROPERTY CORNERS MUST BE RESET BY A REGISTERED LAND SURVEYOR.
- THE CONTRACTOR SHALL PREPARE A CONSTRUCTION TRAFFIC CONTROL AND SIGNING PLAN AND OBTAIN APPROVAL OF SUCH PLAN FROM THE CITY OF ALBUQUERQUE, TRAFFIC ENGINEERING DEPARTMENT, PRIOR TO BEGINNING ANY CONSTRUCTION WORK ON OR ADJACENT TO EXISTING STREETS.
- ALL BARRICADES AND CONSTRUCTION SIGNING SHALL CONFORM TO APPLICABLE SECTIONS OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD), US DEPARTMENT OF TRANSPORTATION, LATEST EDITION.
- THE CONTRACTOR SHALL MAINTAIN ALL CONSTRUCTION BARRICADES AND SIGNING AT ALL TIMES. THE CONTRACTOR SHALL VERIFY THE PROPER LOCATION OF ALL BARRICADING AT THE END AND BEGINNING OF EACH DAY.
- THE CONTRACTOR SHALL TAKE ALL STEPS NECESSARY TO CONFORM WITH EPA REQUIREMENTS, INCLUDING COMPLIANCE WITH NPDES PHASE 2 REQUIREMENTS.

GRADING NOTES

- EXCEPT AS PROVIDED HEREIN, GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.
- CONTRACTOR SHALL OBTAIN AND ABIDE BY A TOPSOIL DISTURBANCE PERMIT FROM THE CITY OF ALBUQUERQUE ENVIRONMENTAL HEALTH DIVISION, PRIOR TO CONSTRUCTION. THE COST FOR REQUIRED CONSTRUCTION DUST AND EROSION CONTROL MEASURES SHALL BE INCIDENTAL TO THE PROJECT COST. THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE, AND FEDERAL DUST CONTROL MEASURES AND REQUIREMENTS AND WILL BE RESPONSIBLE FOR PREPARING AND OBTAINING ALL NECESSARY APPLICATIONS AND APPROVALS.
- ALL WORK RELATIVE TO FOUNDATION CONSTRUCTION, SITE PREPARATION, AND PAVEMENT INSTALLATION, AS SHOWN ON THIS PLAN, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE SOILS REPORT PREPARED BY XBENVYARD DATED JULY 22, 2013. ALL OTHER WORK, UNLESS OTHERWISE STATED OR PROVIDED FOR HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS (FIRST PRIORITY), AND/OR THE CITY OF ALBUQUERQUE (COA) STANDARD SPECIFICATIONS FOR PUBLIC WORKS (SECOND PRIORITY).
- TWO WORKING DAYS PRIOR TO EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE (765-1264) FOR LOCATION OF EXISTING UTILITIES.
- PRIOR TO GRADING, ALL VEGETATION DEBRIS, AND NEAR SURFACE ORGANICALLY CONTAMINATED SOIL SHALL BE STRIPPED FROM ALL AREAS TO BE GRADED. VEGETATION AND DEBRIS SHALL BE DISPOSED OF OFF-SITE OR STOCK-PILED FOR USE IN PLANTERS AND NON-STRUCTURAL FILLS.
- EARTH SLOPES SHALL NOT EXCEED 4 HORIZONTAL TO 1 VERTICAL UNLESS SHOWN OTHERWISE.
- IT IS THE INTENT OF THESE PLANS THAT THIS CONTRACTOR SHALL NOT PERFORM ANY WORK OUTSIDE OF THE PROPERTY BOUNDARIES EXCEPT AS REQUIRED BY THIS PLAN.
- THE CONTRACTOR IS TO ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO ADJACENT PROPERTY OR PUBLIC RIGHT-OF-WAY. THIS SHOULD BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS AT THE PROPERTY LINES WETTING THE SOIL TO PROTECT IT FROM WIND EROSION.
- A DISPOSAL SITE FOR ALL EXCESS EXCAVATION AND UNSUITABLE MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE OBSERVER. ALL COSTS INCURRED IN OBTAINING A DISPOSAL SITE AND HAUL THERE TO SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT, AND NO SEPARATE MEASUREMENT OR PAYMENT SHALL BE MADE.
- PAVING AND ROADWAY GRADES SHALL BE +/- 0.1' FROM PLAN ELEVATIONS. PAD ELEVATION SHALL BE +/- 0.05' FROM BUILDING PLAN ELEVATIONS.
- ALL SPOT ELEVATIONS ARE TO FLOWLINE UNLESS OTHERWISE NOTED. VALLEY GUTTER ELEVATIONS ARE SHOWN AT FLOWLINE ELEVATION.

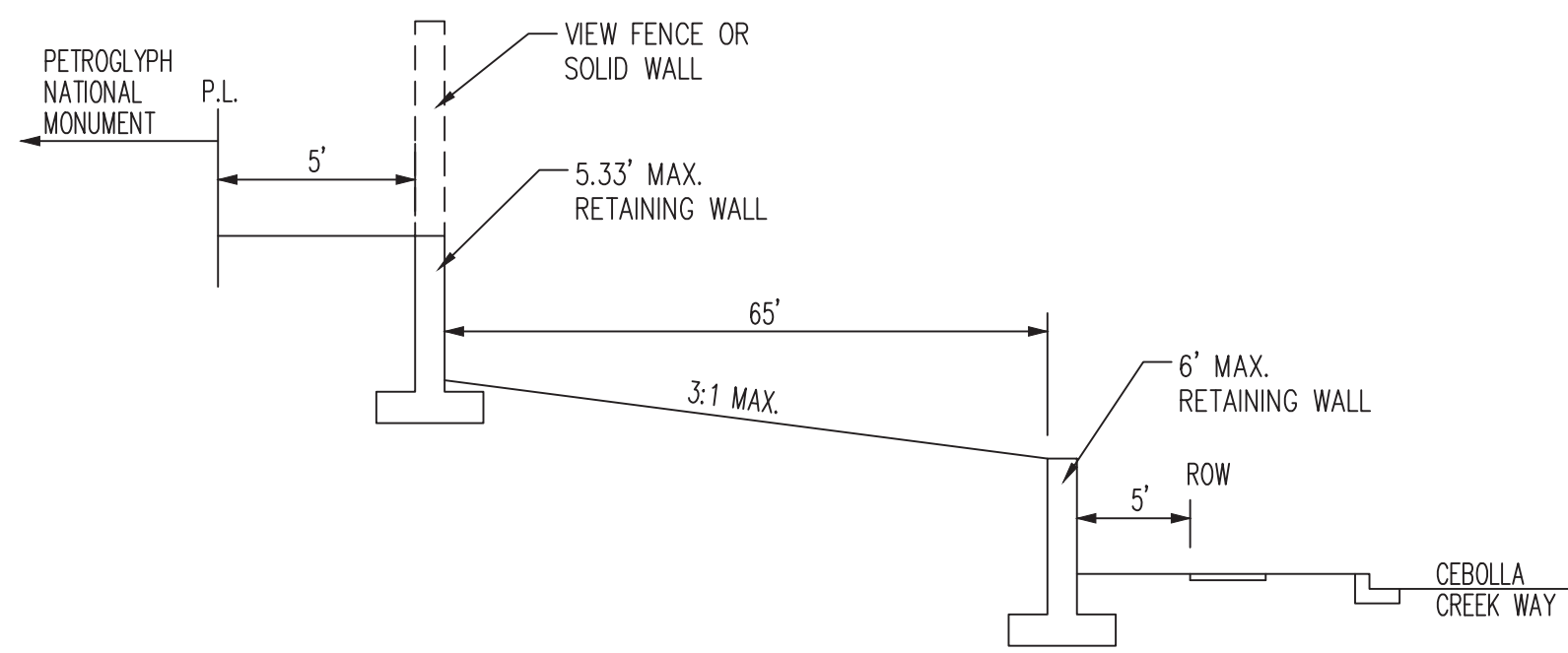
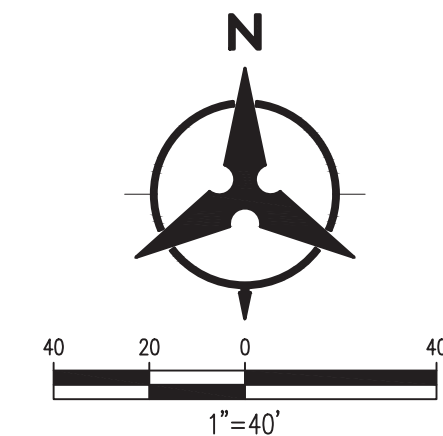
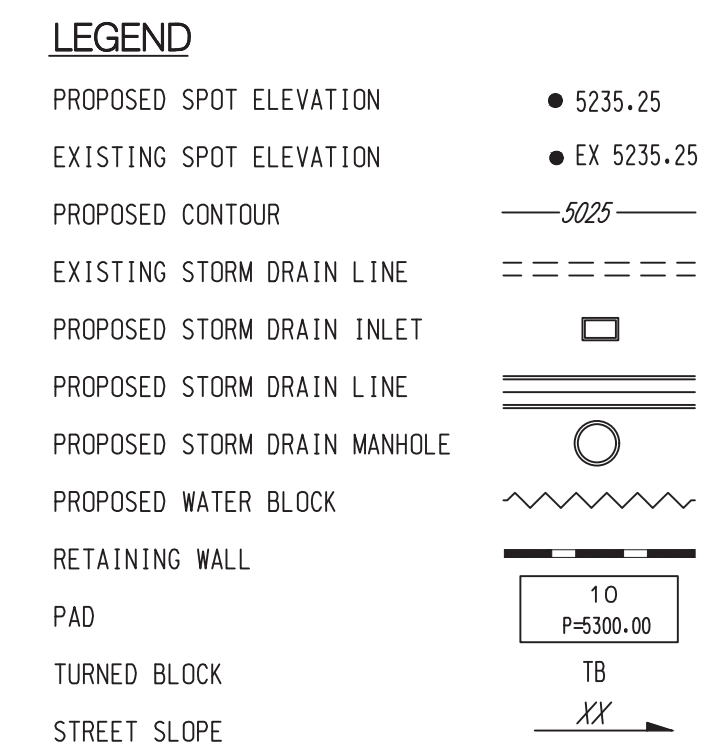
Bohannon & Huston
www.bhinc.com 800.877.5332



CITY OF ALBUQUERQUE
DEPARTMENT OF
MUNICIPAL DEVELOPMENT

DEL WEBB @ MIREHAVEN PHASE 3
OVERALL GRADING PLAN

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	MO./DAY/YR.	MO./DAY/YR.
LAST DESIGN UPDATE			
CITY PROJECT NO.	650482	ZONE MAP NO.	H-8/9
		SHEET	1 OF 6



TYPICAL CROSS SECTION A-A
NOT TO SCALE

GRADING AND DRAINAGE CERTIFICATION

I, YOLANDA PADILLA MOYER, NMPE 16035, OF THE FIRM BOHANNAN HUSTON, HEREBY CERTIFY THAT DEL WEBB PHASE 3A & 3B, HAVE BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED GRADING AND DRAINAGE PLAN DATED 07/09/18. THE RECORD INFORMATION EDITED onto the ORIGINAL DESIGN DOCUMENT HAS BEEN PROVIDED BY BRIAN J. MARTINEZ, NMPE 18374, OF CARTESIAN SURVEYS. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE 08/10/2020 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE DATA PROVIDED IS REPRESENTATIVE OF ACUTAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

YOLANDA PADILLA MOYER, NMPE 16035 08/12/2020



BHI JOB NO. 20180338

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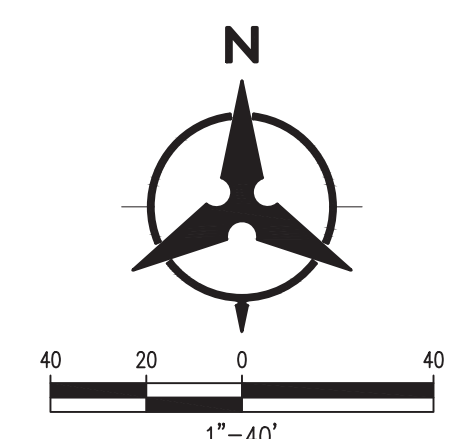
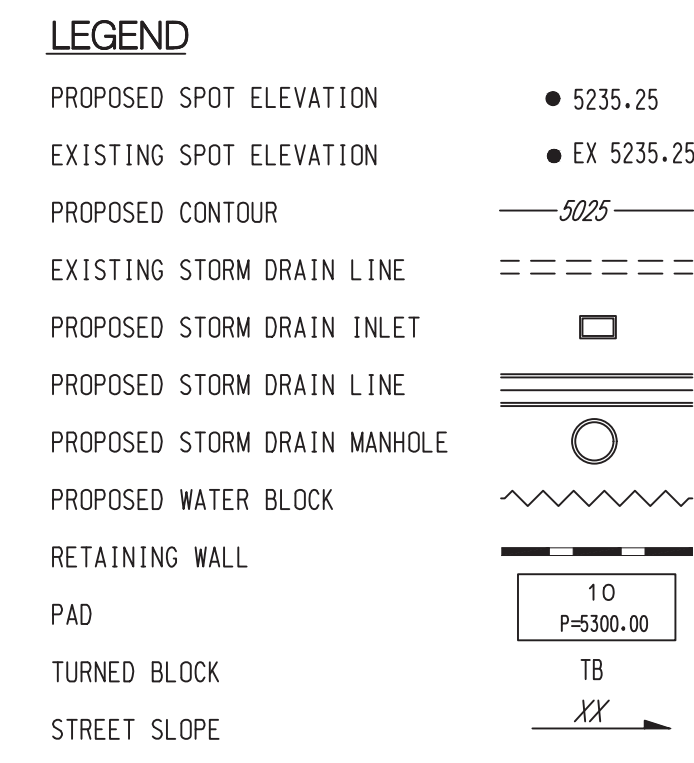
Bohannon  **Huston**
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CITY OF ALBUQUERQUE
DEPARTMENT OF
MUNICIPAL DEVELOPMENT

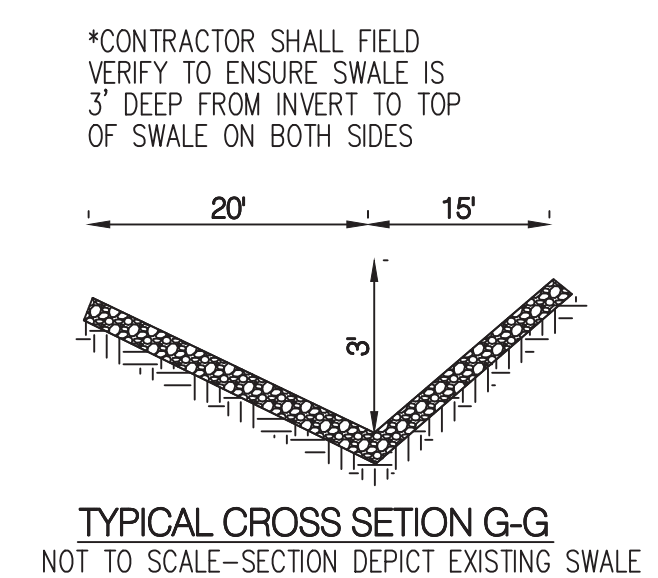
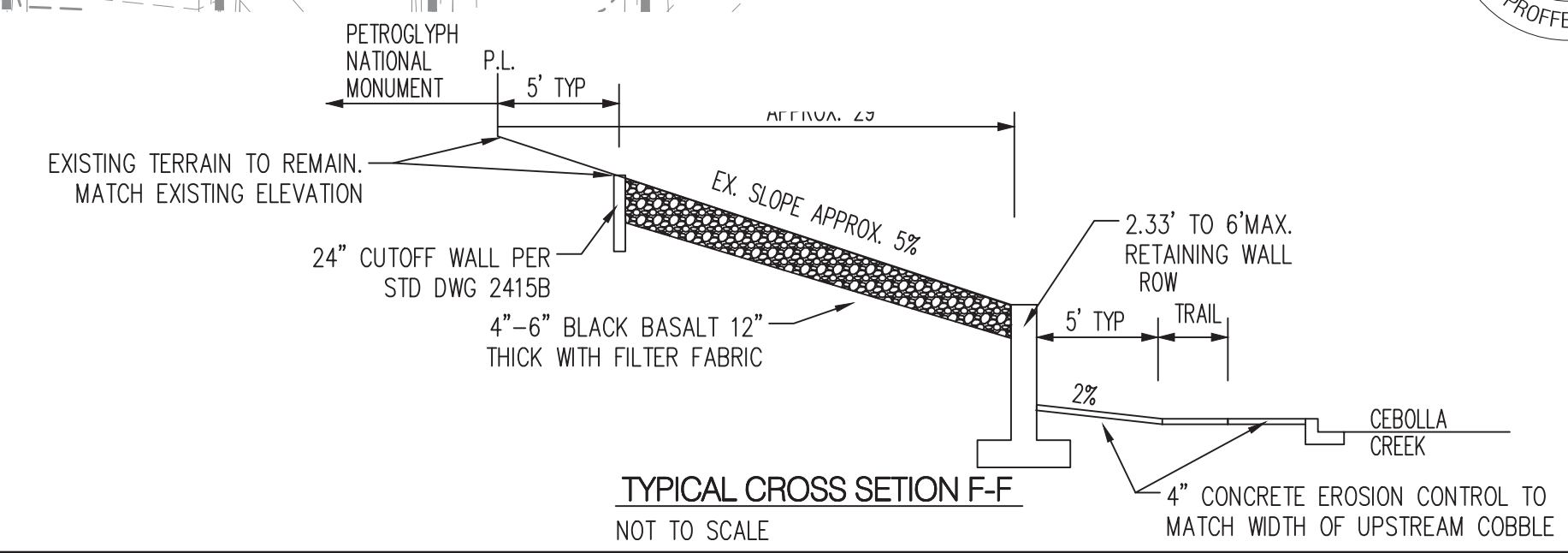
DEL WEBB @ MIREHAVEN PHASE 3
GRADING PLAN

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	LAST DESIGN UPDATE	MO./DAY/YR.	MO./DAY/YR.
CITY PROJECT NO.		ZONE MAP NO. H-8/9	SHEET 2	OF 6



Point Table		
○	TW	BW
1	5438.00*	5433.72
2	5437.00*	5433.71
3	5436.00*	5433.70
4	5437.00*	5433.71
5	5438.00*	5433.72

*EXISTING ELEVATION



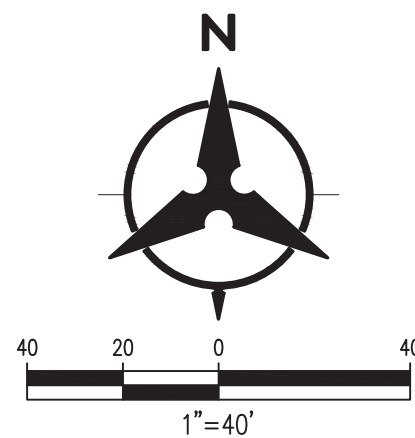
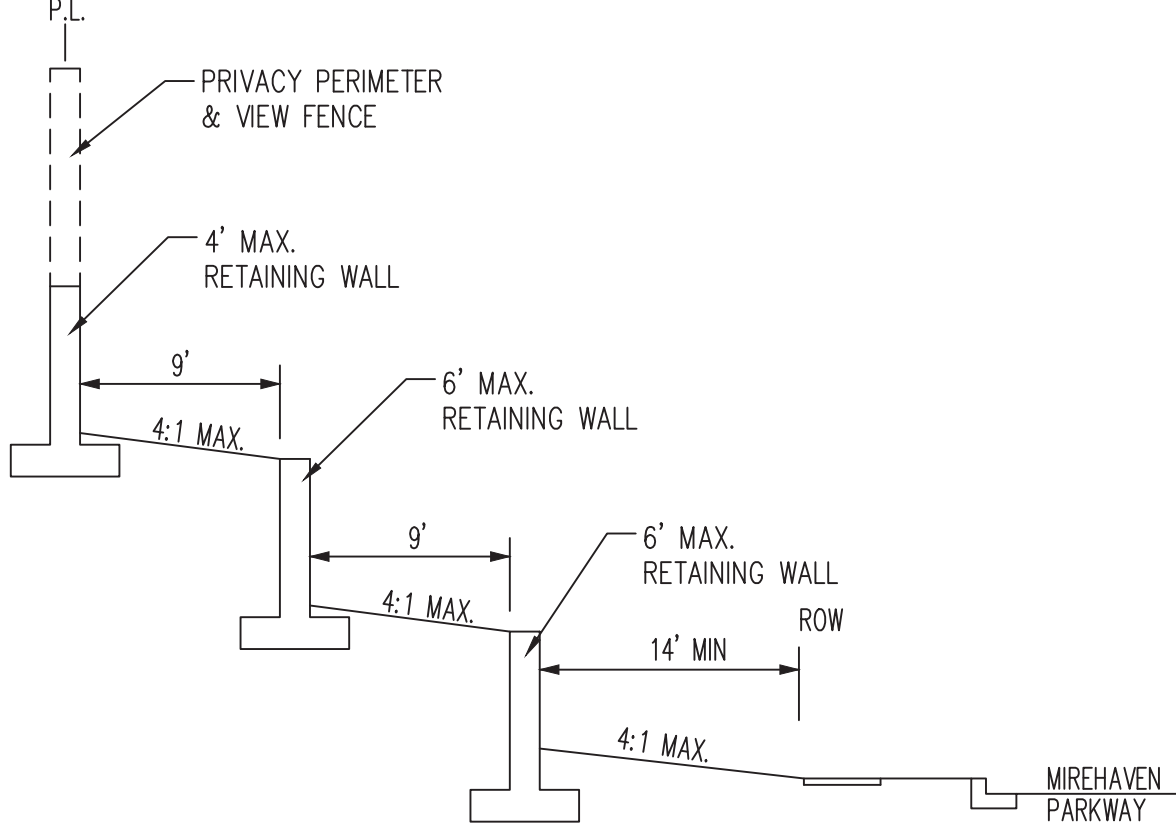
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Thu, 9-Jul-2020 - 9:57:am, Plotted by: RMLLABOS

BHI JOB NO. 20180338

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- LEGEND**
- PROPOSED SPOT ELEVATION: ● 5235.25
 - EXISTING SPOT ELEVATION: ● EX 5235.25
 - PROPOSED CONTOUR: --- 5025 ---
 - EXISTING STORM DRAIN LINE: --- ---
 - PROPOSED STORM DRAIN INLET: □
 - PROPOSED STORM DRAIN LINE: |||
 - PROPOSED STORM DRAIN MANHOLE: ○
 - PROPOSED WATER BLOCK: ~~~~~
 - RETAINING WALL: ———
 - PAD: ▭
 - TURNED BLOCK: ⊞
 - STREET SLOPE: XX



GRADING AND DRAINAGE CERTIFICATION

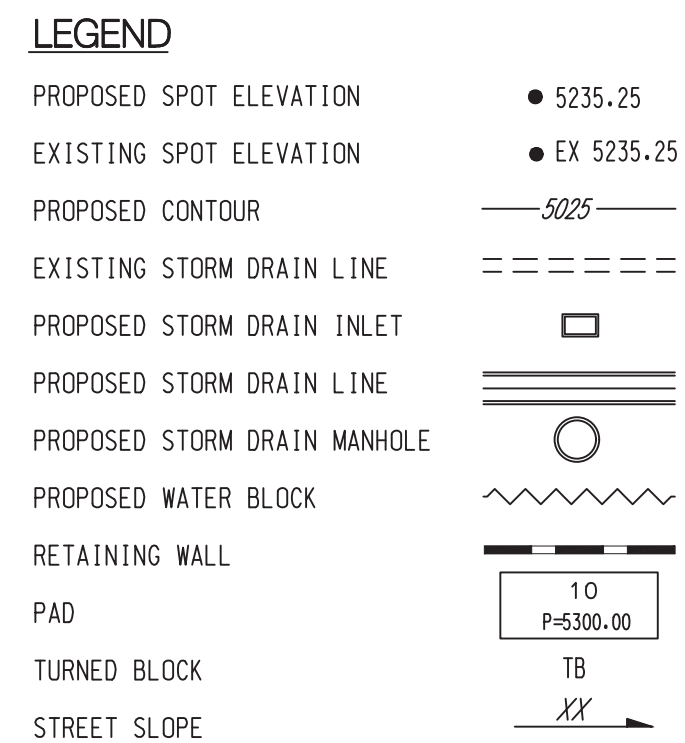
I, YOLANDA PADILLA MOYER, NMPE 16035, OF THE FIRM BOHANNAN HUSTON, HEREBY CERTIFY THAT DEL WEBB PHASE 3A & 3B, HAVE BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED GRADING AND DRAINAGE PLAN DATED 07/09/18. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN PROVIDED BY BRIAN J. MARTINEZ, NMPS 18374, OF CARTESIAN SURVEYS. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE 08/10/2020 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

Yolanda Padilla Moyer
YOLANDA PADILLA MOYER, NMPE 16035
DATE 08/12/2020



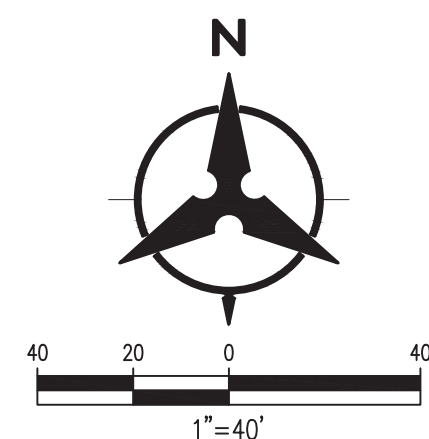
CITY OF ALBUQUERQUE DEPARTMENT OF MUNICIPAL DEVELOPMENT		DEL WEBB @ MIREHAVEN PHASE 3 GRADING PLAN	
DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	MO./DAY/YR.	MO./DAY/YR.
LAST DESIGN UPDATE			
CITY PROJECT NO.	ZONE MAP NO. H-8/9	SHEET 4	OF 6



I, YOLANDA PADILLA MOYERME 16035, OF THE FIRM BOHANNAN HUSTON, HEREBY CERTIFY THAT THE WEBB PHASE 3A & 3B, HAVE BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED GRADING AND DRAINAGE PLAN DATED 07/09/18. THE RECORD INFORMATION EDITED onto the ORIGINAL DESIGN DOCUMENT HAS BEEN PROVIDED BY BRIAN J. MARTINEZ, NMS 18374, OF CARTESIAN SURVEYS. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE 08/10/2020 AND HAVE BEEN INFORMED BY RESULTS OF THE DATA COLLECTION THAT THE DATA IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

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YOLANDA PADILLA MOYER, NMPE 16035 08/12/2020



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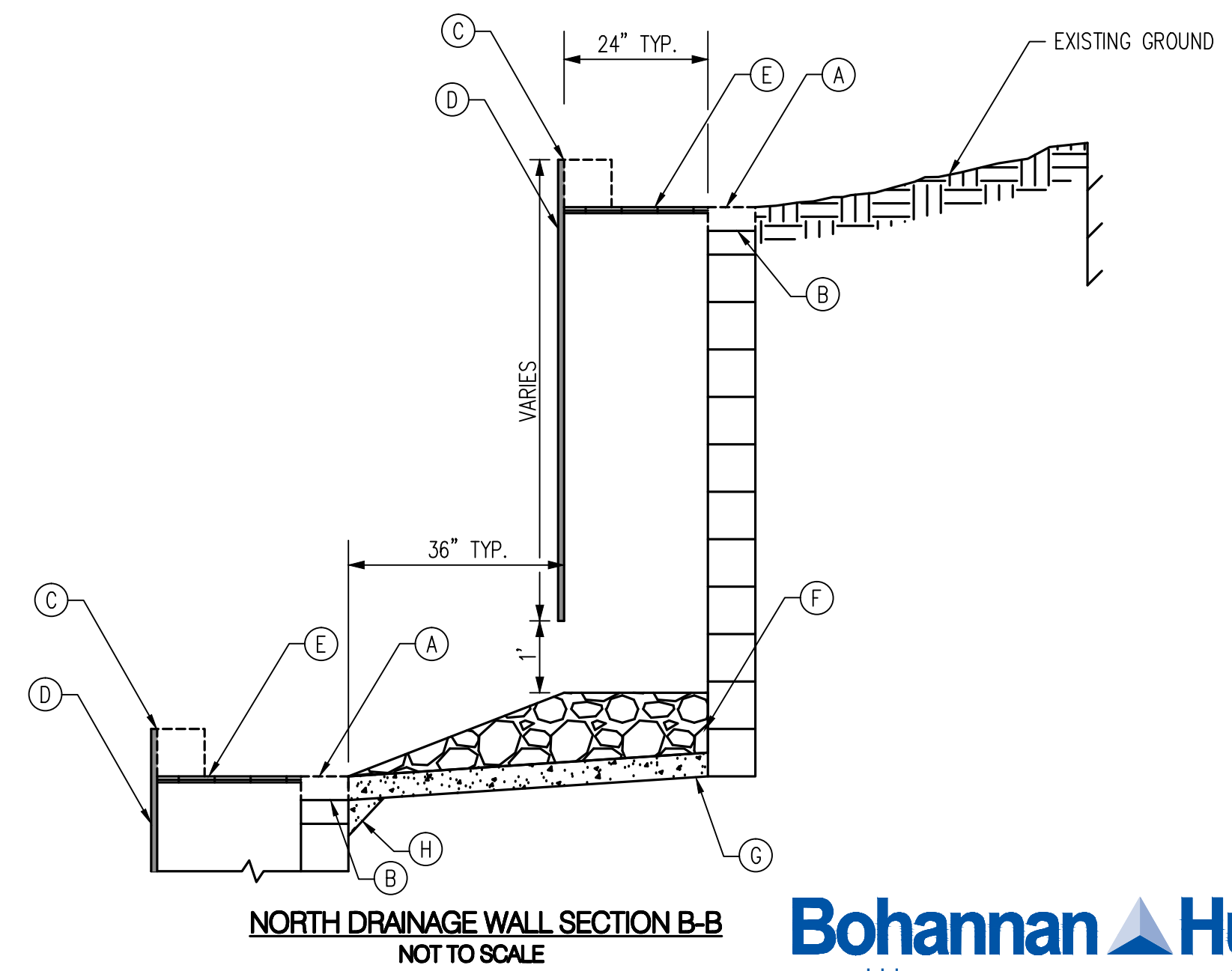
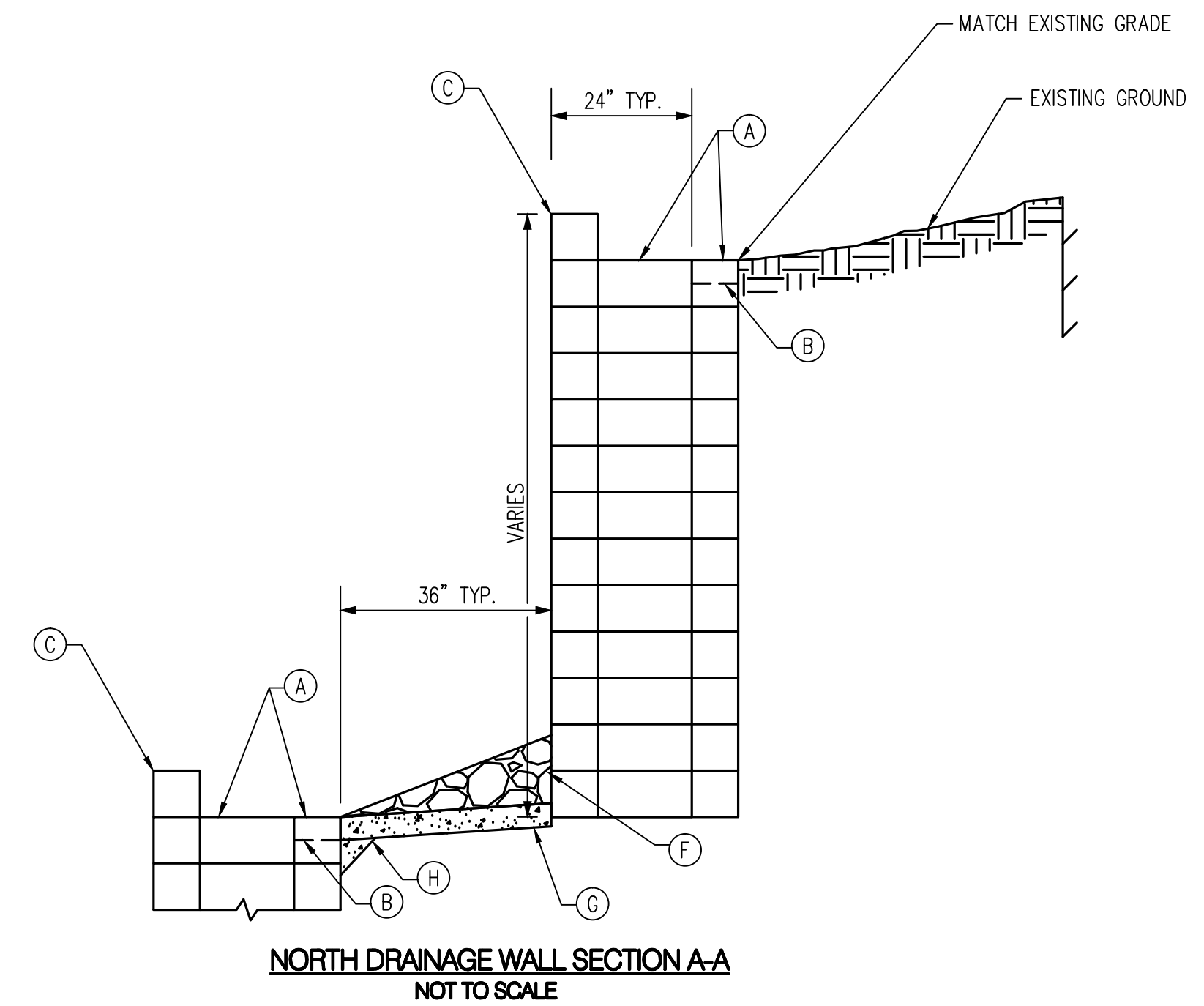





DEL WEBB @ MIREHAVEN PHASE 3
GRADING PLAN

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Thu, 9-Jul-2020 - 9:57:am, Plotted by: RVILLALOBOS

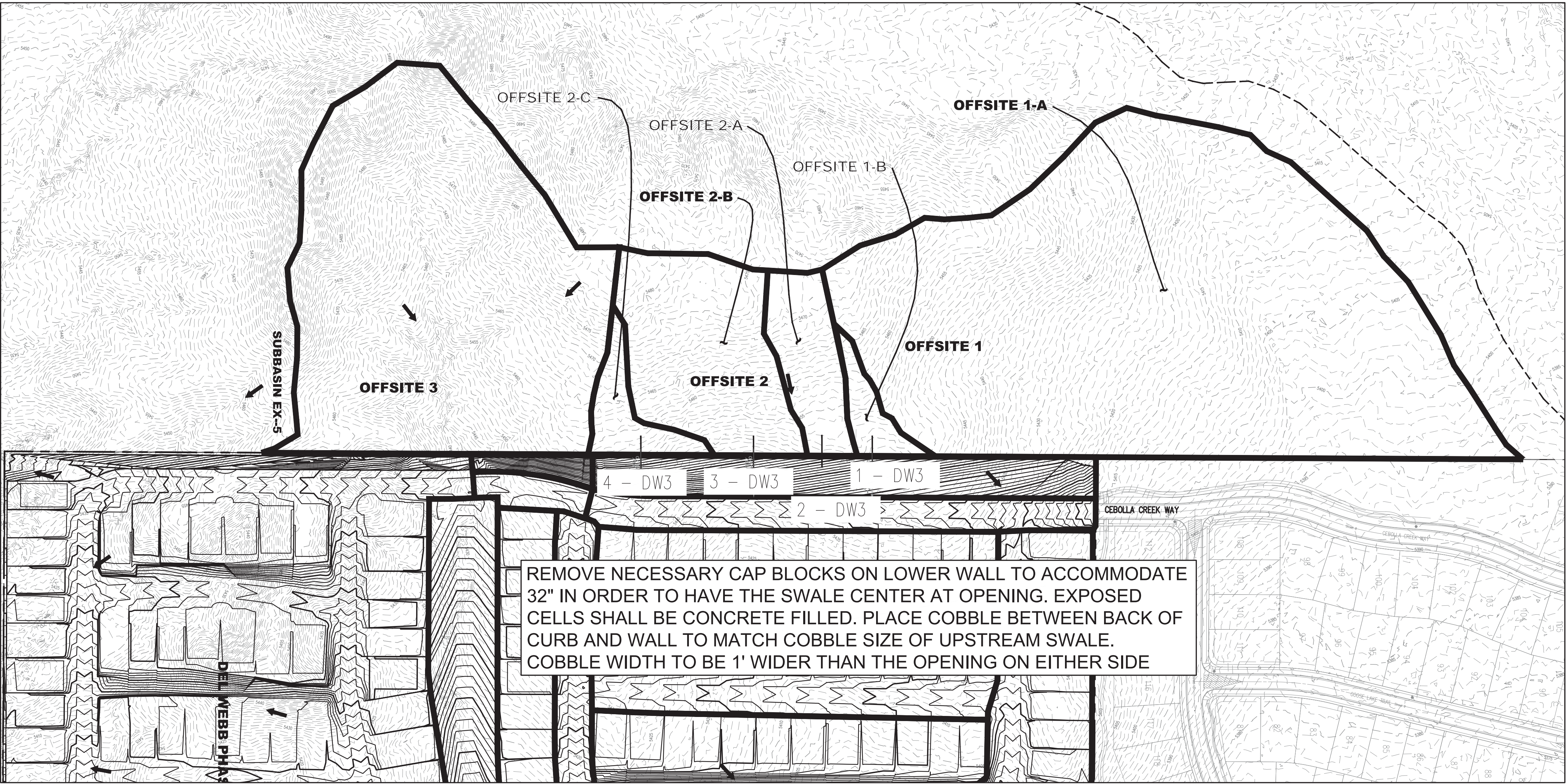
(A)		SIDE WALLS OF HORSESHOE NOTCH SHALL MATCH EXISTING GRADE AND SHALL BE ONE COURSE (8") LOWER THAN FACE OF WALL HEIGHT.
(B)		BACK WALL OF HORSESHOE NOTCH SHALL BE 1.5 COURSES (APPROX. 12") LOWER THAN FACE OF WALL HEIGHT.
(C)		FACE OF WALL ONE COURSE (8") HIGHER THAN EXISTING GROUND AT NOTCH.
(D)		METAL PLATE TO BE ATTACHED TO FACE OF WALL. TOP OF METAL PLATE TO MATCH TOP OF FACE OF WALL. TO BE INSTALLED BY OTHER.
(E)		PREVENTATIVE GRATING TO BE ANCHORED TO CORNERS OF WALL (3/4" STEEL BARS PLACED @ 4' O.C.)
(F)		6" COBBLE (2 LIFTS, 12" TOTAL)
(G)		3" CONCRETE SLAB, 4000 PSI
(H)		6"x6" TRIANGULAR CONCRETE WEDGE

1. CONTRACTOR SHALL COORDINATE WITH ENGINEER AND OWNER PRIOR TO CONSTRUCTION.

[illegible]

 Bohannon		 Engineering		www.bhinc.com		800.877.5332		NO. DA.		DESIGNED		DRAWN BY		CHECKED	
 CITY OF ALBUQUERQUE DEPARTMENT OF MUNICIPAL DEVELOPMENT															
DEL WEBB @ MIREHAVEN PHASE 3 WALL DRAINAGE STRUCTURE DETAIL															
CITY PROJECT NO.				650482				ZONE MAP NO.				H-8/9			
CITY REVIEW COMMITTEE				CITY ENGINEER APPROVAL				LAST DESIGN UPDATE		MO./DAY/YR.				MO./DAY/YR.	
CITY PROJECT NO.				650482				ZONE MAP NO.				H-8/9			
CITY REVIEW COMMITTEE				CITY ENGINEER APPROVAL				LAST DESIGN UPDATE		MO./DAY/YR.				MO./DAY/YR.	
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CITY REVIEW COMMITTEE				CITY ENGINEER APPROVAL				LAST DESIGN UPDATE		MO./DAY/YR.				MO./DAY/YR.	
CITY PROJECT NO.				650482				ZONE MAP NO.				H-8/9			
CITY REVIEW COMMITTEE				CITY ENGINEER APPROVAL				LAST DESIGN UPDATE		MO./DAY/YR.				MO./DAY/YR.	
CITY PROJECT NO.				650482				ZONE MAP NO.				H-8/9			
CITY REVIEW COMMITTEE				CITY ENGINEER APPROVAL				LAST DESIGN UPDATE		MO./DAY/YR.				MO./DAY/YR.	
CITY PROJECT NO.				650482				ZONE MAP NO.				H-8/9			
CITY REVIEW COMMITTEE				CITY ENGINEER APPROVAL				LAST DESIGN UPDATE		MO./DAY/YR.				MO./DAY/YR.	
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CITY REVIEW COMMITTEE				CITY ENGINEER APPROVAL				LAST DESIGN UPDATE		MO./DAY/YR.				MO./DAY/YR.	
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CITY PROJECT NO.				650482				ZONE MAP NO.</							

DEL WEBB @ MIREHAVEN PHASE 3
OFFSITE PROPOSED BASINS MAP



GRADING AND DRAINAGE CERTIFICATION

I, YOLANDA PADILLA MOYER, NMPE 16035, OF THE FIRM BOHANNAN HUSTON, HEREBY CERTIFY THAT DEL WEBB PHASE 3A & 3B, HAVE BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED GRADING AND DRAINAGE PLAN DATED 07/09/18. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN PROVIDED BY BRIAN J. MARTINEZ, NMPS 18374, OF CARTESIAN SURVEYS. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE 08/10/2020 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE DATA PROVIDED IS REPRESENTATIVE OF ACUTAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENEDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

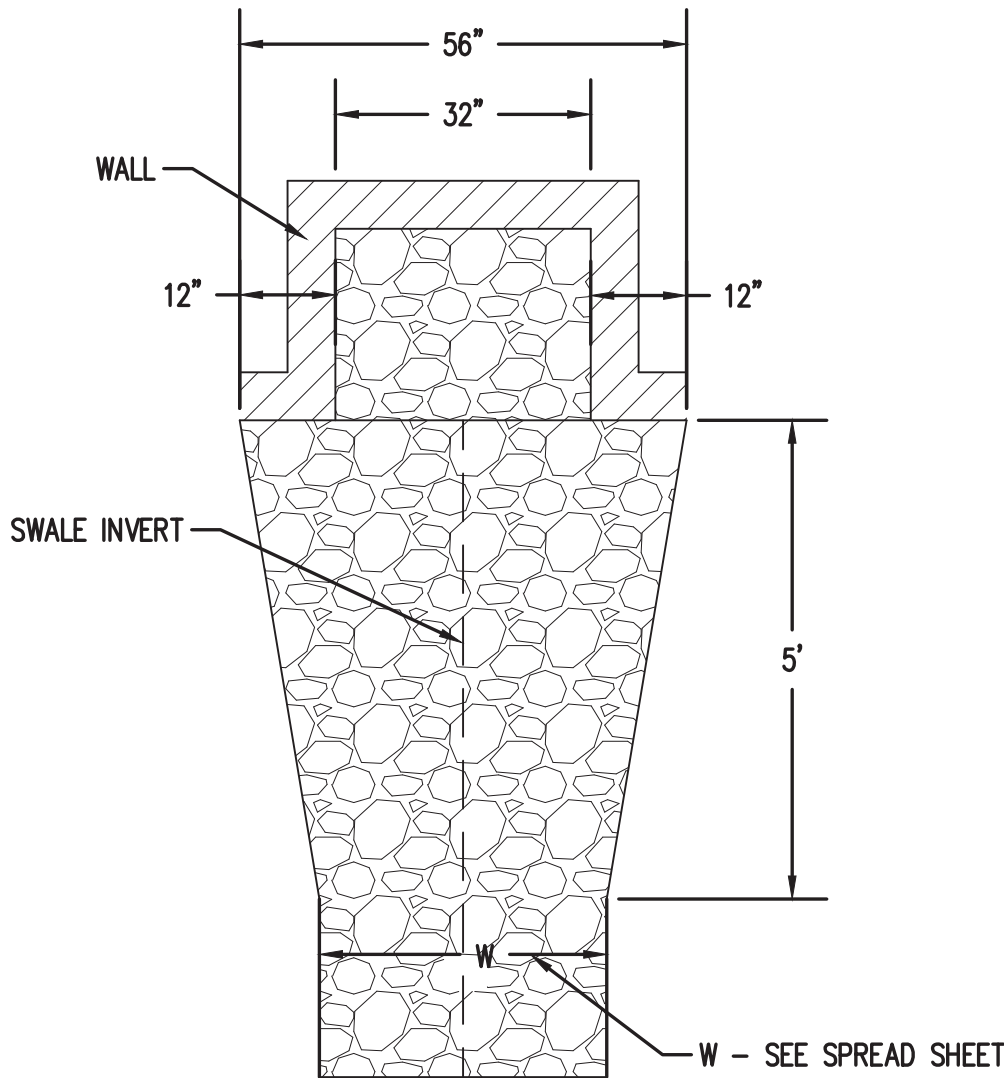
Yolanda Padilla Moyer
YOLANDA PADILLA MOYER, NMPE 16035
08/12/2020
DATE



DEVELOPED BASIN SUMMARY									
BASIN I.D.	AREA (AC)	% LAND TREATMENT				DISCHARGE (CFS)		VOLUME (AC-FT)	
		A	B	C	D	100YR	2yr	100 yr	
OFFSITE 1A	12.39	64.00%	35.00%	1.00%	0.00%	19.2	0.00	0.54	
OFFSITE 1B	0.41	64.00%	35.00%	1.00%	0.00%	0.6	0.00	0.02	
OFFSITE 2A	0.89	19.00%	50.00%	31.00%	0.00%	1.9	0.00	0.05	
OFFSITE 2B	2.21	19.00%	50.00%	31.00%	0.00%	4.7	0.01	0.13	
OFFSITE 2C	0.41	19.00%	50.00%	31.00%	0.00%	0.9	0.00	0.02	
OFFSITE 3	7.60	19.00%	50.00%	31.00%	0.00%	16.3	0.03	0.46	
TOTAL	23.90					43.57	0.04	1.23	

Del Webb Offsite Flow												
Swale number	Basin ID	Q(100yr-6hr)	17% bulking	longitudinal slope	cobble size	n-value	permissible velocity	actual velocity	V-swale top width based on depth	V-swale top width based on EGL	Design width	Depth of swale
		cfs	cfs		Actual	in	ft/s	ft/s	ft	ft	ft	ft
1-DW3	1B	0.6	0.7	4:1		6	0.069	5.5	2.77	1.74	2.46	3.00
2-DW3	2A	1.9	2.22	4:1		6	0.069	5.5	3.65	2.7	3.96	4.00
3-DW3	2B	4.7	5.5	4:1		10	0.069	5.5	4.62	3.78	5.76	6.00
4-DW3	2C	0.9	1.05	3:1		6	0.069	5.5	3.42	1.92	3.00	3.00

ALL ARE 7' WIDE AND 1.33' DEEP



SWALES (1-4)

RUN DOWN DETAIL
NOT TO SCALE

LEGEND

- BASIN BOUNDARY
- FLOW ARROW
- PROPOSED STORM DRAIN
- EXISTING STORM DRAIN
- PROPOSED STREET SLOPE OR FLOW PATH
- PROPOSED STORM DRAIN MANHOLE
- PROPOSED STORM DRAIN INLET

