

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

March 23, 2023

Leslie Ford, P.E.
Ofi Chito
3224 Collinsworth Street
Fort Worth, TX 76107

**RE: McDonald's – Ladera
1901 Ladera Dr. NW
Grading and Drainage Plan
Engineer's Stamp Date: 3/16/2023
Hydrology File: H09D020**

Dear Ms. Ford:

Based upon the information provided in your submittal received 3/22/2023, the Grading & Drainage Plan is approved for Building Permit approval. Please attach a copy of this approved plan in the construction sets for Building Permit processing along with a copy of this letter.

PO Box 1293

PRIOR TO CERTIFICATE OF OCCUPANCY:

Albuquerque

1. Engineer's Certification, per the DPM Part 6-14 (F): *Engineer's Certification Checklist For Non-Subdivision* is required.
2. Please provide the executed paper Drainage Covenant (latest revision) printed on one-side only with Exhibit A and a check for \$25 made out to "Bernalillo County" for the stormwater quality ponds per Article 6-15(C) of the DPM to Hydrology for review. Once the review is done, Hydrology will send back an email stating our approval/comments.

NM 87103

www.cabq.gov

As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, jhughes@cabq.gov, 505-924-3420) 14 days prior to any earth disturbance.

If you have any questions, please contact me at 505-924-3695 or tchen@cabq.gov.

Sincerely,

Tiequan Chen, P.E.
Principal Engineer, Hydrology
Planning Department, Development Review Services



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: McDonald's - Ladera **Building Permit #:** _____ **Hydrology File #:** H09D020
DRB#: _____ **EPC#:** _____ **Work Order#:** _____
Legal Description: TRACT 5-A-1C-2 OF PLAT OF TRACT 5-A-1C-2, EL RANCHO ATRISCO PHASE III, (BEING A REPLAT OF TRACT 5-A-1C, EL RANCHO ATRISCO PHASE III), CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
City Address: 1901 Ladera Dr. NW Albuquerque, NM 87120 / UPC: 100905949911241008

Applicant: Ofi Chito **Contact:** Leslie Ford
Address: 3224 Collinsworth Street Fort Worth, TX 76107
Phone#: 325-370-9965 **Fax#:** _____ **E-mail:** leslie@ofichito.com

Other Contact: _____ **Contact:** _____
Address: _____
Phone#: _____ **Fax#:** _____ **E-mail:** _____

TYPE OF DEVELOPMENT: _____ PLAT (# of lots) _____ RESIDENCE _____ DRB SITE ☒ ADMIN SITE

IS THIS A RESUBMITTAL? ☒ Yes _____ No

DEPARTMENT _____ TRANSPORTATION ☒ HYDROLOGY/DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

- ☐ ENGINEER/ARCHITECT CERTIFICATION
- ☐ PAD CERTIFICATION
- ☐ CONCEPTUAL G & D PLAN
- ☒ GRADING PLAN
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE MASTER PLAN
- ☐ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- ☐ ELEVATION CERTIFICATE
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ TRAFFIC IMPACT STUDY (TIS)
- ☐ STREET LIGHT LAYOUT
- ☐ OTHER (SPECIFY) _____
- ☐ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

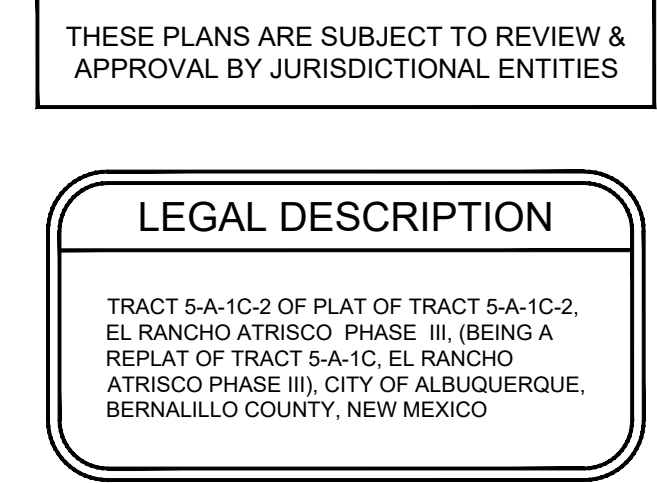
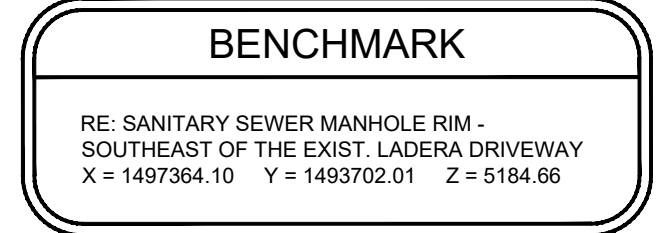
- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ SITE PLAN FOR SUB'D APPROVAL
- ☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ SO-19 APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ GRADING/ PAD CERTIFICATION
- ☐ WORK ORDER APPROVAL
- ☐ CLOMR/LOMR
- ☐ FLOODPLAIN DEVELOPMENT PERMIT
- ☐ OTHER (SPECIFY) _____

DATE SUBMITTED: 12/14/22 **By:** Leslie Ford

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____



STANDARD ACCESSIBILITY REQUIREMENTS

PARKING:

ACCESSIBLE PARKING SPACES SHALL BE A MIN. 96" WIDE OR A MIN. 132" WIDE FOR VAN DESIGNATED SPACES WITH A MAXIMUM SLOPE OF 2% (IN ALL DIRECTIONS). ALL BUILDINGS SHALL CONTAIN AT LEAST ONE VAN ACCESSIBLE SPACE.

EACH ACCESSIBLE PARKING SPACE SHALL HAVE A VERTICALLY MOUNTED (OR SUSPENDED) SIGN SHOWING THE SYMBOL OF ACCESSIBILITY. AT LEAST ONE SPACE MUST HAVE AN ADDITIONAL SIGN "VAN-ACCESSIBLE" MOUNTED BELOW THE SYMBOL OF ACCESSIBILITY. SIGNS SHALL BE LOCATED 60" (MIN.) ABOVE THE ADJACENT PAVED SURFACE TO BOTTOM OF TEXT.

ALL ACCESS AISLES SERVING H.C. PARKING SPACES SHALL BE 60" WIDE MINIMUM.

CURB RAMPS:

RAMPS EXCEEDING 6" IN RISE (EXCLUDING CURB RAMPS) SHALL HAVE HANDRAILS ON EACH SIDE AT BETWEEN 34" AND 38", AND EXTEND 12" BEYOND THE TOP AND BOTTOM OF RAMP. HANDRAIL SHALL NOT DIMINISH THE CLEAR AREA REQUIRED FOR TOP AND BOTTOM LANDINGS SERVING THE RAMPS.

IF REQUIRED BY LOCAL OR STATE JURISDICTION, RAMPS SHALL CONTAIN A TRUNCATED DOME SURFACE ARRANGED SO THAT WATER WILL NOT ACCUMULATE. COLOR OF RAMP FINISH MATERIAL (INCLUDING CONCRETE) SHALL HAVE A LIGHT AND REFLECTIVE VALUE AND MUST CONTRAST SIGNIFICANTLY TO DISTINGUISH IT FROM ADJACENT SURFACES - (OR PAINT STRIPE)

BOTTOM LANDINGS FOR RAMPS SERVING REQUIRED EXITS SHALL BE 5'-0" LONG X 5'-0" WIDE MINIMUM.


RAMPS SHALL NOT EXCEED A 1:12 SLOPE

SIDEWALKS AND ACCESSIBLE ROUTES:

MINIMUM SIDEWALK WIDTH OF 5'. IF OBSTRUCTIONS EXIST SIDEWALKS MUST HAVE AT LEAST 36" MINIMUM CLEARANCE

SIDEWALK CROSS SLOPE SHALL NOT EXCEED 1:50 (2%)

LONGITUDINAL SLOPE OF ANY SIDEWALK (ACCESSIBLE ROUTE) SHALL NOT EXCEED 1:20 (5%)

LEGEND	
TC	PROPOSED TOP OF CURB
TP	PROPOSED TOP OF PAVEMENT
SW	PROPOSED TOP OF SIDEWALK
EX	EXISTING ELEVATION
FF	FINISHED FLOOR ELEVATION
FG	FINISHED GRADE ELEVATION
XXXX.XX	DENOTES EXISTING GRADE
--- 3897 ---	DENOTES EXISTING CONTOUR
	DENOTES PROPOSED CONTOUR
-----	DENOTES RIDGE LINE/ DRAINAGE DIVIDE
-----	DENOTES SAWCUT LINE
-----	DENOTES BOUNDARY LINE

- ## GENERAL NOTES
- THE EPA'S NPDES REGULATIONS 40-CFR-123, AND 40-CFR-124 CONCERNING EROSION AND SEDIMENT CONTROL REQUIREMENTS UNDERNEATH BUILDING SLAB.
- SITE AT ALL TIMES. DEVIATIONS FROM THE PLAN MUST BE PRECEDED BY AN APPROVED PLAN REVISION.
- RETENTION AND ROOT SYSTEMS TO A DEPTH OF 6 INCHES FOR A DISTANCE OF FIVE FEET OUTSIDE THE BUILDING AND SOIL SPECIFICATIONS SHALL COMPLY WITH THE GEOTECH REPORT.

DRAWN BY		C.L.C.	
CHECKED BY		S.T.M.	
DATE		NOV. 2022	
SHEET NO.		09 OF 27	
FILE NO.		SKY 2020, 1044	
PLAN APPROVALS			
	SIGNATURE (2 REQUIRED)	DATE	
REGIONAL MGR.			
CONST. MGR.			
OPERATIONS DEPT.			
REAL ESTATE DEPT.			
CO-SIGN SIGNATURES			
CONTRACTOR			
OWNER			
OFFICE		LONG BEACH FIELD OFFICE	
ADDRESS		18565 JAMBORREE ROAD, STE. 500, IRVINE, CA 92612	
PREPARED FOR: ©		MCDONALD'S LLC 30-0263	
M. McDonald's USA, LLC			
<p>These drawings and specifications are the confidential and proprietary property of McDonald's. They are not to be reproduced, copied, or used in any manner without the written consent of McDonald's. These drawings were prepared for use on this specific site in conjunction with its issue date and are not suitable for use on a different site or at a later time. Use of these drawings for reference or reproduction of the contract documents for reuse on another project is not authorized.</p>			
1901 Ludera Drive NW		Albuquerque, NM	
C7.0 GRADING PLAN			
ISSUE FOR PERMIT		C.L.C. S.T.M.	
RE-ISSUE FOR PERMIT, PER CITY COMMENTS		C.L.C. S.T.M.	
RE-ISSUE FOR PERMIT, PER CITY COMMENTS		C.L.C. S.T.M.	
RE-ISSUE FOR PERMIT, PER CITY COMMENTS		C.L.C. S.T.M.	
REVISED PER SOLID WASTE, G&D C&A CMNTS.		C.L.C. S.T.M.	
REV	DATE	DESCRIPTION	
1	04/19/2021	C.L.C. S.T.M.	
2	11/23/2022	C.L.C. S.T.M.	
3	02/02/2023	C.L.C. S.T.M.	
4	02/16/2023	C.L.C. S.T.M.	
5	03/16/2023	C.L.C. S.T.M.	
REV	DATE	BY	
		APPR	

City of Albuquerque
Planning Department
Development Review Services
HYDROLOGY SECTION
APPROVED
DATE: 3/23/2023
BY: *Heidi Cha*
HydroTrans # H09D020
THE APPROVAL OF THESE PLANS DOES NOT BE
CONSIDERED A GUARANTEE OF ANY CITY
ORDINANCE OR STATE LAW, AND SHALL NOT BE
USED FOR A PURPOSE OTHER THAN THAT
SPECIFICALLY AUTHORIZED BY THE CITY OF ALBUQUERQUE.
SPECIFICATIONS OR CONSTRUCTIONS, SUCH AS APPROVED PLANS,
SHALL NOT BE CHANGED WITHOUT THE APPROVAL OF THE
AUTHORITIES.

HEC-HMS Output				
Sub Basin	Point of Analysis	Area (acres)	Impervious Cover	Peak Discharge (100YR) cfs
EX-1	A	1.329	10%	1.1
EX-2	B	0.286	0%	0.2
PR-1	A	0.631	73%	2.0
PR-2	A	0.774	72%	2.4
PR-3	A	0.123	100%	0.5
PR-4	B	0.087	7%	0.1
Bio Retention Pond 1				0.4
Bio Retention Pond 2				0.5
PR POA A				1.0
Increase in Runoff (cfs)				-0.1
PR POA B				0.1
Increase in Runoff (cfs)				-0.1
Lag Time = 0.6*12min				

SWQV / Pond 1 Stage Storage Volume					
Elevation	Area	Avg. Area	Inc. Depth	Inc. Volume	Total Volume
5185	649.6	870.8	1	870.8	0.0
5186	1092.0				
5186.85	1530.296	1311.2	0.85	1114.5	1985.3
5187.35	1830.0	1680.1	0.5	840.1	
Required Volume : (17,682 Imp SF * 0.42" = 619 Cu.Ft.)					2825.4

SWQV / Pond 2 Stage Storage Volume					
Elevation	Area	Avg. Area	Inc. Depth	Inc. Volume	Total Volume
5184	563.96	763.575	1	763.6	0
5185	963.2				
5186	1124.7	1044.0	1	1044.0	1807.5
5186.3	1189.5	1157.1	0.3	347.1	
5186.8	1250.4	1250.4	0.5	625.2	2154.7
5186.8	1311.3	1311.3	0.5	625.2	
Required Volume : (24,150 Imp SF * 0.42" = 845 Cu.Ft.)					2779.9

Curve Number Calculation				
	Impervious Cover	Soil Group	Impervious Cover CN	Pervious Cover CN
EX-1	10%	A	98	68
EX-2	0%	A	98	68
PR-1	73%	A	98	68
PR-2	72%	A	98	68
PR-3	100%	A	98	68
PR-4	7%	A	98	68

Bio Retention Volume Calculations			
	SF	ac	
Total Impervious Area =	50181.0	1.15	
Req'd Retention Volume (0.42"/sf) =	1756.3	cf	
Retention Volume Provided =	4139.9	cf	

IDF - DPM Table 6.2.8 Zone 1	
Time	Depth (in)
5 Min	0.538
15 Min	1.02
1 Hr	1.69
2 Hr	1.92
3 Hr	2
6 Hr	2.17
12 Hr	2.3
1 D	2.49

PRE VS. POST DRAINAGE NOTES

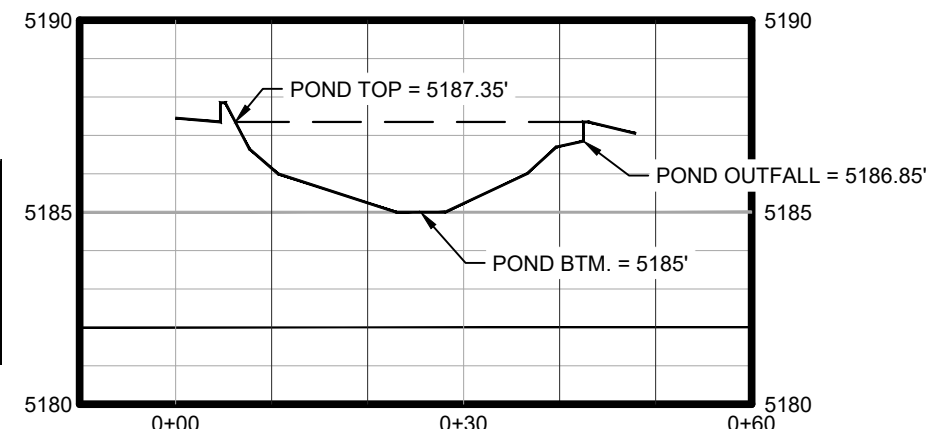
SITE LOCATION - THE SITE IS LOCATED ON AN APPROXIMATELY 1.61 ACRE TRACT AT THE NORTHEAST CORNER OF LADERA DR NW AND UNSER BLVD NW. THIS SITE WILL INCLUDE A MCDONALD'S RESTAURANT AND ASSOCIATED PAVING, GRADING, LANDSCAPING, UTILITY, AND STORM WATER MANAGEMENT INFRASTRUCTURE.

METHODOLOGY - THE PROPOSED STORM WATER MANAGEMENT WAS EVALUATED IN ACCORDANCE TO CHAPTER 6 OF THE CITY OF ALBUQUERQUE DEVELOPMENT PROCESS MANUAL. THE PEAK DISCHARGE RATE AND RUNOFF VOLUMES WERE CALCULATED USING HEC-HMS. THE 100 YEAR 24 HOUR EVENT WAS OBTAINED FROM THE NOAA ATLAS 14, PRECIPITATION - FREQUENCY ATLAS OF THE UNITED STATES, VOL. 1 VERSION 5 SEMIARID SOUTHWEST, PER SECTION 6-2(C)(3) OF THE CITY OF ALBUQUERQUE DEVELOPMENT PROCESS MANUAL. THE TIME OF CONCENTRATION IS ASSUMED TO BE 12 MINUTES AND THE LAG TIME IS ASSUMED TO BE 0.6 * 12 MINUTES = 7.2 MINUTES.

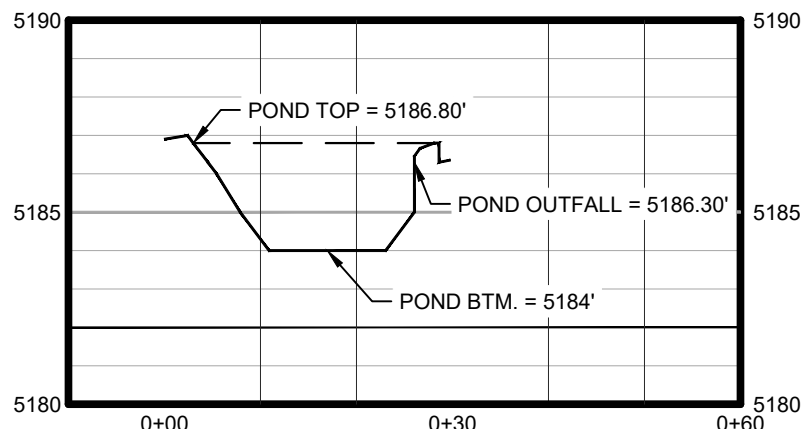
EXISTING CONDITIONS - REFER TO THE PRE-DEVELOPMENT DRAINAGE PLAN. STORM WATER RUNOFF GENERALLY DRAINS FROM THE WEST TO EAST ACROSS THE SITE UNDER EXISTING CONDITIONS. TWO DRAINAGE AREAS ARE IDENTIFIED. AREA EX-1 IS 1.329 ACRES AND DRAINS EAST TOWARDS THE NEWLY INSTALLED ASPHALT DRIVE AND ONTO THE LANDERIA RIGHT OF WAY. AREA EX-2 IS 0.286 ACRES AND DRAINS EAST ONTO THE NEIGHBOR'S PROPERTY. PEAK DISCHARGE RATES FOR EXISTING CONDITIONS ARE PROVIDED ON THE PRE-DEVELOPMENT DRAINAGE PLAN.

PROPOSED CONDITIONS - REFER TO THE POST-DEVELOPMENT DRAINAGE PLAN. 4 DRAINAGE BASINS ARE IDENTIFIED FOR THE SITE UNDER PROPOSED CONDITIONS. AREA PR-1 IS 0.631 ACRES AND DRAINS INTO THE PROPOSED BIO RETENTION POND 1. AFTER THE FIRST 0.42" OF RUNOFF, ADDITIONAL OVERFLOW DISCHARGES TO THE EASTERN ASPHALT DRIVE AND ONTO LADERA RIGHT OF WAY. AREA PR-2 IS 0.774 ACRES AND DRAINS INTO THE PROPOSED BIO RETENTION POND 2. AFTER THE FIRST 0.42" OF RUNOFF, ADDITIONAL OVERFLOW DISCHARGES TO THE EASTERN ASPHALT DRIVE AND ONTO LADERA RIGHT OF WAY. AREA PR-3 IS 0.123 ACRE AND DISCHARGES DIRECTLY ONTO LADERA RIGHT OF WAY. LASTLY, AREA PR-4 IS 0.087 ACRES AND DISCHARGES EAST ONTO THE NEIGHBOR'S PROPERTY. NOTE THAT AREA PR-4 HAS 7% IMPERVIOUS COVER. THE TOTAL FLOW OFFSITE AT THE 100 YEAR STORM EVENT (0.1 CFS) IS LESS THAN THE EXISTING FLOW OF 1.3 CFS TOTAL. THE TOTAL REQUIRED BIO RETENTION (0.42") IS 1,756.3 CUBIC FEET WITH AND 4,139.9 CUBIC FEET HAS BEEN PROVIDED.

CONCLUSIONS - THE OVERALL AMOUNT OF IMPERVIOUS COVER AT THE SITE IS INCREASED UNDER THE PROPOSED CONDITIONS. WITH THE USE OF TWO DETENTION PONDS, THE POST DEVELOPMENT RUNOFF HAS BEEN CONTROLLED TO EQUAL THE EXISTING OFFSITE FLOWS AT BOTH POINTS OF ANALYSIS.



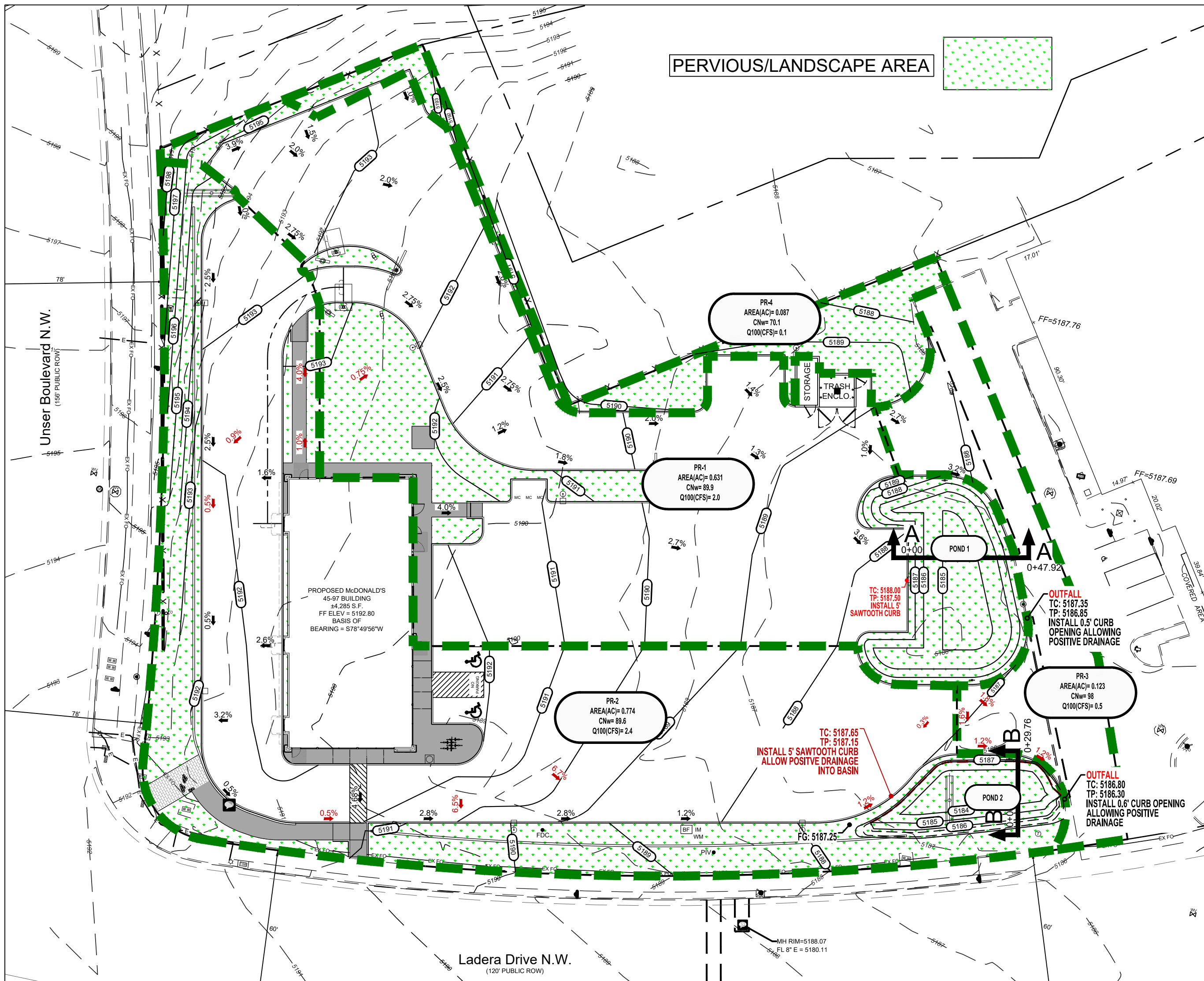
CROSS SECTION A-A
HORIZONTAL: 1"=20'
VERTICAL: 1"=5'



CROSS SECTION B-B
HORIZONTAL: 1"=20'
VERTICAL: 1"=5'



PRE DEV. DRAINAGE MAP AND CALCULATIONS

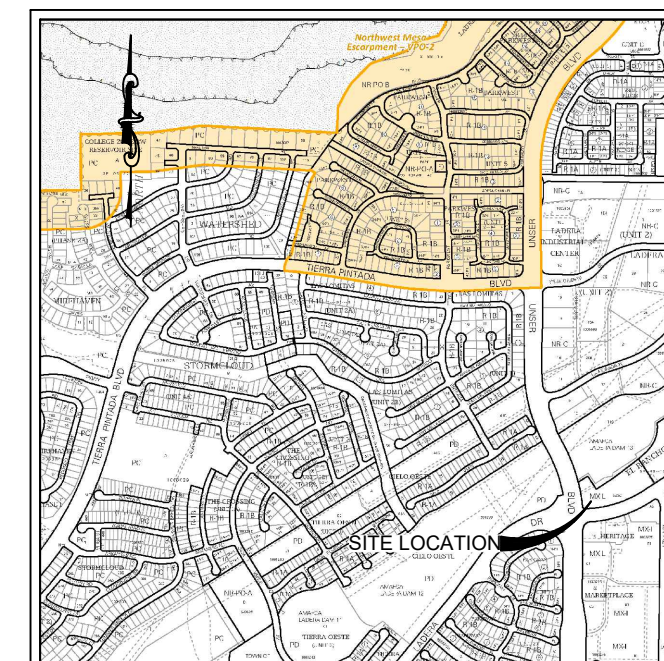


POST DEV. DRAINAGE MAP AND CALCULATIONS



SCALE 1" = 30'

BENCHMARK
RE: SANITARY SEWER MANHOLE RIM -
SOUTHEAST OF THE EXIST. LADERA DRIVEWAY
X = 1497364.10 Y = 1493702.01 Z = 5184.66



VICINITY MAP
N.T.S.

THESE PLANS ARE SUBJECT TO REVIEW & APPROVAL BY JURISDICTIONAL ENTITIES

LEGAL DESCRIPTION
TRACT 5-A-1C-2 OF PLAT OF TRACT 5-A-1C-2, EL RANCHO ATRISCO PHASE III, (BEING A REPLAT OF TRACT 5-A-1C, EL RANCHO ATRISCO PHASE III), CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO



Skyline CIVIL GROUP
Skyline Civil Group, LLC • Lubbock Address: 4416 82nd Street, STE 212-40, Lubbock, TX 79424
Midland Address: 3323 N. Midland Drive, STE 113-06, Midland, TX 79707
• Firm No. # AZ - 72662-0, KS - E3176, IA - E0006092, OK - 4542, TX - 17171
• P. (817) 465-1276 • www.skylinegroup.com

C8.0 DRAINAGE PLAN

ISSUE FOR PERMIT		C.L.C.	S.T.M.
1	04/19/2021	C.L.C.	S.T.M.
2	11/23/2022	C.L.C.	S.T.M.
3	02/02/2023	C.L.C.	S.T.M.
4	02/16/2023	C.L.C.	S.T.M.
5	03/16/2023	C.L.C.	S.T.M.
REV	DATE	BY	APPR

PLAN APPROVALS		DATE	
SIGNATURE (2 REQUIRED)			
REGIONAL MGR.			
CONST. MGR.			
OPERATIONS DEPT.			
REAL ESTATE DEPT.			
CO-SIGN SIGNATURES		DATE	
CONTRACTOR			
OWNER			
DRAWN BY	C.L.C.	CHECKED BY	S.T.M.
DATE	NOV. 2022	SHEET NO.	10 OF 27
FILE NO.	SKY2020.1044		