

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

April 20, 2023

Stephen T. Marcum, P.E.
Skyline Civil Group
4414 82nd St.
Lubbock, TX 79424

Re: McDonald
1901 Ladera Dr. NW
Traffic Circulation Layout
Engineer's Stamp 03-16-23 (H09-D020)

Dear Mr. Marcum,

The TCL submittal received 04-12-2023 is approved for Building Permit by Transportation. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

When the site construction is completed and an inspection for Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification, the TCL, and a completed Drainage and Transportation Information Sheet to the PLNDRS@cabq.gov for log in and evaluation by Transportation.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

Ernest Armijo, P.E.
Principal Engineer, Planning Dept.
Development Review Services

C: CO Clerk, File

SITE INFORMATION

TOTAL LAND AREA:
CURRENT ZONING:
BUILDING AREA (APPROXIMATE):
BUILDING LOT COVERAGE:
REQUIRED PARKING:

PARKING PROVIDED:

HANDICAP PARKING REQUIRED:
HANDICAP PARKING PROVIDED:

IMPERVIOUS AREA:

PERCENTAGE LANDSCAPED:

OF ACCESS DRIVEWAYS:

70,347.57 S.F. (1.61 A.C.)
MX-L
4,298 S.F.
6.1% (4,298 S.F./70,347 S.F.)
8 SPACE PER 1,000 G.F.A.
(4,298 S.F./1,000) = 4.298
35 SPACES
38 SPACES (INCLUDING HC)
3 MOTORCYCLE PARKS

2
2

50,488 S.F.

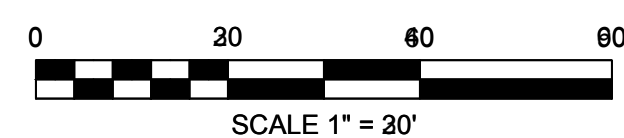
19,860 S.F. (28.23%)

2

THIS SITE PLAN
MEETS THE
STANDARDS SET
FORTH IN LADERA
CROSSING - SITE
FOR SUBDIVISION



Know what's below.
Call before you dig.



BENCHMARK

RE: SANITARY SEWER MANHOLE RIM -
SOUTHEAST OF THE EXIST. LADERA DRIVEWAY
X = 1497364.10 Y = 1493702.01 Z = 5184.66

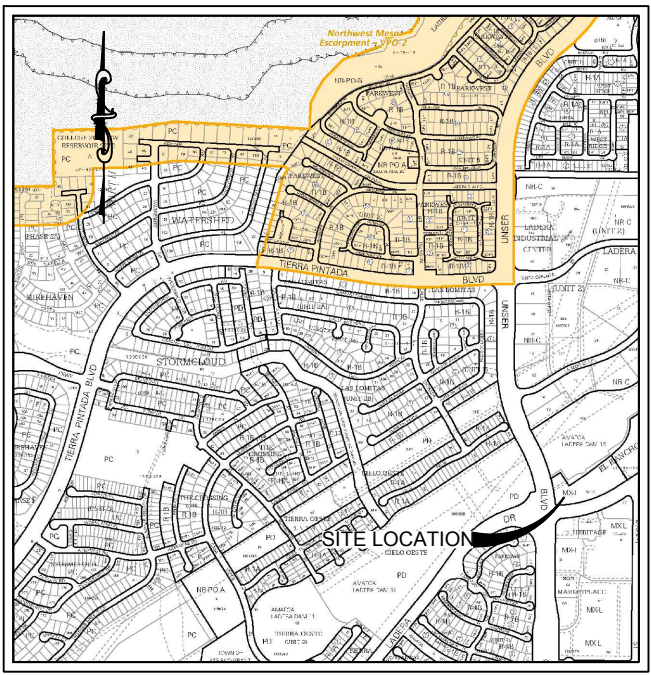
BICYCLE REQUIREMENT

NUMBER OF BICYCLE SPACES REQUIRED BY THE IDO
IS 3 SPACES OR 10% OF VEHICLE PARKING SPACES,
WHICH EVER IS GREATER. SPACES REQUIRED IS 4.

TRAFFIC CIRCULATION
LAYOUT APPROVED

Ernest Armijo
Signed Date
4/20/2023

Ernest Armijo
Revised 5/4/2023

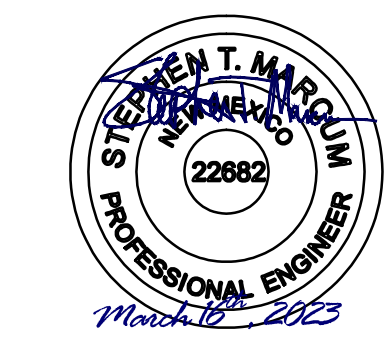


VICINITY MAP
N.T.S.

THESE PLANS ARE SUBJECT TO REVIEW &
APPROVAL BY JURISDICTIONAL ENTITIES

LEGAL DESCRIPTION

TRACT 5-A-1C-2 OF PLAT OF TRACT 5-A-1C-2,
EL RANCHO ATRISCO PHASE III, (BEING A
REPLAT OF TRACT 5-A-1C, EL RANCHO
ATRISCO PHASE III), CITY OF ALBUQUERQUE,
BERNALILLO COUNTY, NEW MEXICO



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Midland Address: 3323 N. Midland Drive, STE 113-166, Midland, TX 79707
• Firm No. # AZ - 72662-0, KS - E3376, IA - E000662, OK - 4542, TX - 17171
• U: (817) 485-1276 • W: www.skylinegroup.com

C4.1 TRAFFIC CIRCULATION PLAN

REV	DATE	DESCRIPTION	BY	APPR
1	04/19/2021	ISSUE FOR PERMIT	C.L.C.	S.T.M.
2	11/23/2022	RE-ISSUE FOR PERMIT, PER CITY COMMENTS	C.L.C.	S.T.M.
3	02/02/2023	RE-ISSUE FOR PERMIT, PER CITY COMMENTS	C.L.C.	S.T.M.
4	02/16/2023	RE-ISSUE FOR PERMIT, PER CITY COMMENTS	C.L.C.	S.T.M.
5	03/16/2023	REVISED PER SOLID WASTE, GAD COA COMMENTS	C.L.C.	S.T.M.

CONSTRUCTION SCHEDULE

MARK	MARK DESCRIPTION
1	CONCRETE VERTICAL CURB @ DRIVE-THRU
2	CURB AND GUTTER @ NON DRIVE THRU AREAS
3	REINFORCED CONCRETE SIDEWALK
4	H.C. ACCESS RAMP @ 1:12 MAX. SLOPE (RE: C11.1 STANDARD DETAILS)
5	HANDICAP ACCESSIBLE ROUTE
6	HANDICAP ACCESSIBLE SIGN (POLE MOUNTED), MUST READ "VIOLATORS ARE SUBJECT TO A FINE AND/OR TOWING"
7	CONCRETE WHEEL STOP (TYP)
8	BOLLARD
9	HANDRAIL @ INGRESS/EGRESS DOOR
10	LIGHT STANDARD (15' CLEAR FROM ALL OVERHEAD UTILITY LINES)
11	FLAG POLE (35' MAX HEIGHT) (COORDINATE LOCATION WITH OWNER / McDONALD'S ACM PRIOR TO CONSTRUCTION)
12	BIKE RACK (TYP) (RE: C11.0 STANDARD DETAILS)
13	POLE MOUNTED ROAD SIGN
14	McDONALD'S DIRECTIONAL SIGN
15	OOSP SIGN
16	DOMESTIC WATER METER (RE: UTILITY PLAN)
17	IRRIGATION WATER METER (RE: UTILITY PLAN)
18	BACK FLOW PREVENTION DEVICE (RE: UTILITY PLAN)
19	REMOTE FIRE DEPARTMENT CONNECTION (FDC) (RE: UTILITY PLAN)
20	POST INDICATOR VALVE (PIV) (RE: UTILITY PLAN)
21	GREASE INTERCEPTOR (RE: UTILITY PLAN)
22	8"x8" PAD MOUNT TRANSFORMER (RE: UTILITY PLAN)
23	DETECTOR LOOP (LOCATION TO BE APPROVED BY McDONALD'S)
24	PRE-TREAT FOR TERMITE CONTROL
25	LANDSCAPE FINISH GRADE 1" BELOW TOP OF CURB IN ALL LAWN AREAS AND 2" BELOW TOP OF CURB IN ALL BED AREAS
26	30" TALL CMU SCREEN WALL, COORDINATE COLOR WITH ACM PRIOR TO CONSTRUCTION. WALL SHALL BE PERMITTED INDEPENDENTLY OF BUILDING PERMIT
27	EXISTING FIRE HYDRANT
28	EXISTING SANITARY SEWER MANHOLE
29	MOTORCYCLE PARKING SIGNAGE, 12"x18" POLE MOUNTED SIGN, READING "MOTORCYCLE PARKING ONLY"
30	"STOP" SIGN AND "DO NOT ENTER" SIGN
31	INTERSECTION SIGHT TRIANGLE
32	MINI CLEAR SIGHT TRIANGLE
33	INSTALL TRUNCATED DOMES ON EXISTING RAMP (RE: C11.1)

CLEAR SIGHT TRIANGLE NOTE

LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE

PAVEMENT MATERIALS

ALL DRIVE LANES AND PARKING AREAS WILL CONSIST OF 6" HEAVY DUTY CONCRETE, RE: PAVING PLAN FOR SECTION.

NOTICE TO CONTRACTOR

- CONTRACTOR SHALL REFER TO ARCHITECTURAL BUILDING PLANS FOR EXACT LOCATION AND ORIENTATION OF EXTERIOR DOORS.
- ALL DIMENSIONS SHOWN ARE TO FACE OF CURB UNLESS NOTED OTHERWISE.
- ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK AND CURB & GUTTER

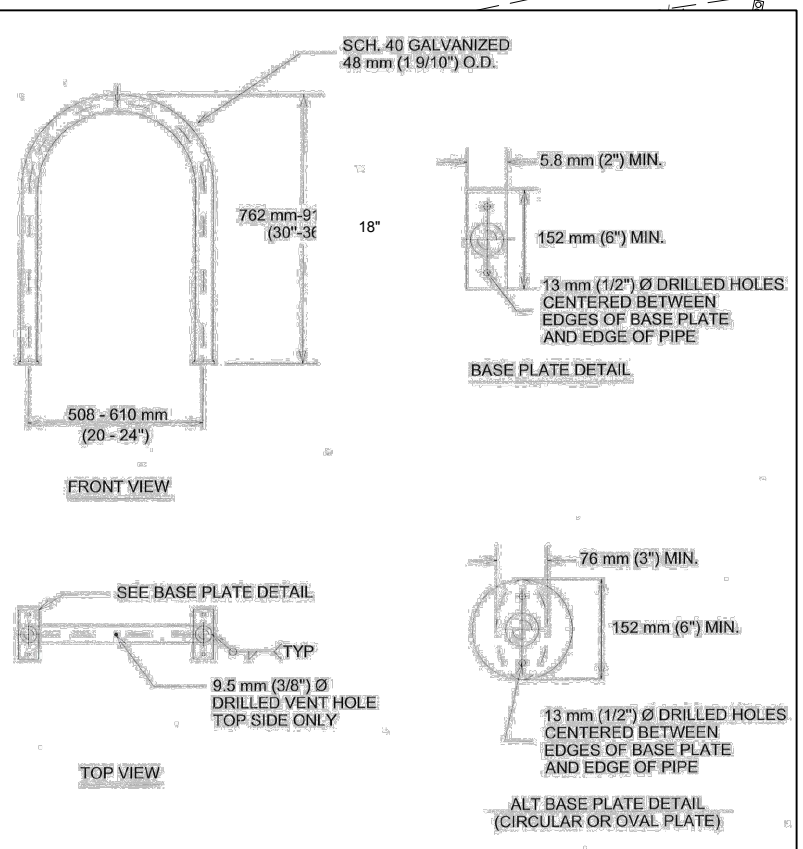
Unser Boulevard N.W.
(156' PUBLIC ROW)

R=1477.53'
L=218.01'
Δ=8°27'14"
CH=L=217.81'
CH=N 09°34'01" W
(R=1478.00')
(L=217.51')
(Δ=08°25'56")
(CH=L=217.32')
(CH=N 09°34'01" W)

10' PNM AND MOUNTAIN
BELL EASEMENT
(2/12/1987 VOL C32,
FOLIO 184)

R=25.00'
L=37.61'
Δ=86°11'42"
CH=L=34.16'
CH=N 48°54'25" W
(R=25.00') (L=37.85')
(Δ=86°45'17")
(CH=L=34.34') (CH=N
48°43'41" W)

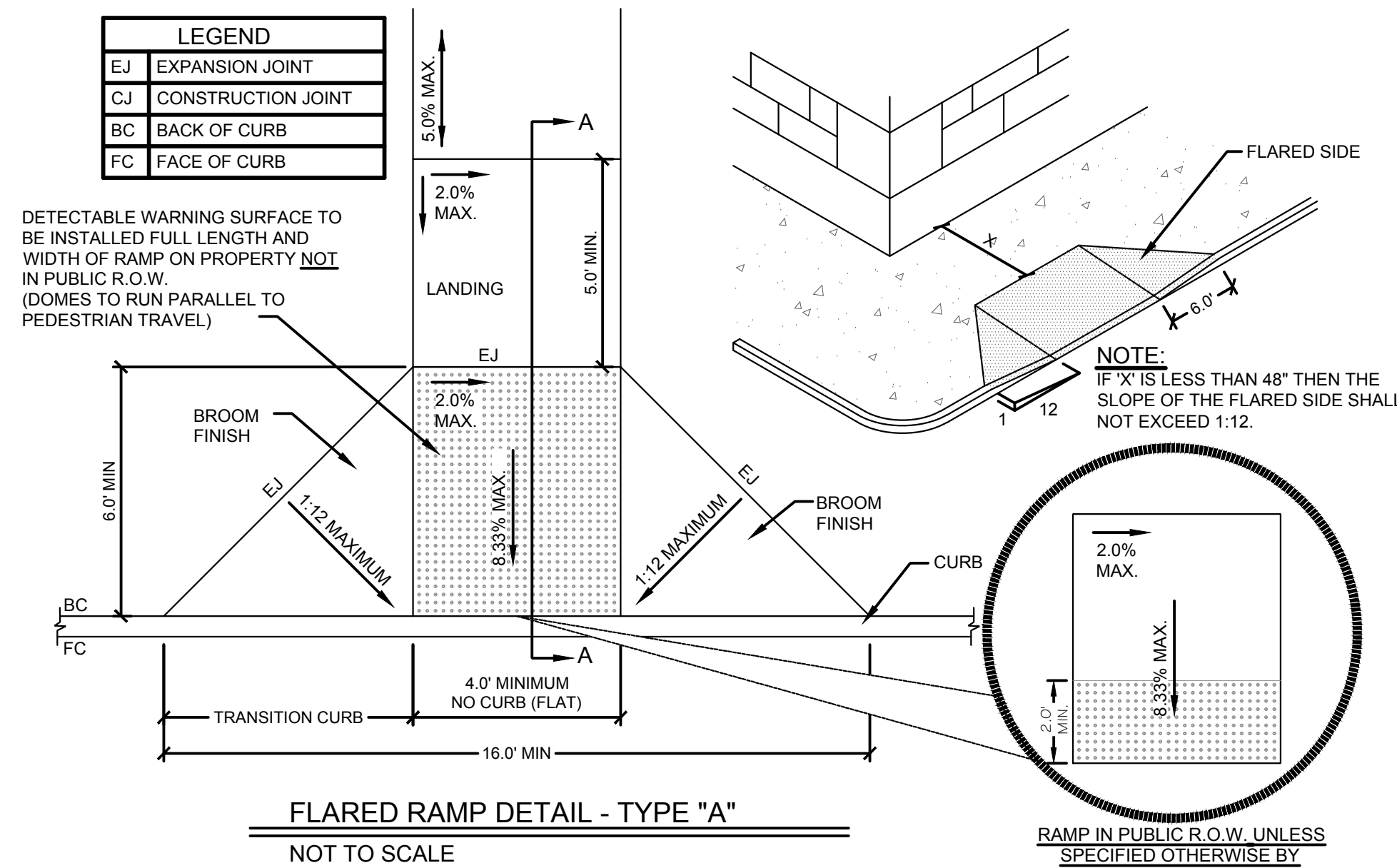
Ladera Drive N.W.
(120' PUBLIC ROW)



BICYCLE RACK
NOT TO SCALE

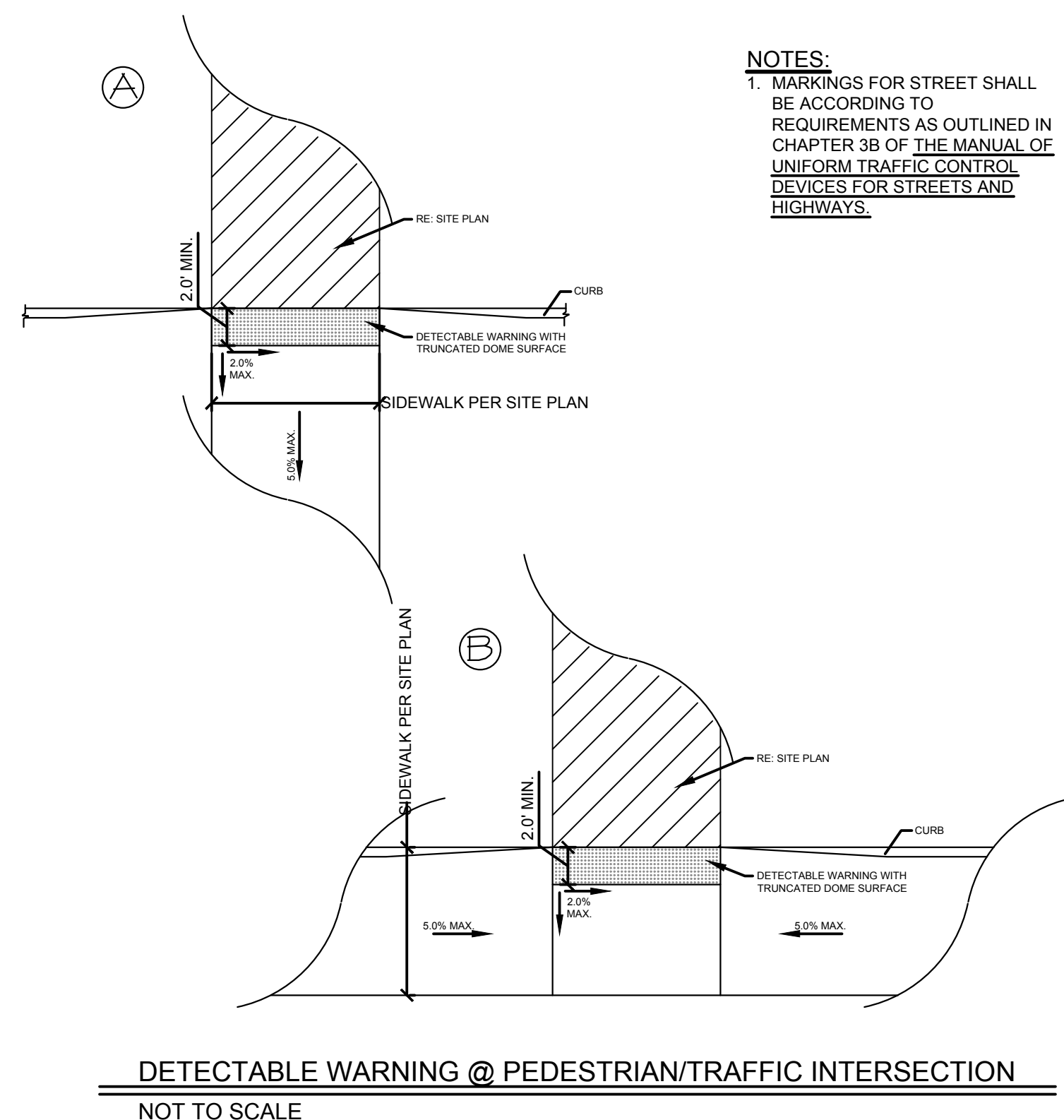
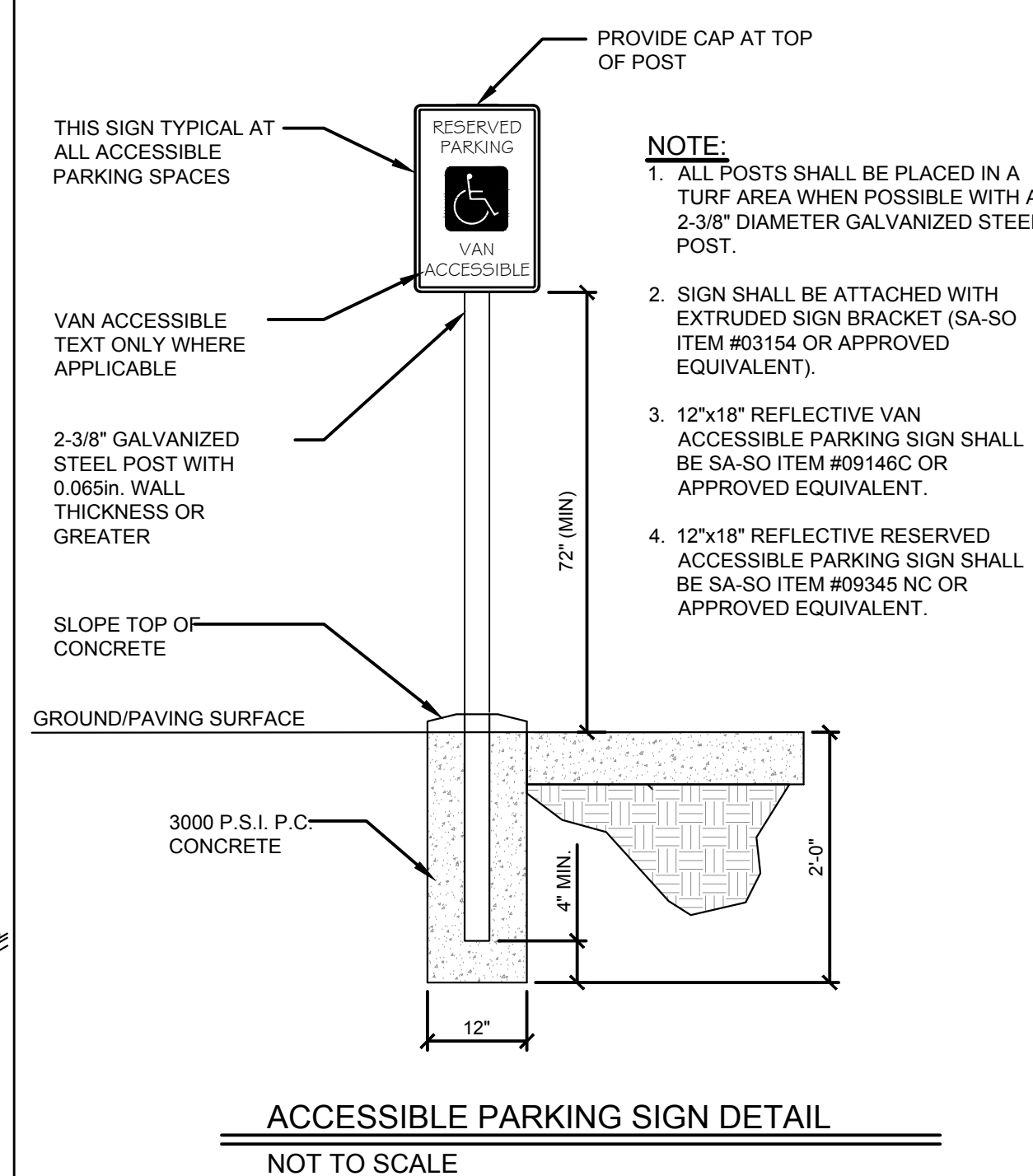
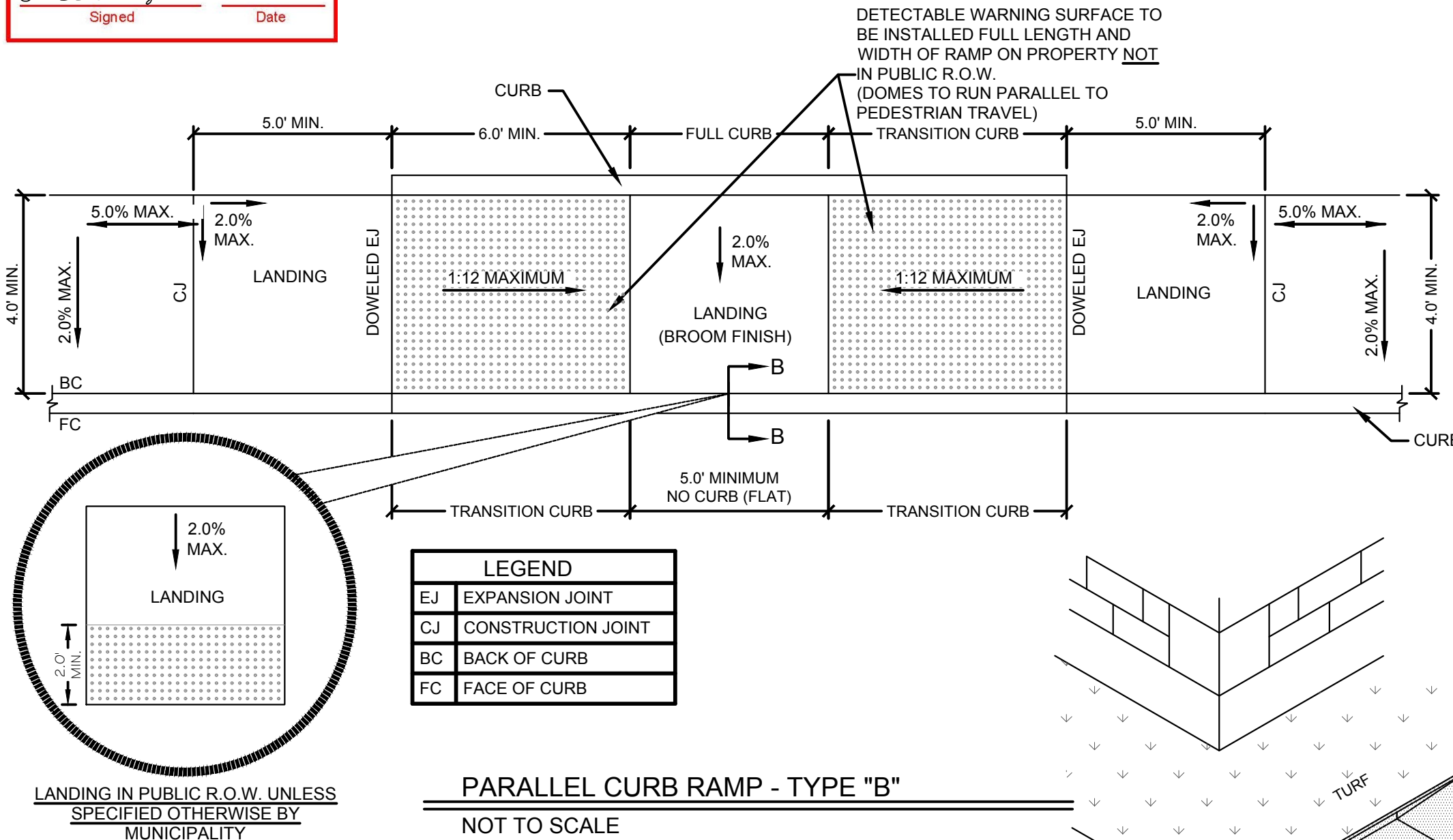


LEGEND	
EJ	EXPANSION JOINT
CJ	CONSTRUCTION JOINT
BC	BACK OF CURB
FC	FACE OF CURB



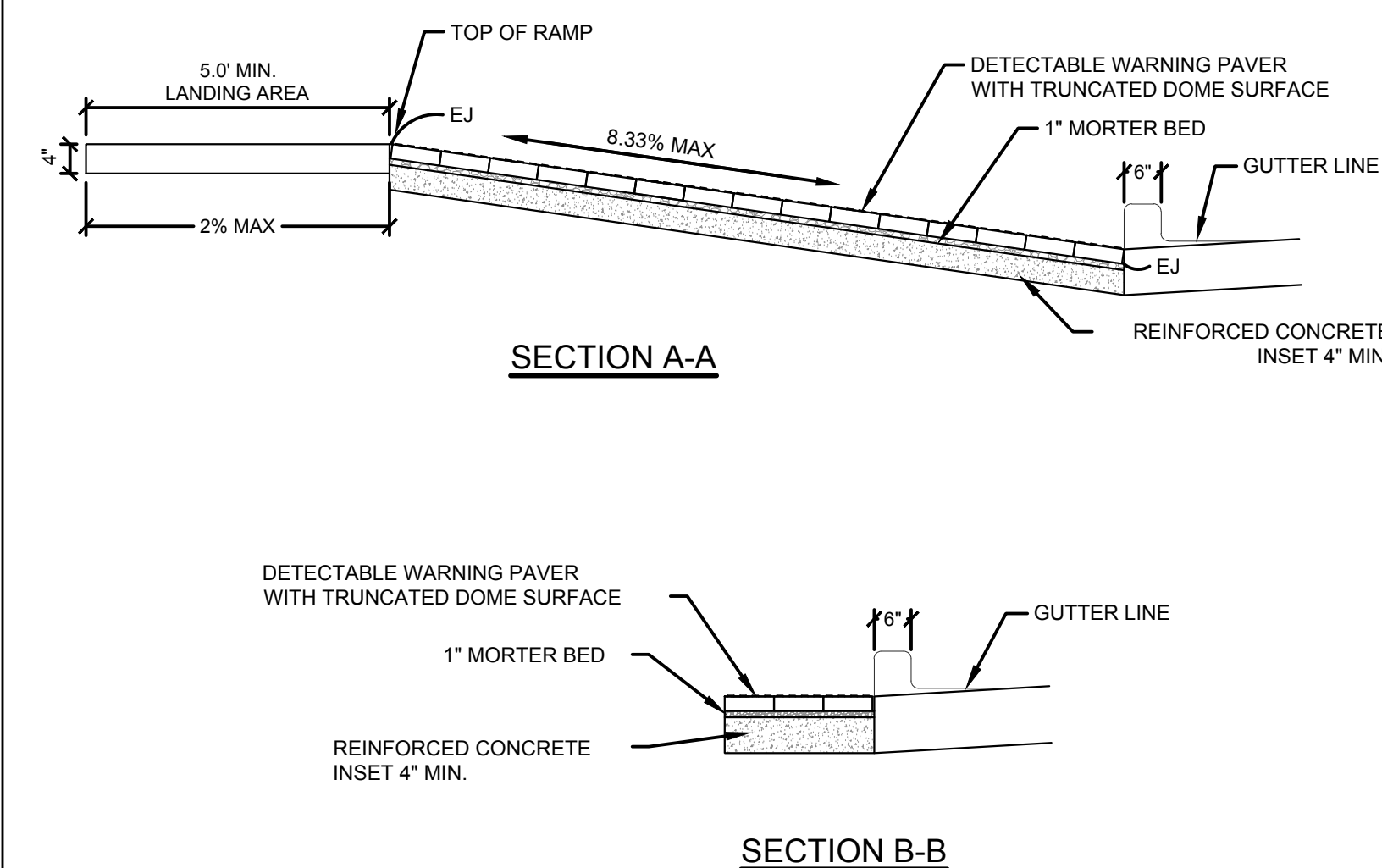
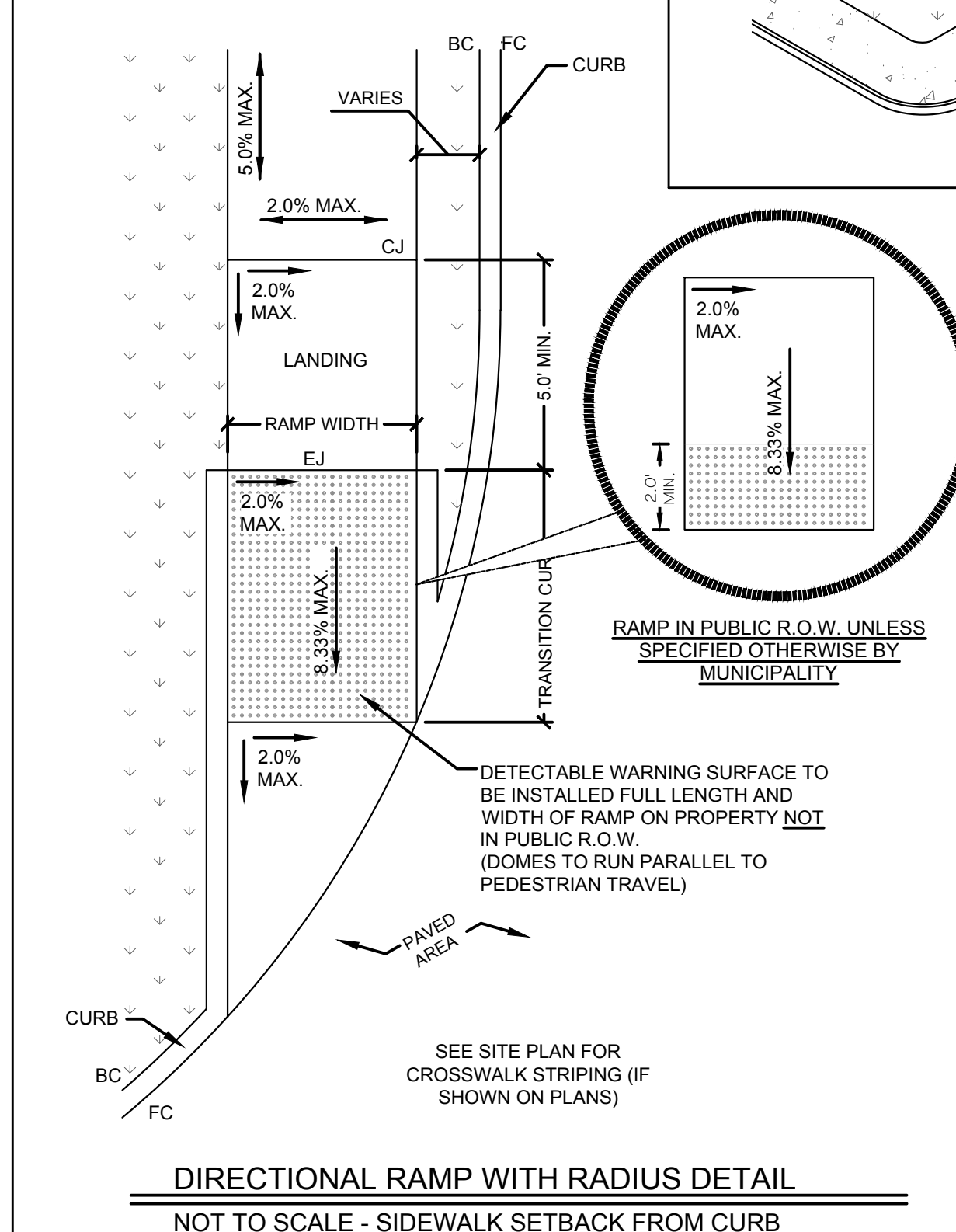
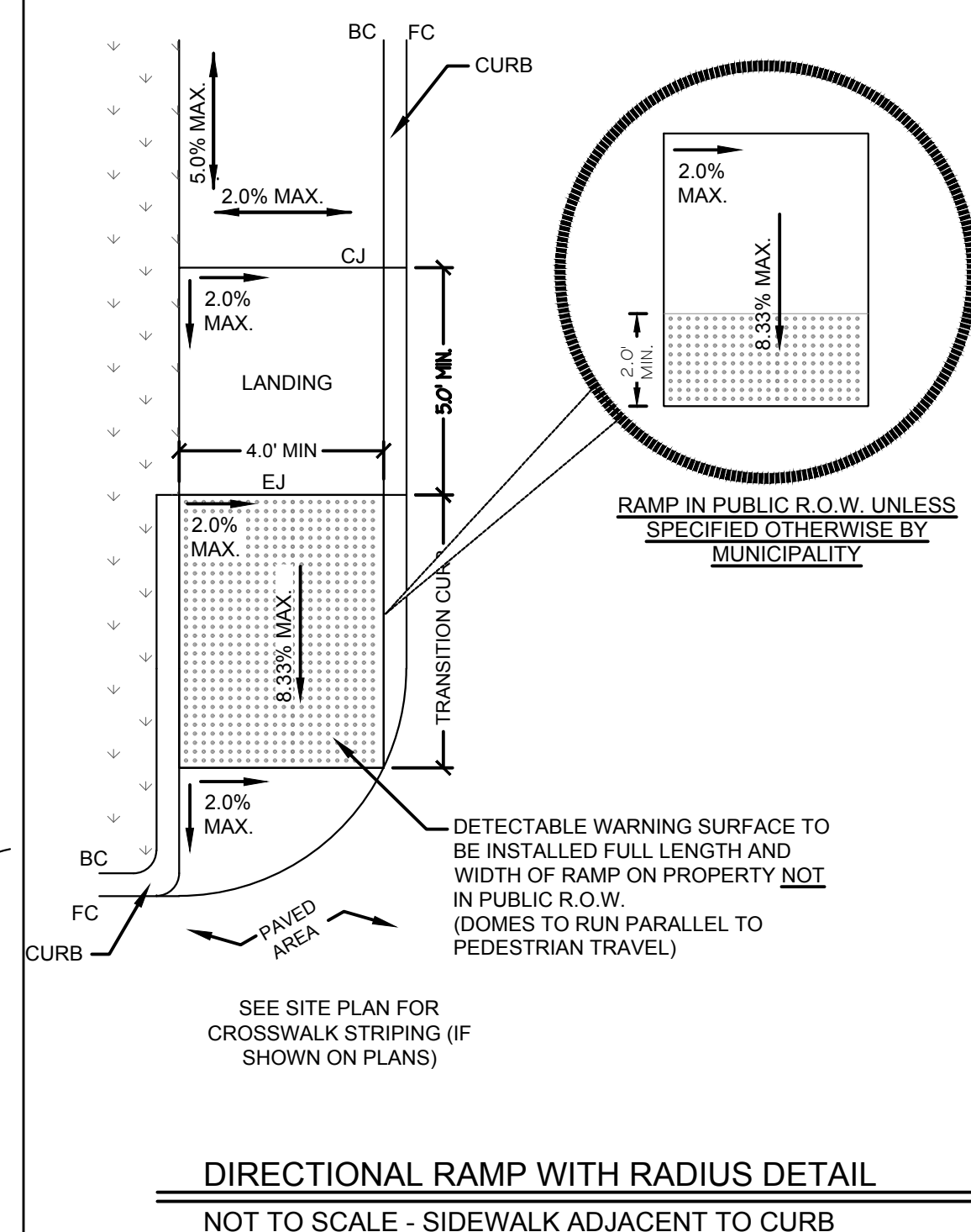
TRAFFIC CIRCULATION
LAYOUT APPROVED

Ernest Arriaga 4/20/2023
Signed Date



NOTES:

1. MARKINGS FOR STREET SHALL BE ACCORDING TO REQUIREMENTS AS OUTLINED IN CHAPTER 3B OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS.

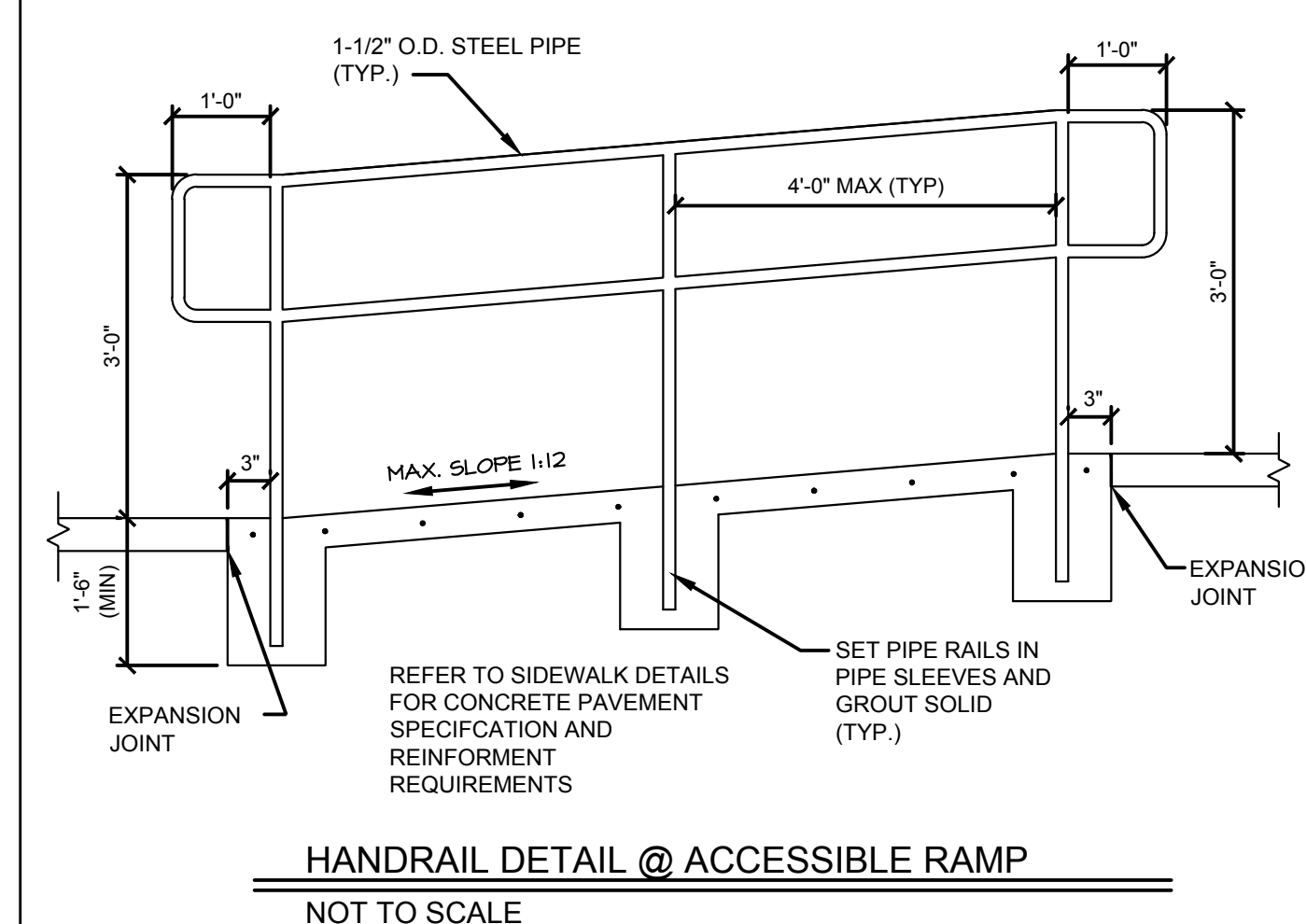
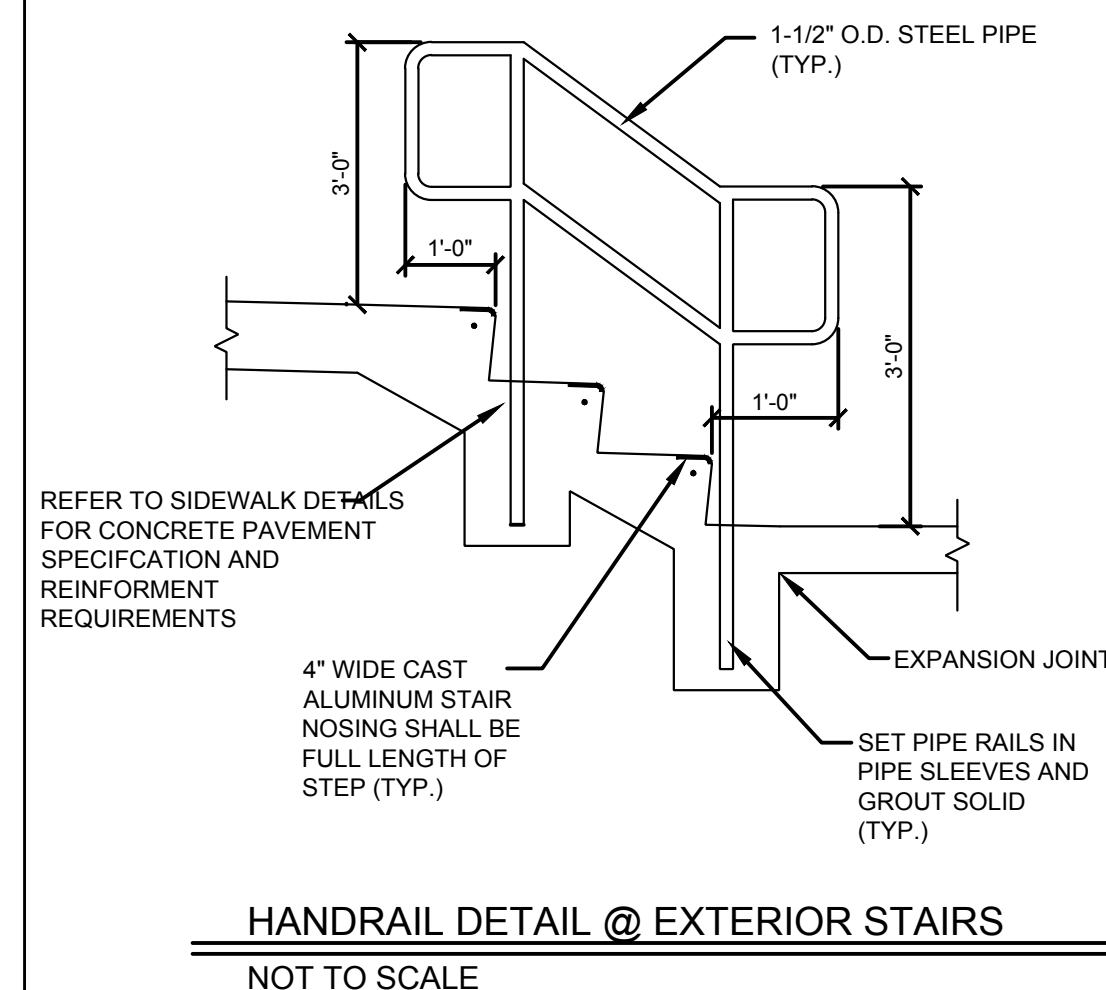
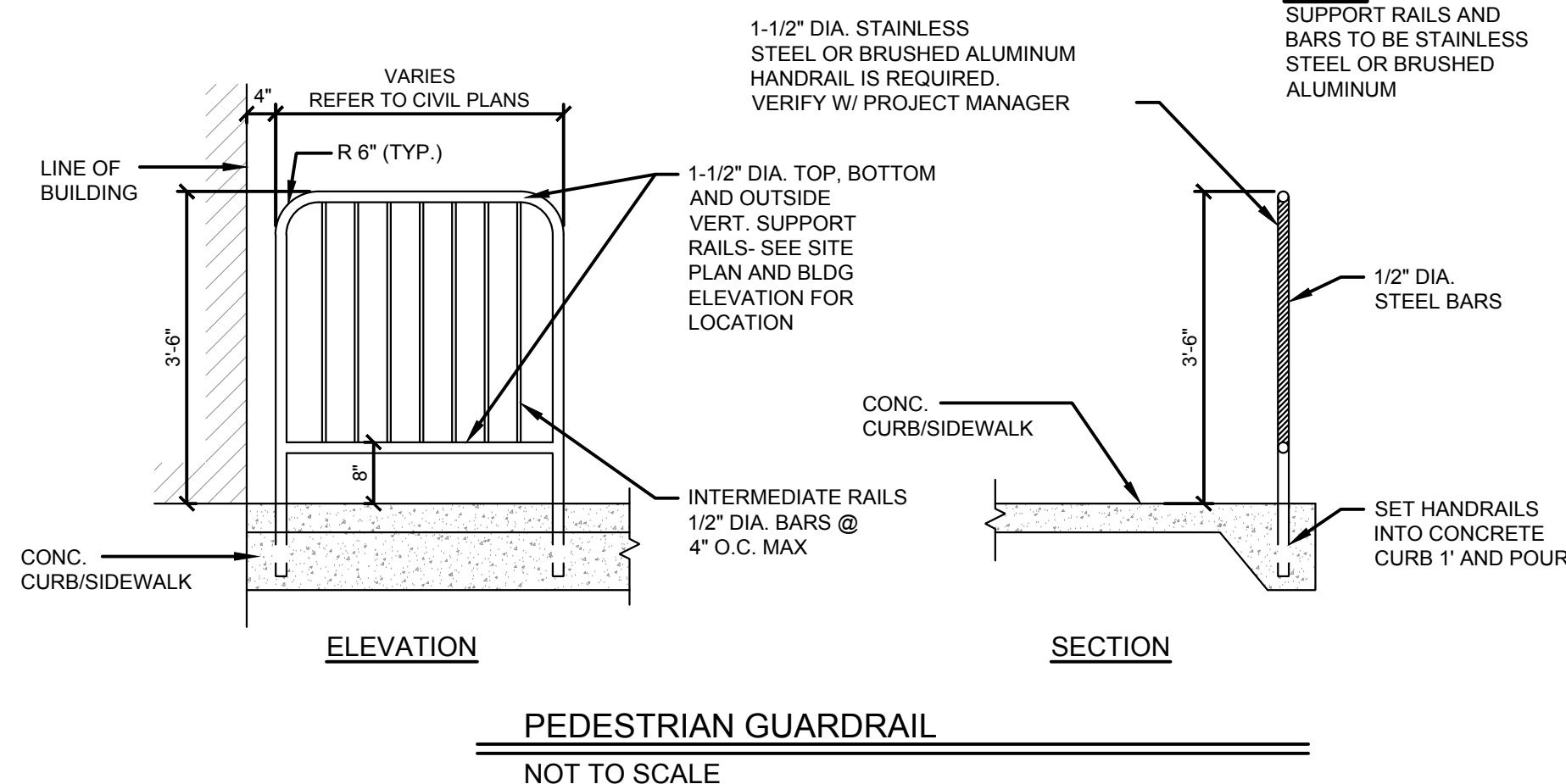


GENERAL NOTES

- NOTES:
1. CROSS SLOPE NOT TO EXCEED 2% ON ANY PORTION OF RAMP OR TRANSITION STREET.
 2. RAMPS SHALL BE CONSTRUCTED PER ADA & APPLICABLE STATE ACCESSIBILITY STANDARDS.
 3. CURB RAMPS SHALL BE MONOLITHIC POUR & SEPARATED FROM SITE PAVING WITH A DOWELED EXPANSION JOINT.

DETECTABLE WARNING SURFACE:

1. TRUNCATED DOMES SHALL CONTRAST VISUALLY WITH ADJOINING SURFACES. EITHER LIGHT-ON-DARK, OR DARK-ON-LIGHT. THE MATERIAL USED TO PROVIDE CONTRAST SHALL BE AN INTEGRAL PART OF THE WALKING SURFACE.
2. DETECTABLE WARNING PAVERS, OR PLATES MEETING ADA & STATE REQUIREMENTS ARE ACCEPTABLE.
3. RAMPS IN PUBLIC RIGHT-OF-WAY SHALL HAVE A DETECTABLE WARNING SURFACE THAT IS THE WIDTH OF THE LANDING OR RAMP AND A MINIMUM OF 2' DEEP IN THE DIRECTION OF PEDESTRIAN TRAVEL UNLESS SPECIFIED OTHERWISE BY MUNICIPALITY.



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C11.1 STANDARD DETAILS

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5	03/16/2023	REVISED PER SOLID WASTE, G&D Coa CMNTS.	C.L.C.	S.T.M.

OFFICE LONG BEACH FIELD OFFICE
ADDRESS 1656 LAMBUKE ROAD, STE. 850, IRVINE, CA 92612
PREPARED FOR: ©

McDonald's USA, LLC

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1901 Ladera Drive NW
Albuquerque, NM

PLAN APPROVALS		DATE
SIGNATURE (2 REQUIRED)		
REGIONAL MGR.		
CONST. MGR.		
OPERATIONS DEPT.		
REAL ESTATE DEPT.		
CO-SIGN SIGNATURES		
CONTRACTOR		
OWNER		
DRAWN BY	C.L.C.	
CHECKED BY	S.T.M.	
DATE	NOV. 2022	
SHEET NO.	14 OF 27	
FILE NO.	SKY2020.1044	