

# CITY OF ALBUQUERQUE



December 15, 2016

Richard J. Berry, Mayor

Yolanda Padilla Moyer, P.E.  
Bohannon Huston  
7601 Jefferson NE, Suite 100  
Albuquerque, NM, 87109

**RE: Pulte @ Mirehaven Phase 2  
Grading & Drainage Plan Revision  
Borrow Area on Del Webb Phase 4  
Stamp Date 10-28-2016 / Hydrology File: H09D017G**

Dear Ms. Padilla-Moyer:

Based upon the information provided in your submittal received 11-9-2016, the above-referenced is approved for Rough Grading Permit. We understand that although the borrow material will be used for the Pulte Phase 2 project, the area that is actually being graded is the Del Webb Phase 4 section of the development, so the work will be associated with the above-referenced Hydrology File Number.

This work does not affect the approved Grading and Drainage Plan for H09D017E.

Please coordinate ESC measures with the Stormwater Quality Engineer if the improvement is not referenced in the existing ESC Plan/SWPPP for Pulte Phase 2.

If you have any questions, you can contact me at 924-3986.

Sincerely,

Abiel Carrillo, P.E.  
Principal Engineer, Planning Dept.  
Development Review Services

October 31, 2016

Mr. Shahab Biazar, P.E.  
City Engineer  
City of Albuquerque  
600 2<sup>nd</sup> Street NW  
Albuquerque, NM 87102

Re: Phase 2B Borrow Rough Grading Plan, Pulte @ Mirehaven Phase 2  
DRB Case No. 1006864

Dear Shahab:

Enclosed is a rough grading plan for the location of borrow for Pulte at Mirehaven Phase 2. Asbuilts are provided for the borrow location for Phase 2A and the rough grading is provided for the area of the borrow for Phase 2B.

This is consistent with the agreement we had prior to grading on Phase 2A where we agreed we would show a borrow area with rough grades and the actual grades would be asbuilts.

Please find enclosed the new plan, Sheet 5A. I appreciate your time. If you have questions or require additional information, please contact me at 823-1000.

Sincerely,



Yolanda Padilla Moyer, P.E.  
Senior Project Manager  
Community Development & Planning

Enclosure

cc: Kevin Patton, Pulte Group w/encl



# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

**Project Title:** \_\_\_\_\_ **Building Permit #:** \_\_\_\_\_ **City Drainage #:** \_\_\_\_\_

**DRB#:** \_\_\_\_\_ **EPC#:** \_\_\_\_\_ **Work Order#:** \_\_\_\_\_

**Legal Description:** \_\_\_\_\_

**City Address:** \_\_\_\_\_

**Engineering Firm:** \_\_\_\_\_ **Contact:** \_\_\_\_\_

**Address:** \_\_\_\_\_

**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

**Owner:** \_\_\_\_\_ **Contact:** \_\_\_\_\_

**Address:** \_\_\_\_\_

**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

**Architect:** \_\_\_\_\_ **Contact:** \_\_\_\_\_

**Address:** \_\_\_\_\_

**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

**Other Contact:** \_\_\_\_\_ **Contact:** \_\_\_\_\_

**Address:** \_\_\_\_\_

**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

Check all that Apply:

**DEPARTMENT:**

- ☐ HYDROLOGY/ DRAINAGE  
☐ TRAFFIC/ TRANSPORTATION  
☐ MS4/ EROSION & SEDIMENT CONTROL

**TYPE OF SUBMITTAL:**

- ☐ ENGINEER/ ARCHITECT CERTIFICATION
- ☐ CONCEPTUAL G & D PLAN  
☐ GRADING PLAN  
☐ DRAINAGE MASTER PLAN  
☐ DRAINAGE REPORT  
☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)  
☐ TRAFFIC IMPACT STUDY (TIS)  
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☐ OTHER (SPECIFY) \_\_\_\_\_

**CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:**

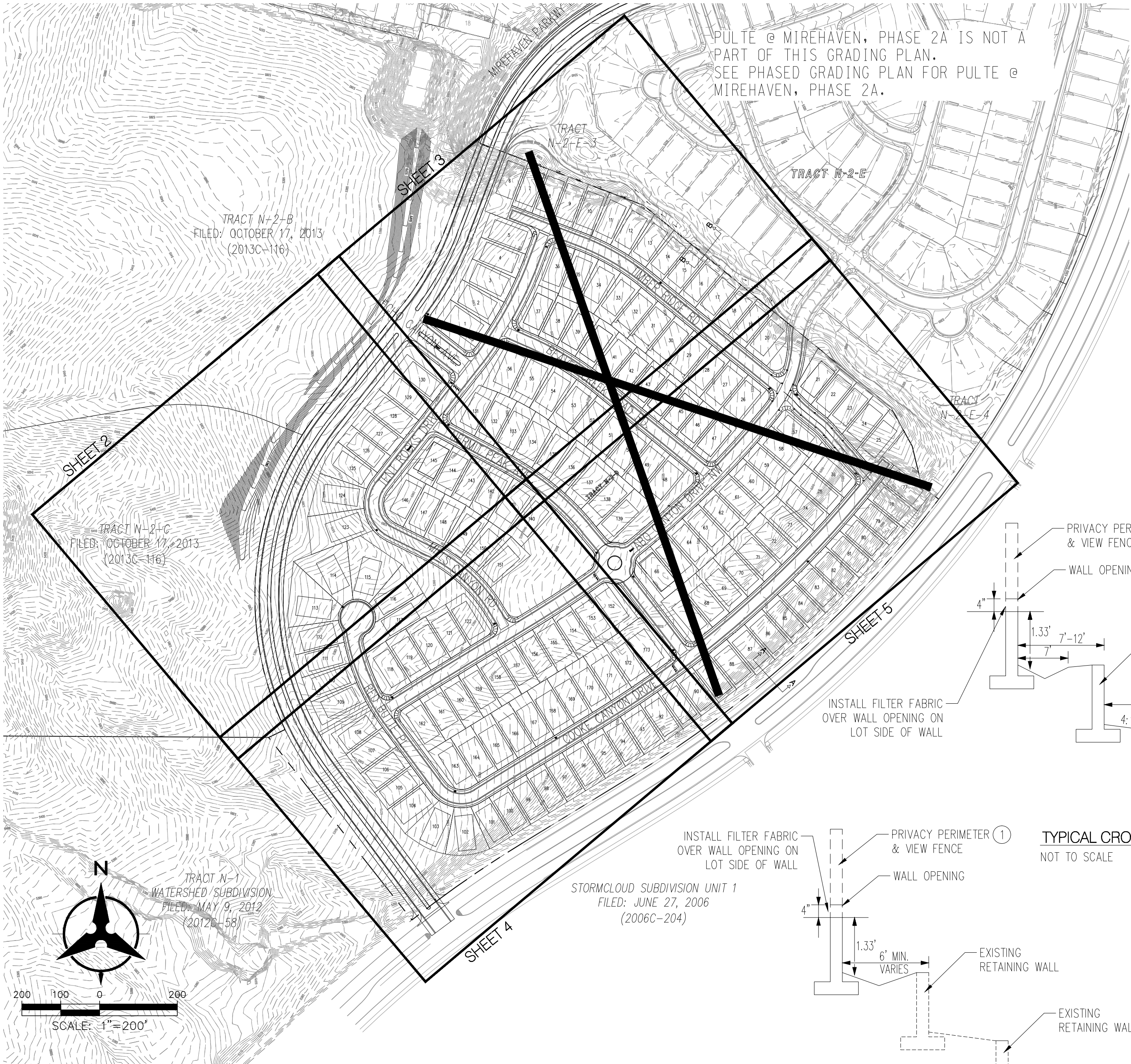
- ☐ BUILDING PERMIT APPROVAL  
☐ CERTIFICATE OF OCCUPANCY
- ☐ PRELIMINARY PLAT APPROVAL  
☐ SITE PLAN FOR SUB'D APPROVAL  
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL  
☐ FINAL PLAT APPROVAL  
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE  
☐ FOUNDATION PERMIT APPROVAL  
☐ GRADING PERMIT APPROVAL  
☐ SO-19 APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ GRADING/ PAD CERTIFICATION  
☐ WORK ORDER APPROVAL  
☐ CLOMR/LOMR
- ☐ PRE-DESIGN MEETING  
☐ OTHER (SPECIFY) \_\_\_\_\_

IS THIS A RESUBMITTAL?: ☐ Yes ☐ No

**DATE SUBMITTED:** \_\_\_\_\_ **By:** \_\_\_\_\_

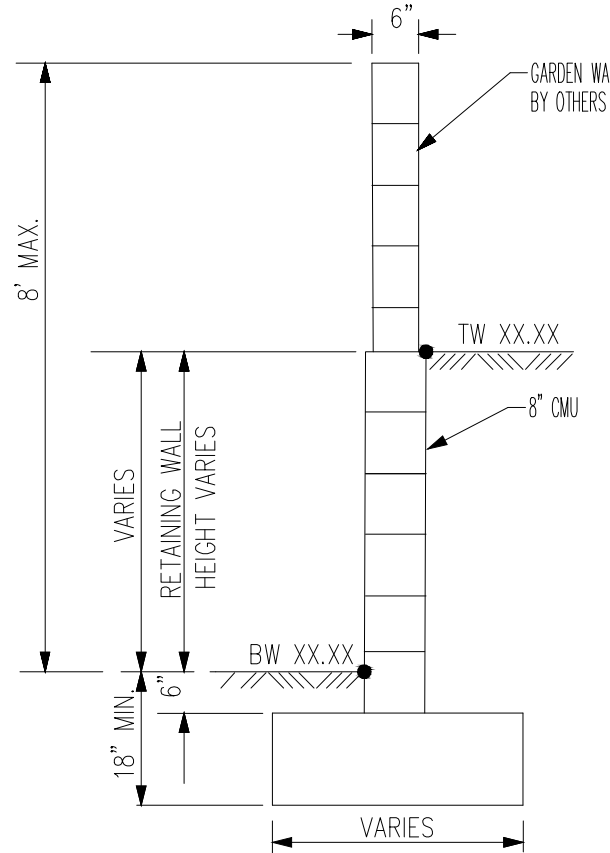
COA STAFF: \_\_\_\_\_ ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_





LEGEND

- PROPOSED SPOT ELEVATION  
EXISTING SPOT ELEVATION  
PROPOSED CONTOUR  
EXISTING STORM DRAIN LINE  
PROPOSED STORM DRAIN INLET  
PROPOSED STORM DRAIN LINE  
PROPOSED STORM DRAIN MANHOLE  
PROPOSED WATER BLOCK  
RETAINING WALL  
PAD  
TB  
STREET SLOPE
- 5235.25  
• EX 5235.25  
— 5025  
— — — —  
□  
○  
○  
□  
10  
P=5300.00  
TURNED BLOCK  
XX



TYPICAL RETAINING WALL NOMENCLATURE  
NOT TO SCALE

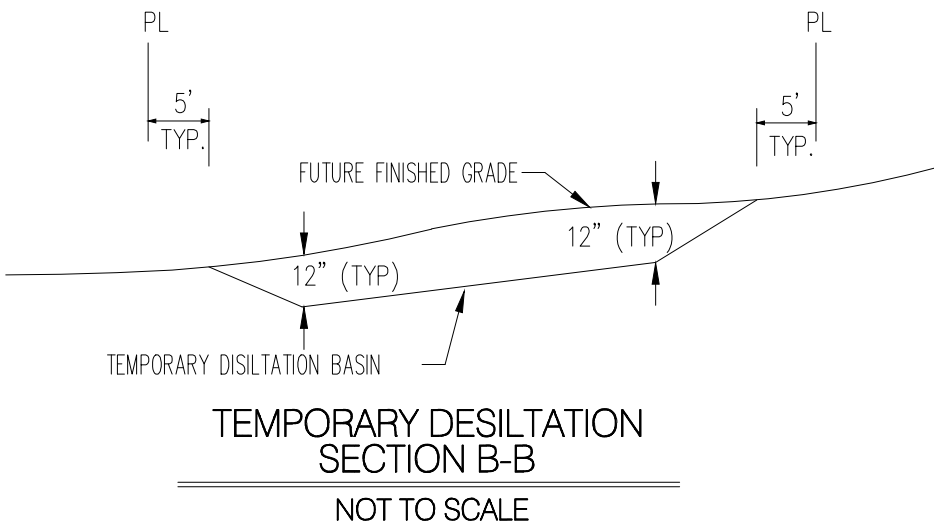
(RETAINING HEIGHT IS TAKEN TO BE DIFFERENCE IN FINISHED GRADES ON LEFT AND RIGHT SIDE OF WALL.)  
HEIGHT IS IN ACCORDANCE WITH CITY COMPREHENSIVE ZONING CODE, SECTION 14-16-3-19, GENERAL HEIGHT AND DESIGN REGULATIONS FOR WALLS, FENCES, AND RETAINING WALLS.

TYPICAL CROSS SECTION A-A  
NOT TO SCALE

- KEYED NOTE  
① PRIVACY WALL HEIGHT WILL BE 4'-5' IF PRIVATE SIDE GRADE IS HIGHER (4' MAX) THAN ADJACENT PUBLIC SIDE GRADE, FOR A TOTAL OF 8' MAX WALL FROM THE PUBLIC SIDE. PRIVACY WALL WILL BE 6' MAX. IF PRIVATE SIDE GRADE IS LOWER THAN ADJACENT PUBLIC GRADE.

TYPICAL CROSS SECTION B-B  
NOT TO SCALE

TEMPORARY DESILTATION SECTION A-A  
NOT TO SCALE



TEMPORARY DESILTATION SECTION B-B  
NOT TO SCALE

FRONT YARD POND DETAIL  
FOR LOTS DRAINING FORWARD  
NOT TO SCALE

GENERAL NOTES

- ALL WORK DETAILED ON THESE PLANS AND PERFORMED UNDER THIS CONTRACT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND THE PROJECT GEOTECHNICAL REPORT. WHERE APPLICABLE, CITY OF ALBUQUERQUE PUBLIC WORKS STANDARDS SHALL APPLY.
- THE CONTRACTOR SHALL ABIDE BY ALL LOCAL, STATE, AND FEDERAL LAWS, RULES AND REGULATIONS WHICH APPLY TO THE CONSTRUCTION OF THESE IMPROVEMENTS, INCLUDING EPA REQUIREMENTS WITH RESPECT TO STORM WATER DISCHARGE.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL POTENTIAL OBSTRUCTIONS INCLUDING ALL UNDERGROUND UTILITIES. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION OBSERVER OR ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR SHALL CONTACT LINE LOCATING SERVICE FOR LOCATION OF EXISTING UTILITIES.
- ALL ELECTRICAL, TELEPHONE, CABLE TV, GAS AND OTHER UTILITY LINES, CABLES, AND APPURTENANCES ENCOUNTERED DURING CONSTRUCTION THAT REQUIRE RELOCATION, SHALL BE COORDINATED WITH THAT UTILITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL NECESSARY UTILITY ADJUSTMENTS. NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR DELAYS OR INCONVENIENCES CAUSED BY UTILITY COMPANY WORK CREWS. THE CONTRACTOR MAY BE REQUIRED TO RESCHEDULE HIS ACTIVITIES TO ALLOW UTILITY CREWS TO PERFORM THEIR REQUIRED WORK.
- THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITY LINES WITHIN THE CONSTRUCTION AREA. ANY DAMAGE TO EXISTING FACILITIES CAUSED BY CONSTRUCTION ACTIVITY SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE AND APPROVED BY THE CONSTRUCTION OBSERVER.
- CONSTRUCTION ACTIVITY SHALL BE LIMITED TO THE PROPERTY AND/OR PROJECT LIMITS. ANY DAMAGE TO ADJACENT PROPERTIES RESULTING FROM THE CONSTRUCTION PROCESS SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE.
- OVERNIGHT PARKING OF CONSTRUCTION EQUIPMENT SHALL NOT OBSTRUCT DRIVEWAYS OR DESIGNATED TRAFFIC LANES. THE CONTRACTOR SHALL NOT STORE ANY EQUIPMENT OR MATERIAL WITHIN THE PUBLIC RIGHT-OF-WAY.
- THE CONTRACTOR SHALL OBTAIN ALL THE NECESSARY PERMITS FOR THE PROJECT PRIOR TO COMMENCING CONSTRUCTION (I.E., BARRICADING, TOPSOIL DISTURBANCE, EXCAVATION PERMITS, EPA STORM WATER PERMITS, ETC.).
- ALL PROPERTY CORNERS DESTROYED DURING CONSTRUCTION SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE. ALL PROPERTY CORNERS MUST BE RESET BY A REGISTERED LAND SURVEYOR.
- THE CONTRACTOR SHALL PREPARE A CONSTRUCTION TRAFFIC CONTROL AND SIGNING PLAN AND OBTAIN APPROVAL OF SUCH PLAN FROM THE CITY OF ALBUQUERQUE, TRAFFIC ENGINEERING DEPARTMENT, PRIOR TO BEGINNING ANY CONSTRUCTION WORK ON OR ADJACENT TO EXISTING STREETS.
- ALL BARRICADES AND CONSTRUCTION SIGNING SHALL CONFORM TO APPLICABLE SECTIONS OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD), US DEPARTMENT OF TRANSPORTATION, LATEST EDITION.
- THE CONTRACTOR SHALL MAINTAIN ALL CONSTRUCTION BARRICADES AND SIGNING AT ALL TIMES. THE CONTRACTOR SHALL VERIFY THE PROPER LOCATION OF ALL BARRICADING AT THE END AND BEGINNING OF EACH DAY.
- THE CONTRACTOR SHALL TAKE ALL STEPS NECESSARY TO CONFORM WITH EPA REQUIREMENTS, INCLUDING COMPLIANCE WITH NPDES PHASE 2 REQUIREMENTS.

GRADING NOTES

- EXCEPT AS PROVIDED HEREIN, GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.
- CONTRACTOR SHALL OBTAIN AND ABIDE BY A TOPSOIL DISTURBANCE PERMIT FROM THE CITY OF ALBUQUERQUE ENVIRONMENTAL HEALTH DIVISION, PRIOR TO CONSTRUCTION. THE COST FOR REQUIRED CONSTRUCTION DUST AND EROSION CONTROL MEASURES SHALL BE INCIDENTAL TO THE PROJECT COST. THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE, AND FEDERAL DUST CONTROL MEASURES AND REQUIREMENTS AND WILL BE RESPONSIBLE FOR PREPARING AND OBTAINING ALL NECESSARY APPLICATIONS AND APPROVALS.
- ALL WORK RELATIVE TO FOUNDATION CONSTRUCTION, SITE PREPARATION, AND PAVEMENT INSTALLATION, AS SHOWN ON THIS PLAN, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE SOILS REPORT PREPARED BY XBEVINYARD DATED JULY 22, 2013. ALL OTHER WORK, UNLESS OTHERWISE STATED OR PROVIDED FOR HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS (FIRST PRIORITY), AND/OR THE CITY OF ALBUQUERQUE (COA) STANDARD SPECIFICATIONS FOR PUBLIC WORKS (SECOND PRIORITY).
- TWO WORKING DAYS PRIOR TO EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE (765-1264) FOR LOCATION OF EXISTING UTILITIES.
- PRIOR TO GRADING, ALL VEGETATION DEBRIS, AND NEAR SURFACE ORGANICALLY CONTAMINATED SOIL SHALL BE STRIPPED FROM ALL AREAS TO BE GRADED. VEGETATION AND DEBRIS SHALL BE DISPOSED OF OFF-SITE OR STOCK-PILED FOR USE IN PLANTERS AND NON-STRUCTURAL FILLS.
- EARTH SLOPES SHALL NOT EXCEED 4 HORIZONTAL TO 1 VERTICAL UNLESS SHOWN OTHERWISE.
- IT IS THE INTENT OF THESE PLANS THAT THIS CONTRACTOR SHALL NOT PERFORM ANY WORK OUTSIDE OF THE PROPERTY BOUNDARIES EXCEPT AS REQUIRED BY THIS PLAN.
- THE CONTRACTOR IS TO ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO ADJACENT PROPERTY OR PUBLIC RIGHT-OF-WAY. THIS SHOULD BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS AT THE PROPERTY LINES MEETING THE SOIL TO PROTECT IT FROM WIND EROSION.
- A DISPOSAL SITE FOR ALL EXCESS EXCAVATION AND UNSUITABLE MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE OBSERVER. ALL COSTS INCURRED IN OBTAINING A DISPOSAL SITE AND HAUL THERETO SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT, AND NO SEPARATE MEASUREMENT OR PAYMENT SHALL BE MADE.
- PAVING AND ROADWAY GRADES SHALL BE +/- 0.1' FROM PLAN ELEVATIONS. PAD ELEVATION SHALL BE +/- 0.05' FROM BUILDING PLAN ELEVATIONS.
- ALL SPOT ELEVATIONS ARE TO FLOWLINE UNLESS OTHERWISE NOTED. VALLEY GUTTER ELEVATIONS ARE SHOWN AT FLOWLINE ELEVATION.

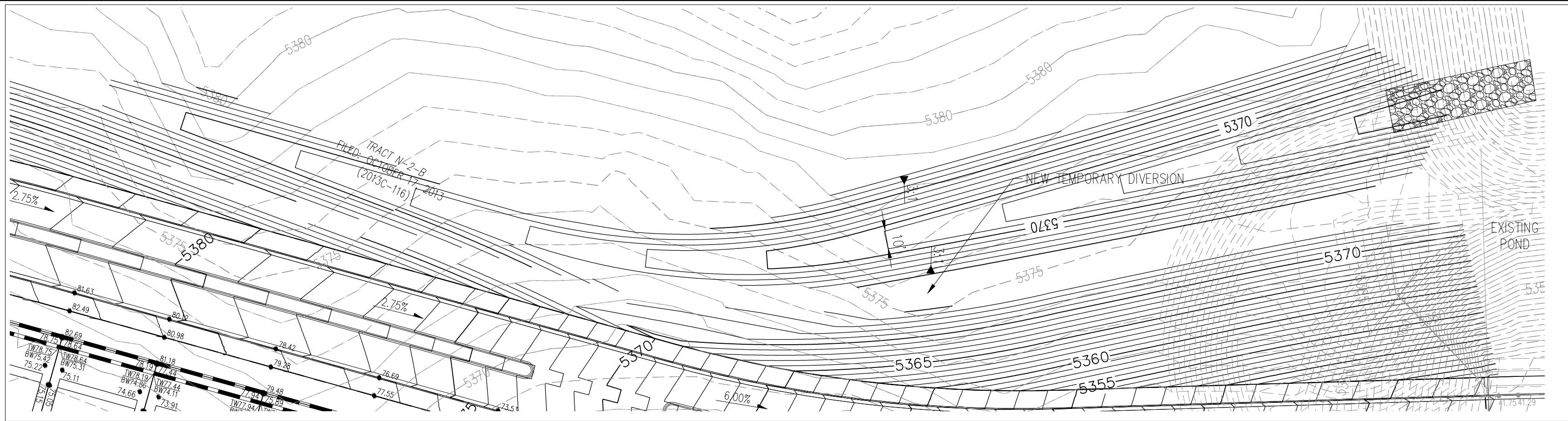
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CITY OF ALBUQUERQUE  
DEPARTMENT OF  
MUNICIPAL DEVELOPMENT

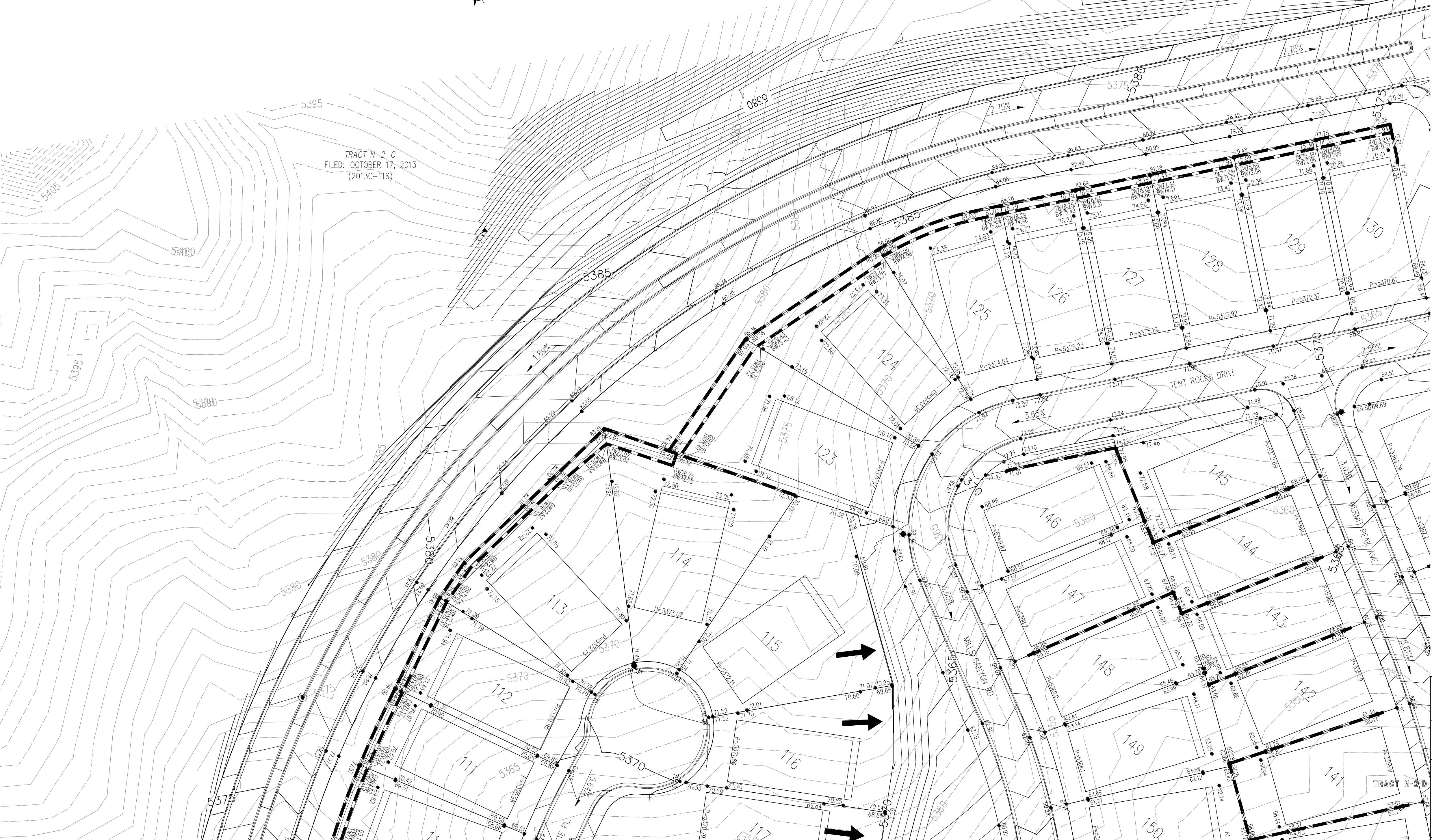
PULTE @ MIREHAVEN PHASE 2  
OVERALL GRADING PLAN

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	MO./DAY/YR.	MO./DAY/YR.
CITY PROJECT NO.	ZONE MAP NO.	SHEET 1	OF 5



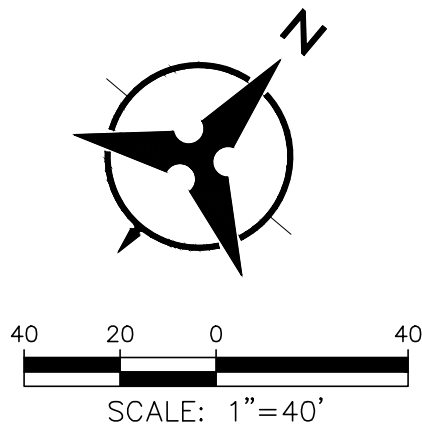


ENLARGED POND AREA  
SCALE: 1"=50'



LEGEND

- PROPOSED SPOT ELEVATION
- EXISTING SPOT ELEVATION
- PROPOSED CONTOUR
- EXISTING STORM DRAIN LINE
- PROPOSED STORM DRAIN INLET
- PROPOSED STORM DRAIN LINE
- PROPOSED STORM DRAIN MANHOLE
- PROPOSED WATER BLOCK
- RETAINING WALL
- PAD
- WALL OPENING
- STREET SLOPE
- COBBLE RUNDOWN



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**DEPARTMENT OF**  
**MUNICIPAL DEVELOPMENT**  
PULTE @ MIREHAVEN PHASE 2  
GRADING PLAN

DESIGN REVIEW COMMITTEE

CITY ENGINEER APPROVAL

LAST DESIGN  
UPDATE

CITY PROJECT NO.

ZONE MAP NO.

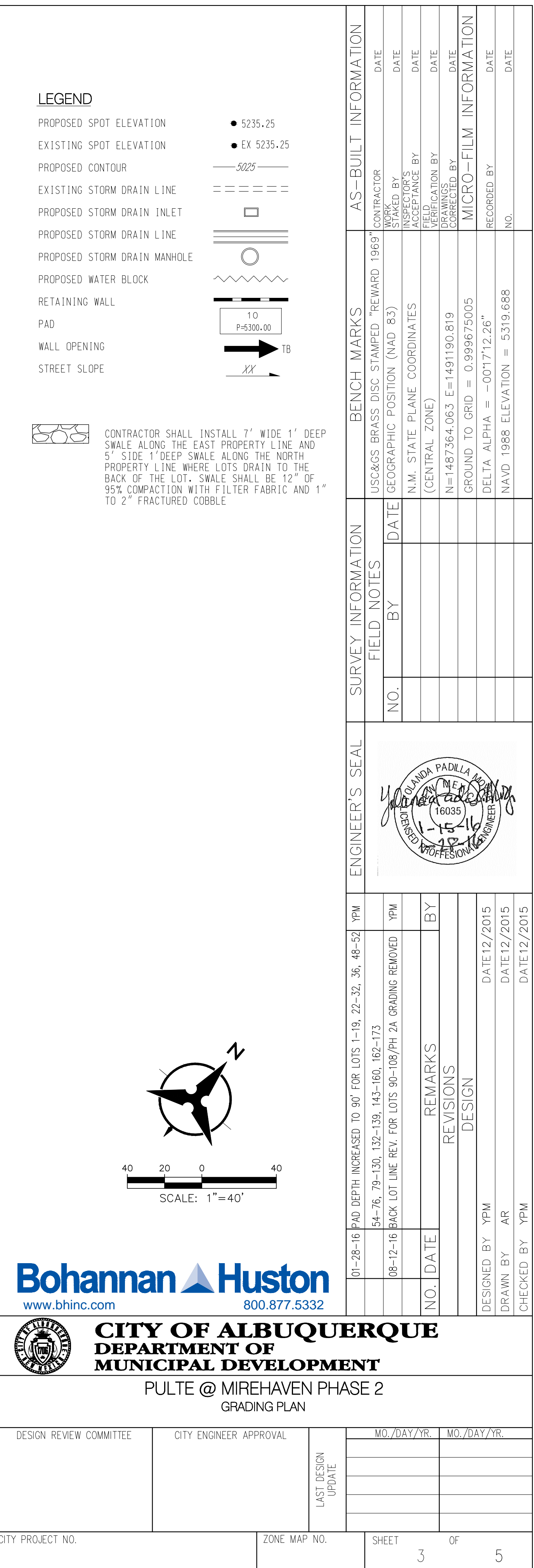
SHEET

OF

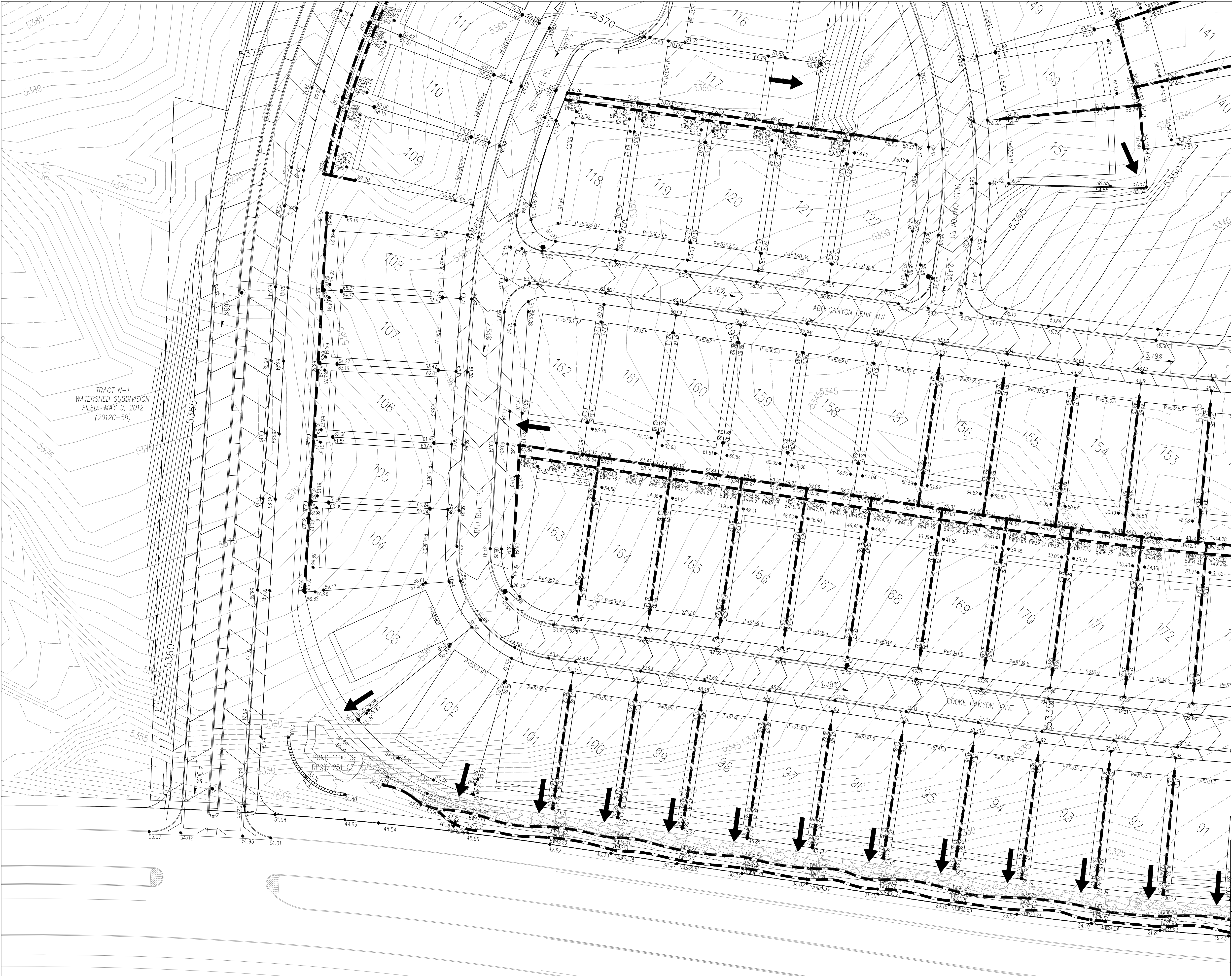
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AS-BUILT INFORMATION				BENCH MARKS				SURVEY INFORMATION				ENGINEER'S SEAL			
CONTRACTOR	DATE	WORK	DATE	USCAGS BRASS DISC STAMPED "REWARD 1969"	NO.	BY	DATE	FIELD NOTES	NO.	BY	DATE				
STAKED BY	DATE	GEOGRAPHIC POSITION (NAD 83)	DATE	N.M. STATE PLANE COORDINATES											
ADJUSTED BY	DATE	(CENTRAL ZONE)	DATE												
FIELD STATION BY	DATE		DATE									REVISIONS DESIGN			
DRAWINGS	DATE		DATE												
CORRECTED BY	DATE		DATE												
MICRO-FILM INFORMATION				N=1487364.063 E=149190.819				DATE12/2015				DESIGNED BY YPM			
				GROUND TO GRID = 0.999675005				DATE12/2015				DRAWN BY AR			
				DELTA ALPHA = -001712.26"				DATE12/2015				CHECKED BY YPM			
				NAD 1988 ELEVATION = 5319.688											









**LEGEND**

PROPOSED SPOT ELEVATION: 5235.25, EX 5235.25

EXISTING SPOT ELEVATION: 5025

PROPOSED CONTOUR: 5025

EXISTING STORM DRAIN LINE: ---

PROPOSED STORM DRAIN INLET: [Symbol]

PROPOSED STORM DRAIN LINE: [Symbol]

PROPOSED STORM DRAIN MANHOLE: [Symbol]

PROPOSED WATER BLOCK: [Symbol]

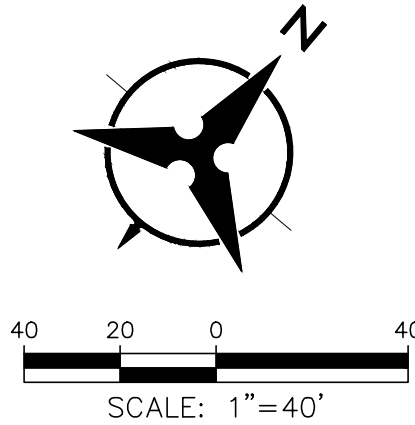
RETAINING WALL: [Symbol]

PAD: 10, P=5300.00

WALL OPENING: [Symbol]

STREET SLOPE: [Symbol]

CONTRACTOR SHALL INSTALL 7' WIDE 1' DEEP SWALE ALONG THE EAST PROPERTY LINE AND 5' SIDE 1' DEEP SWALE ALONG THE NORTH PROPERTY LINE WHERE LOTS DRAIN TO THE BACK OF THE LOT. SWALE SHALL BE 12" OF 95% COMPACTION WITH FILTER FABRIC AND 1" TO 2" FRACTURED COBBLE.



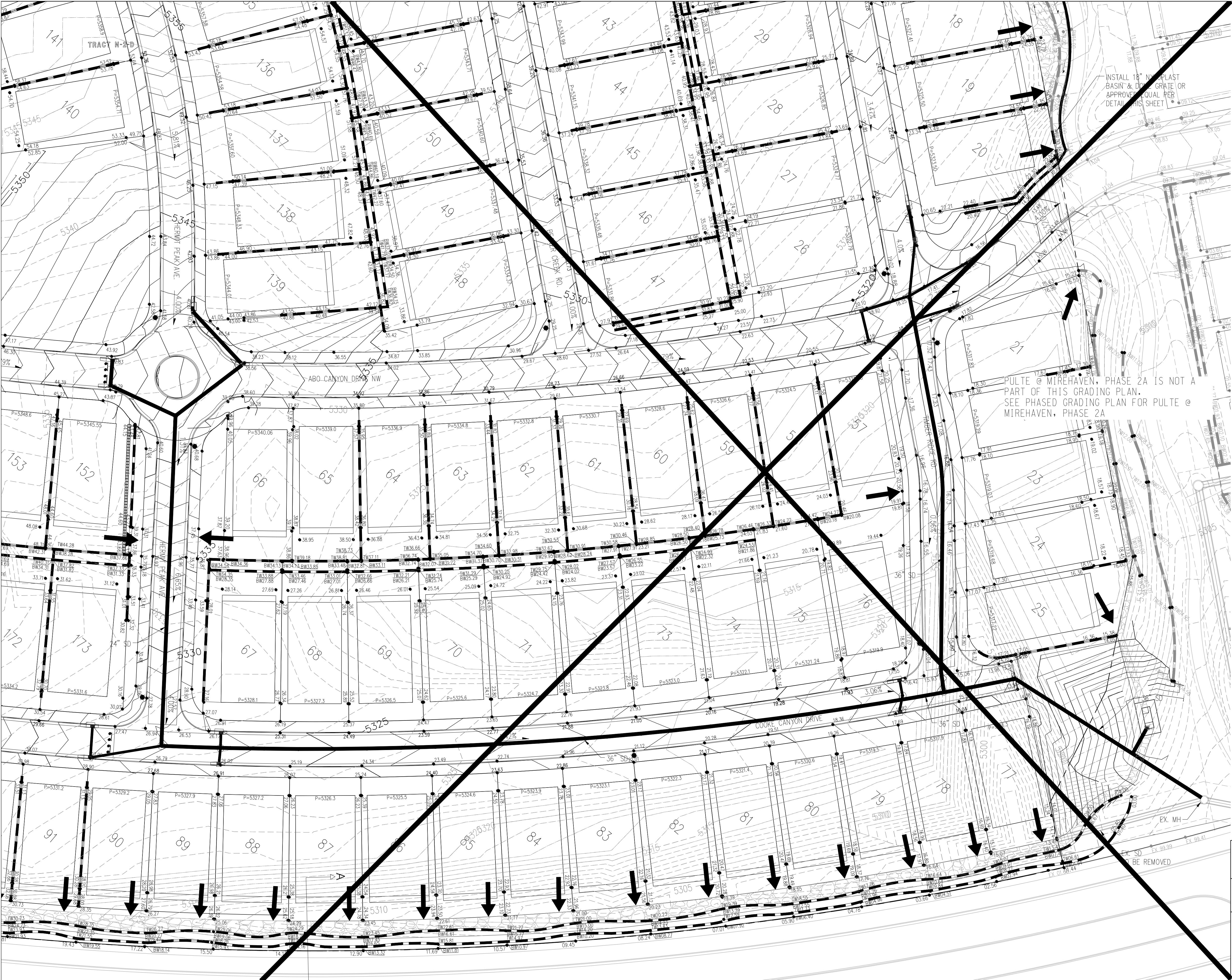
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**CITY OF ALBUQUERQUE**  
DEPARTMENT OF  
MUNICIPAL DEVELOPMENT  
PULTE @ MIREHAVEN PHASE 2  
GRADING PLAN

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	LAST DESIGN UPDATE	MO./DAY/YR.	MO./DAY/YR.
CITY PROJECT NO.	ZONE MAP NO.	SHEET	OF	
		4	5	

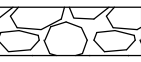
AS-BUILT INFORMATION				BENCH MARKS				SURVEY INFORMATION				ENGINEER'S SEAL			
CONTRACTOR	DATE	WORK	DATE	USCAGS BRASS DISC STAMPED "REWARD 1969"	CONTRACTOR	DATE	REWARD 1969	FIELD NOTES	NO.	BY	DATE	NO.	BY	DATE	YPM
STAKED BY	DATE	STAKED BY	DATE	GEOGRAPHIC POSITION (NAD 83)	STAKED BY	DATE	REWARD 1969								
ADJUSTED BY	DATE	ADJUSTED BY	DATE	N.M. STATE PLANE COORDINATES	ADJUSTED BY	DATE	REWARD 1969								
FIELD STATION BY	DATE	FIELD STATION BY	DATE	(CENTRAL ZONE)	FIELD STATION BY	DATE	REWARD 1969								
DRAWINGS	DATE	DRAWINGS	DATE	N=1487364.063 E=149190.819	DRAWINGS	DATE	REWARD 1969								
CORRECTED BY	DATE	CORRECTED BY	DATE	GROUND TO GRID = 0.999675005	CORRECTED BY	DATE	REWARD 1969								
	DATE		DATE	DELTA ALPHA = -001712.26"		DATE	REWARD 1969								
	DATE		DATE	NAVD 1988 ELEVATION = 5319.688		DATE	REWARD 1969								
	DATE		DATE			DATE	REWARD 1969								



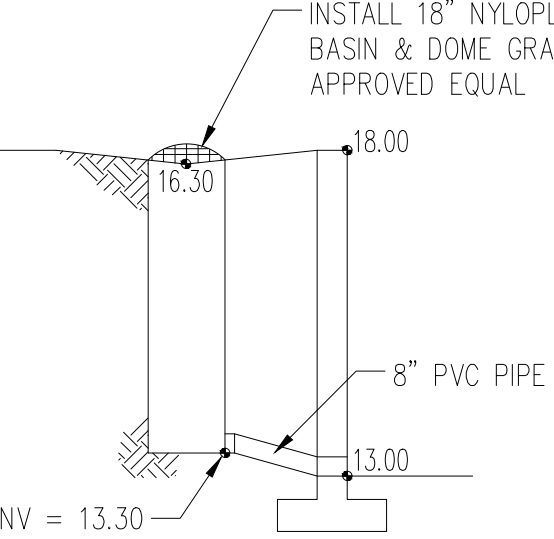


LEGEND

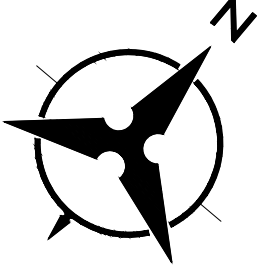
- PROPOSED SPOT ELEVATION
- EXISTING SPOT ELEVATION
- PROPOSED CONTOUR
- EXISTING STORM DRAIN LINE
- PROPOSED STORM DRAIN INLET
- PROPOSED STORM DRAIN LINE
- PROPOSED STORM DRAIN MANHOLE
- PROPOSED WATER BLOCK
- RETAINING WALL
- PAD
- WALL OPENING
- STREET SLOPE



CONTRACTOR SHALL INSTALL 7' WIDE 1' DEEP SWALE ALONG THE EAST PROPERTY LINE AND 5' SIDE 1' DEEP SWALE ALONG THE NORTH PROPERTY LINE WHERE LOTS DRAIN TO THE BACK OF THE LOT. SWALE SHALL BE 12" OF 95% COMPACTION WITH FILTER FABRIC AND 1" TO 2" FRACTURED COBBLE. INSTALL 7'X5' AND 5'X5' COBBLE EROSION CONTROL PAD RESPECTIVELY PER SAME SWALE SPECS AT THE POND BOTTOM AT THE END OF 7' AND 5' SWALE



BASIN & DOME GRATE DETAIL  
NOT TO SCALE



SCALE: 1"=40'

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PULTE @ MIREHAVEN PHASE 2  
GRADING PLAN

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	LAST DESIGN UPDATE	MO./DAY/YR.	
			MO./DAY/YR.	MO./DAY/YR.

CITY PROJECT NO.	ZONE MAP NO.	SHEET 5 OF 5
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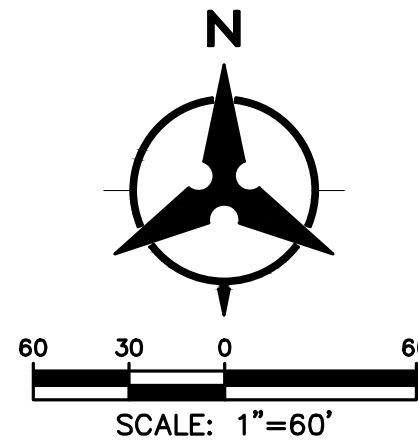


P:\20160103\CDP\Plans\General\PH2B\20160103\_Grading02- 2B Borrow.dwg  
Mon, 7-Nov-2016 - 11:36:am, Plotted by: YPADILLA

BHI JOB NO. 20160103

LEGEND

- PROPOSED SPOT ELEVATION • 5235.25  
EXISTING SPOT ELEVATION • EX 5235.25  
PROPOSED CONTOUR — 5025 —  
EXISTING STORM DRAIN LINE ---  
PROPOSED STORM DRAIN INLET □  
PROPOSED STORM DRAIN LINE |||||  
PROPOSED STORM DRAIN MANHOLE ○  
PROPOSED WATER BLOCK ~~~~~  
RETAINING WALL [Symbol]  
PAD [Symbol]  
WALL OPENING [Symbol]  
STREET SLOPE [Symbol]



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PULTE @ MIREHAVEN PHASE 2  
GRADING PLAN

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CITY ENGINEER APPROVAL

LAST DESIGN  
UPDATE

MO./DAY/YR. MO./DAY/YR.

CITY PROJECT NO.

ZONE MAP NO.

SHEET 5A OF 5

SURVEY INFORMATION			BENCH MARKS			AS-BUILT INFORMATION		
FIELD NOTES			US&GS BRASS DISC STAMPED "REWARD 1969"			CONTRACTOR		
NO.	BY	DATE	GEOGRAPHIC POSITION (NAD 83)			DATE		
			N.M. STATE PLANE COORDINATES (CENTRAL ZONE)			INSPECTOR'S DATE		
			GROUND TO GRID = 0.999675005			FIELD VERIFICATION BY DATE		
			DELTA ALPHA = -007172.26"			CORRECTED BY DATE		
			NAVD 1988 ELEVATION = 5319.688			MICRO-FILM INFORMATION		
						RECORDED BY DATE		
						NO.		