

# CITY OF ALBUQUERQUE



**Planning Department  
Transportation Development Services Section**

December 19, 2007

James W. Miller, Registered Architect  
5220 2nd Street NW, Ste. A  
Albuquerque, NM 87107

Re: Certification Submittal for Final Building Certificate of Occupancy for  
Shops @ 98th & Unser, [H-9 / D21]  
2115 Vista Oeste NW  
Architect's Stamp Dated 07/20/07

Dear Mr. Miller:

Since the Administrated Amendment issue has been resolved, the TCL / Letter of Certification re-submittal on December 19, 2007 is sufficient for acceptance by this office for final Certificate of Occupancy (C.O.), . Notification has been made to the Building and Safety Section.

Sincerely,

Nilo E. Salgado-Fernandez, P.E.  
Senior Traffic Engineer  
Development and Building Services  
Planning Department

c: Engineer  
Hydrology file  
CO Clerk

P.O. Box 1293

Albuquerque

New Mexico 87103

[www.cabq.gov](http://www.cabq.gov)

DRAINAGE AND TRANSPORTATION INFORMATION SHEET  
(Rev. 12/05)

PROJECT TITLE: Shops @ 98th & Unser NW ZONE MAP/DRG. FILE # H-9 / 021  
DRB#: 1001523 EPC#: 1001523 WORK ORDER#: \_\_\_\_\_

LEGAL DESCRIPTION: Tract 18, Unit 2, Ladera Business Park  
CITY ADDRESS: 2115 VISTA OESTA NW

ENGINEERING FIRM: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
PHONE: \_\_\_\_\_  
ZIP CODE: \_\_\_\_\_

OWNER: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
PHONE: \_\_\_\_\_  
ZIP CODE: \_\_\_\_\_

ARCHITECT: Miller & Assoc  
ADDRESS: 5220 2nd St NW  
CITY, STATE: Albany NM

CONTACT: Jim Miller  
PHONE: 345-1312  
ZIP CODE: 87107

SURVEYOR: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
PHONE: \_\_\_\_\_  
ZIP CODE: \_\_\_\_\_

CONTRACTOR: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
PHONE: \_\_\_\_\_  
ZIP CODE: \_\_\_\_\_

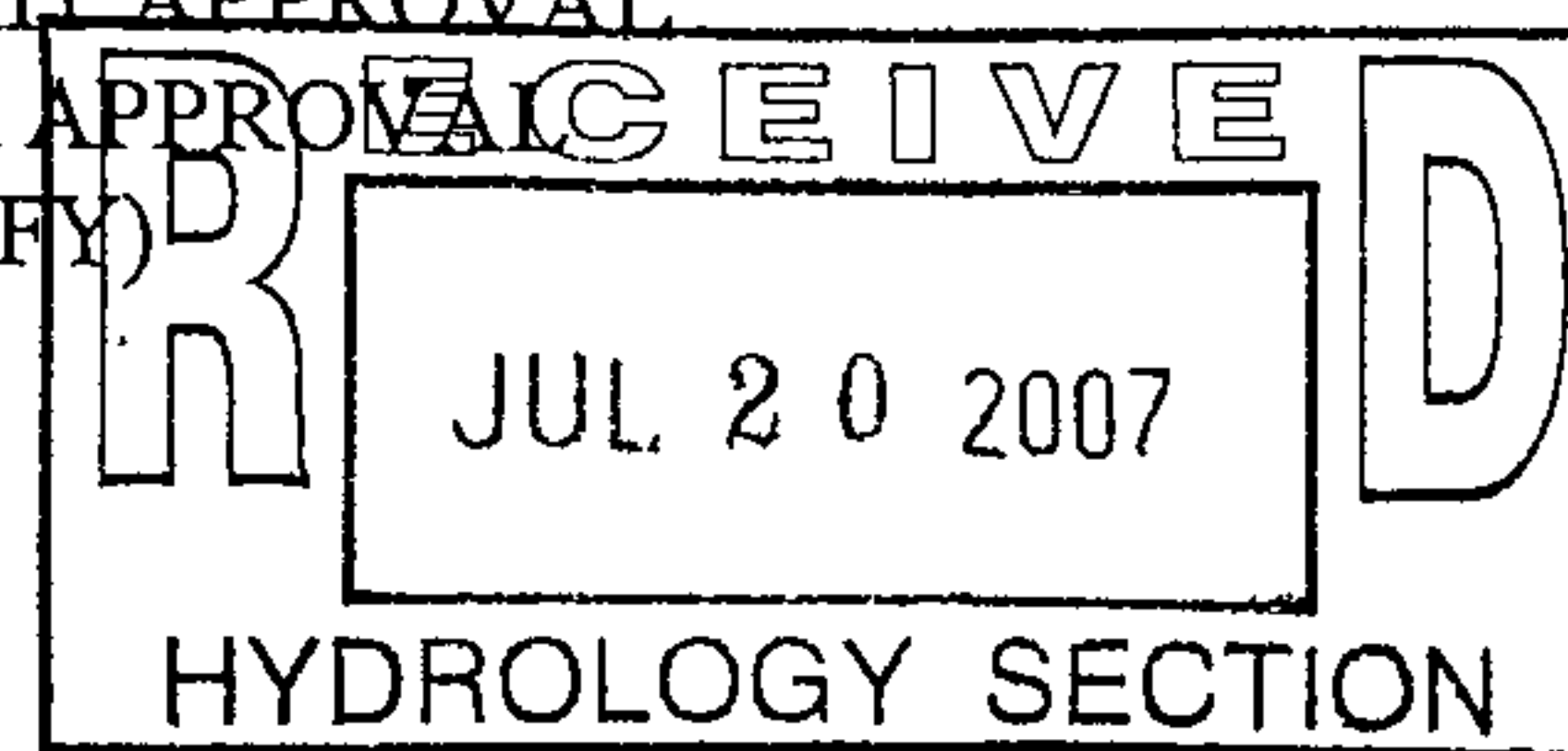
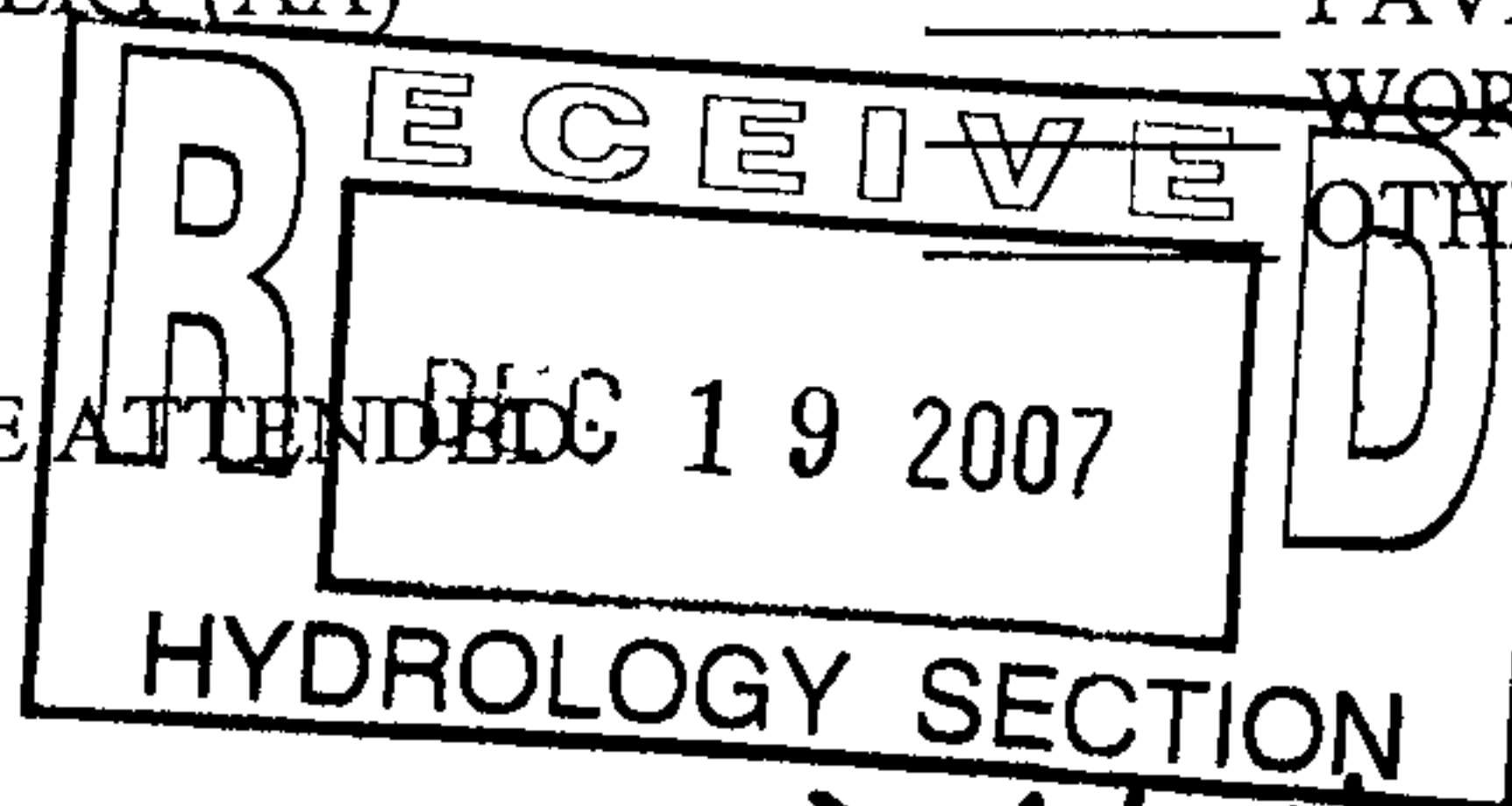
TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT  
☐ DRAINAGE PLAN 1<sup>st</sup> SUBMITTAL  
☐ DRAINAGE PLAN RESUBMITTAL  
☐ CONCEPTUAL G & D PLAN  
☐ GRADING PLAN  
☐ EROSION CONTROL PLAN  
☐ ENGINEER'S CERT (HYDROLOGY)  
☐ CLOMR/LOMR  
☐ TRAFFIC CIRCULATION LAYOUT  
☒ ENGINEER/ARCHITECT CERT (TCL)  
☐ ENGINEER/ARCHITECT CERT (DRB S.P.)  
☐ ENGINEER/ARCHITECT CERT (AA)  
☐ OTHER (SPECIFY) \_\_\_\_\_

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE  
☐ PRELIMINARY PLAT APPROVAL  
☐ S. DEV. PLAN FOR SUB'D APPROVAL  
☐ S. DEV. FOR BLDG. PERMIT APPROVAL  
☐ SECTOR PLAN APPROVAL  
☐ FINAL PLAT APPROVAL  
☐ FOUNDATION PERMIT APPROVAL  
☐ BUILDING PERMIT APPROVAL  
☒ CERTIFICATE OF OCCUPANCY (PERM)  
☒ CERTIFICATE OF OCCUPANCY (TEMP)  
☐ GRADING PERMIT APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ WORK ORDER APPROVAL  
☐ OTHER (SPECIFY) \_\_\_\_\_

WAS A PRE-DESIGN CONFERENCE ATTENDED YES 19 2007  
☐ YES  
☐ NO  
☐ COPY PROVIDED



SUBMITTED BY: James W Miller DATE: 7/20/07

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development define the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

# MILLER AND ASSOCIATES

ARCHITECTS - PLANNERS

5220 2ND ST. NW STE. A - ALBUQUERQUE, NEW MEXICO 87107 - PHONE (505) 345-1312

July 20, 2007

RE: 'SHOPS @ 98TH & UNSER N.W.' LOCATED AT  
2115 VISTA OESTA N. W., ALBUQUERQUE, N. M.

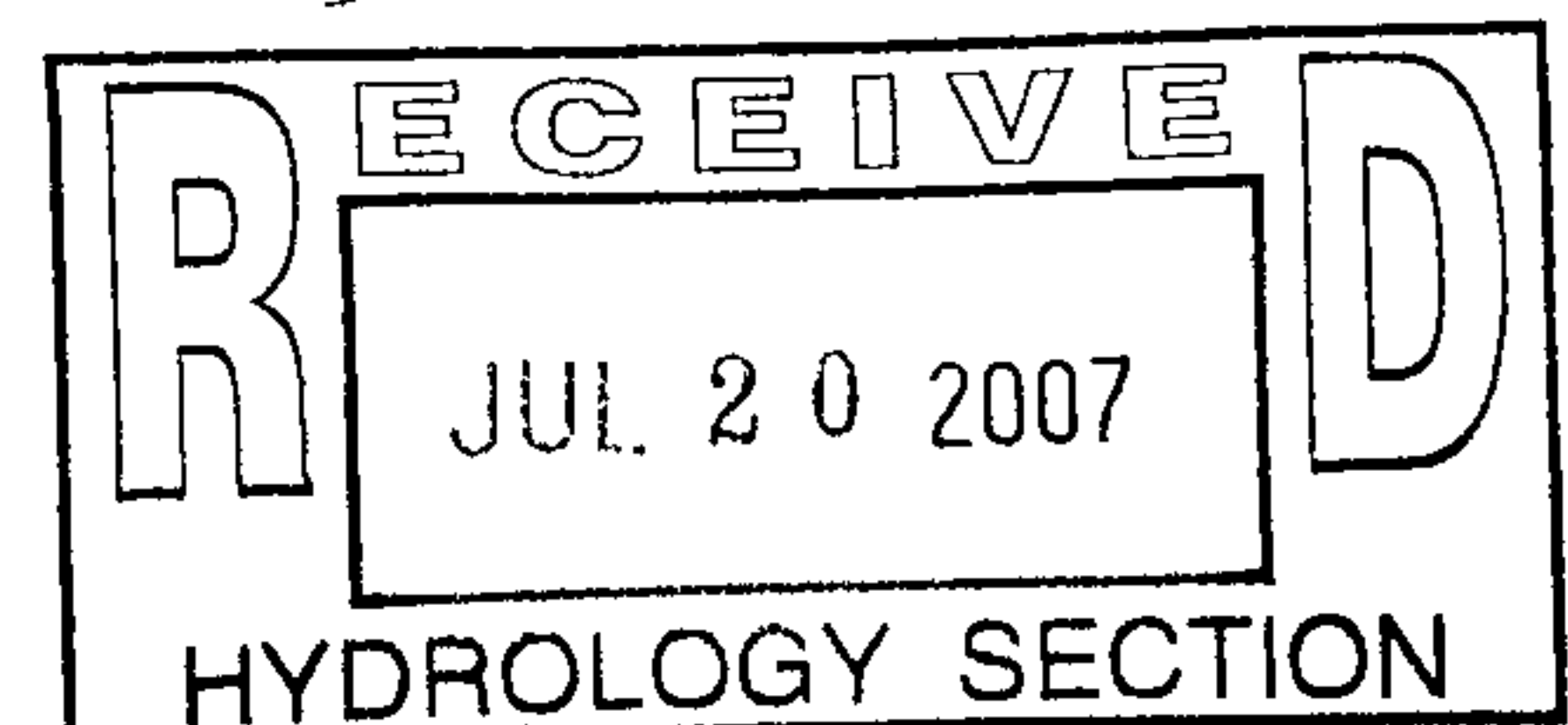
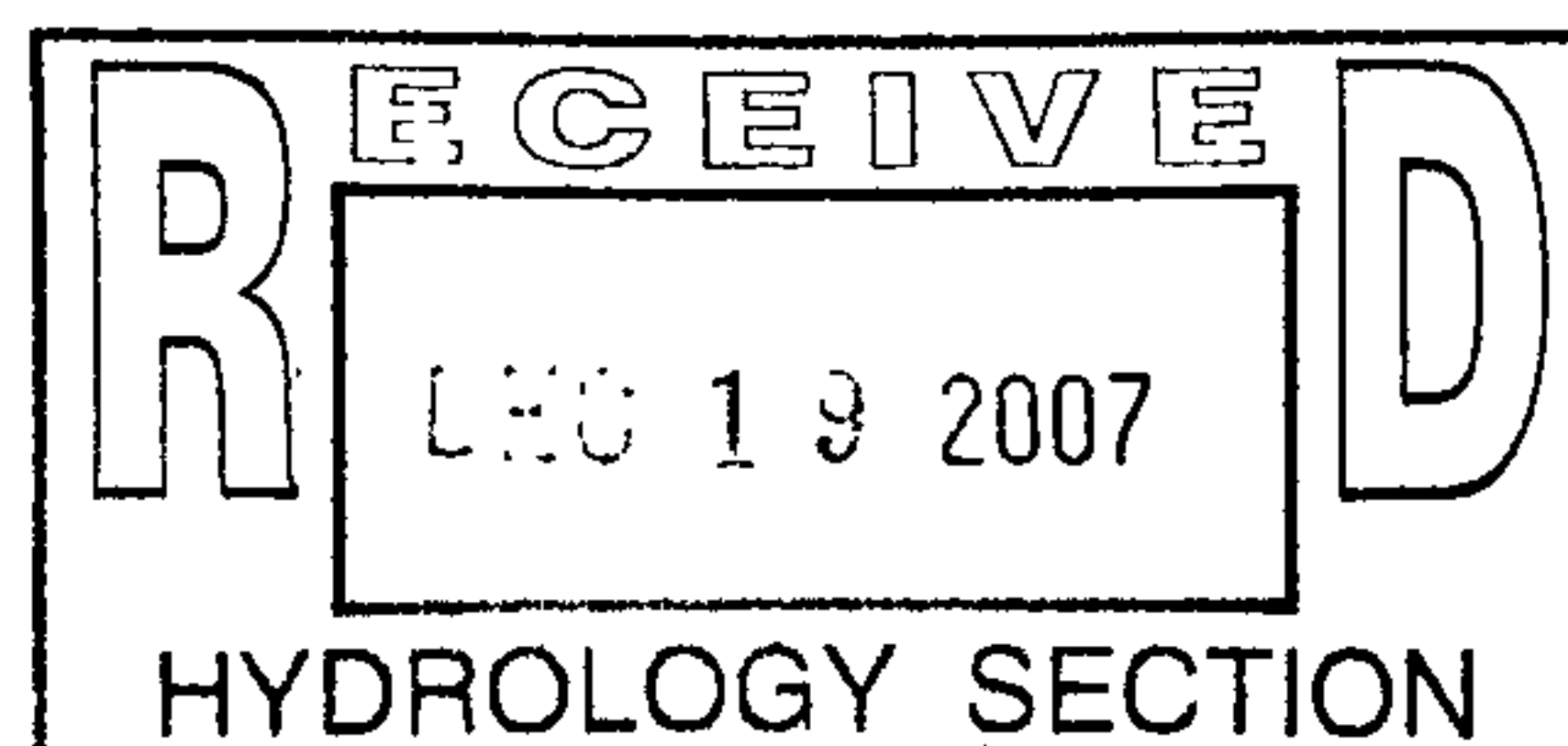
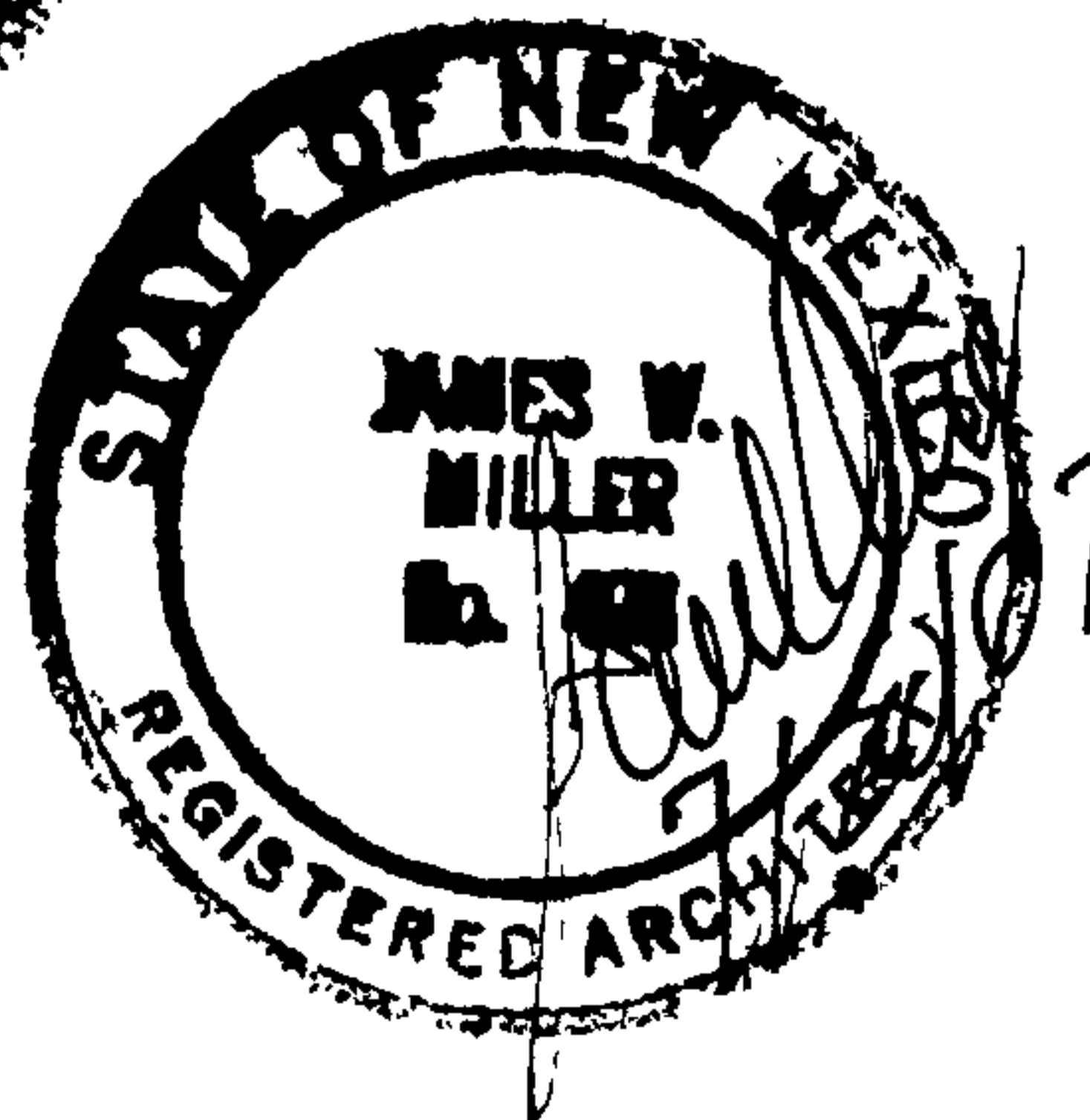
## T R A F F I C C E R T I F I C A T I O N

I, James W. Miller, NMRA of the firm of Miller & Assoc. hereby certify that this project is in substantial compliance with and in accordance with the design intent of the AA approved plan dated 2/09/06. The record information edited on to the original design document has been obtained by James W. Miller of the firm of Miller & Assoc. I further certify that I have personally visited the project site on July 17, 2007 and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for Certificate of Occupancy.

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of the project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

  
James W. Miller, AIA

7/20/07  



# CITY OF ALBUQUERQUE



**Planning Department  
Transportation Development Services Section**

July 20, 2007

James W. Miller, Registered Architect,  
James Miller & Associates  
5220 2nd Street NW, Ste. A  
Albuquerque, NM 87107

Re: Approval of Temporary Certificate of Occupancy (C.O.) for  
Shops @ 98th & Unser, [H-9 / D21]  
2115 Vista Oeste NW  
Architect's Stamp Dated 07/20/07

Dear Mr. Miller:

Based on the information provided on your submittal dated July 20, 2007, the above referenced project is approved for a 90-day Temporary C.O.

A Temporary C.O. has been issued allowing the outstanding Administrated Amendment request issue to be completed within this time period. When these remaining issues have been fully completed, are in substantial compliance, and a final Certification for Transportation has been resubmitted to the City's Hydrology office for approval, a Permanent C.O. will be issued.

The Certification package for Final C.O. must include an **exact** copy of the approved TCL, or signed off D.R.B. Site Plan, which is in each of the two City Permit Plan Sets—the contractor's City field set and the City's plan set in the basement of the Plaza Del Sol building. Package also must include a letter of certification on designer's letterhead-stamped with his seal, signed, and dated. Submit package along with fully completed Drainage Information Sheet to front counter personnel for log in and evaluation by Transportation.

If you have any questions, please call me at 924-3630.

Sincerely,

  
Nilo E. Salgado-Fernandez, P.E.  
Senior Traffic Engineer  
Development and Building Services  
Planning Department

c: Engineer  
Hydrology file  
CO Clerk

# CITY OF ALBUQUERQUE



July 7, 2007

Eufracio Sabay  
BJM Development Consultant  
8624 Casa Verde NW  
Albuquerque, NM 87120

Re: Office Building Complex, 2115 Vista Oeste NW, (H9/D21)  
Tract 18 Unit 2 of the Ladera Business Park  
Engineer's Stamp dated 5-16-06, Engineer's Certification dated 7-6-07

Dear Mr. Sabay,

Based on the information contained in your submittal received on July 6, 2007,  
the above referenced certification is approved for release of permanent Certificate  
of Occupancy by Hydrology.

Sincerely,

Jeremy Hoover, P.E., C.F.M.  
Senior Engineer  
Hydrology Section  
Development and Building Services

P.O. Box 1293

Albuquerque

New Mexico 87103

cc: file H9/D21  
Katrina Sigala, C.O. Clerk

[www.cabq.gov](http://www.cabq.gov)

# DRAINAGE INFORMATION SHEET

H-9/D21

PROJECT TITLE: OFFICE BUILDING @ UNSER & VISTA OESTE N.W. ZONE MAP/DRG. FILE H9-D21  
DRB #: PC#: N/A WORK ORDER#:

LEGAL DESCRIPTION: A PORTTION OF SECTION 7 TOWNSHIP 11 NORTH, RANGE 3 EAST  
CITY ADDRESS: 2115 VISTA OESTE ST. N.W.

ENGINEERING FIRM: BJM DEVELOPMENT CONSULTANT  
ADDRESS: 8624 CASA VERDE AVE. N.W.  
CITY, STATE: Albuquerque, New Mexico

CONTACT: BERNIE J. MONTOYA  
PHONE: 250-7719  
ZIP CODE: 87120

OWNER:  
ADDRESS:  
CITY, STATE: Albuquerque, New Mexico

CONTACT:  
PHONE:  
ZIP CODE:

ARCHITECT: JIM MILLER & ASSOCIATES  
ADDRESS:  
CITY, STATE:

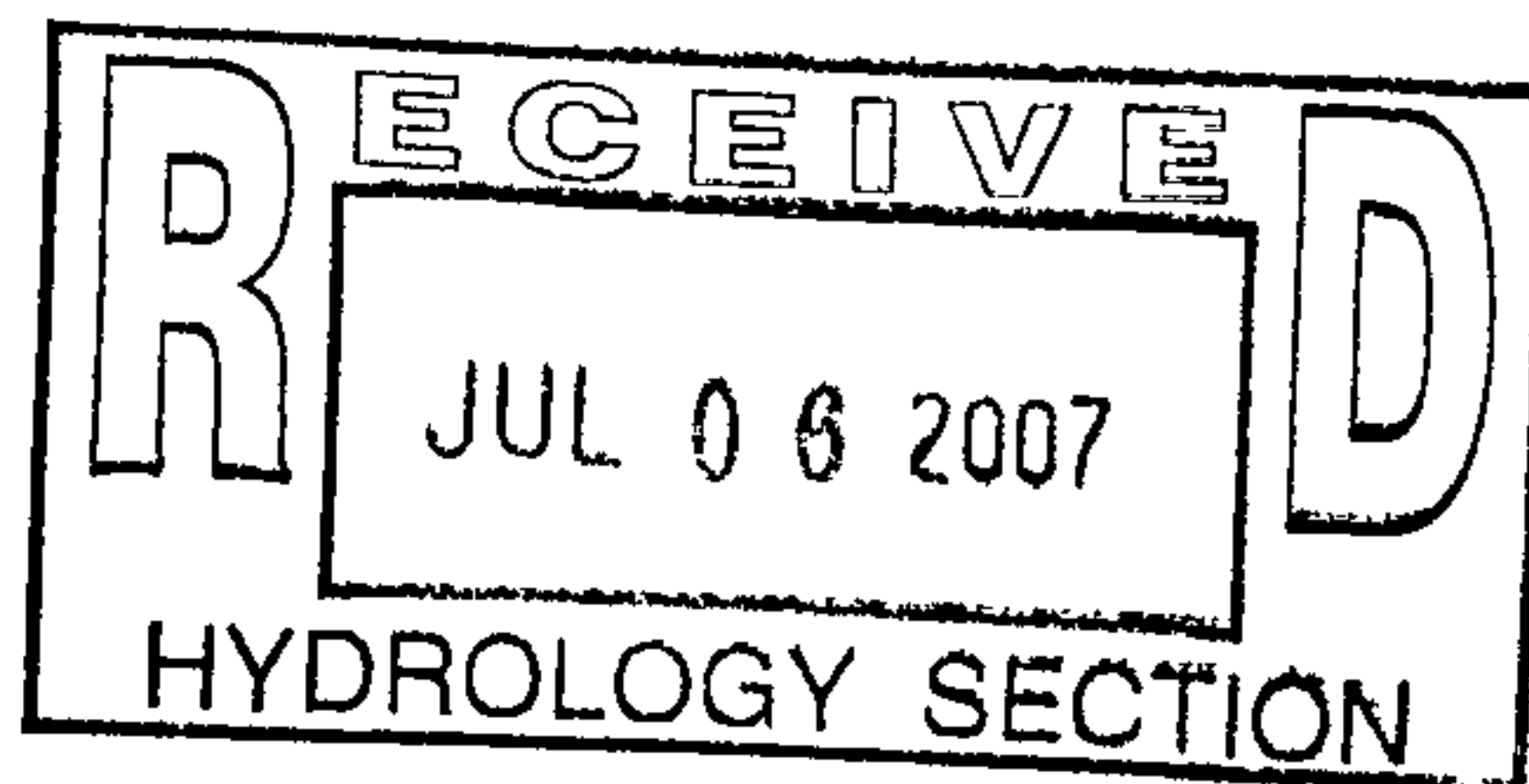
CONTACT: JIM MILLER  
PHONE: 345-1312  
ZIP CODE:

SURVEYOR: N/A  
ADDRESS:  
CITY, STATE:

CONTACT:  
PHONE:  
ZIP CODE:

CONTRACTOR: N/A  
ADDRESS:  
CITY, STATE:

CONTACT:  
PHONE:  
ZIP CODE:



## TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☒ ENGINEER'S CERTIFICATION
- ☐ PAVING PLAN
- ☐ TCL
- ☐ RESUBMITTAL

## CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL

## BUILDING PERMIT APPROVAL WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☐ NO
- ☐ COPY PROVIDED

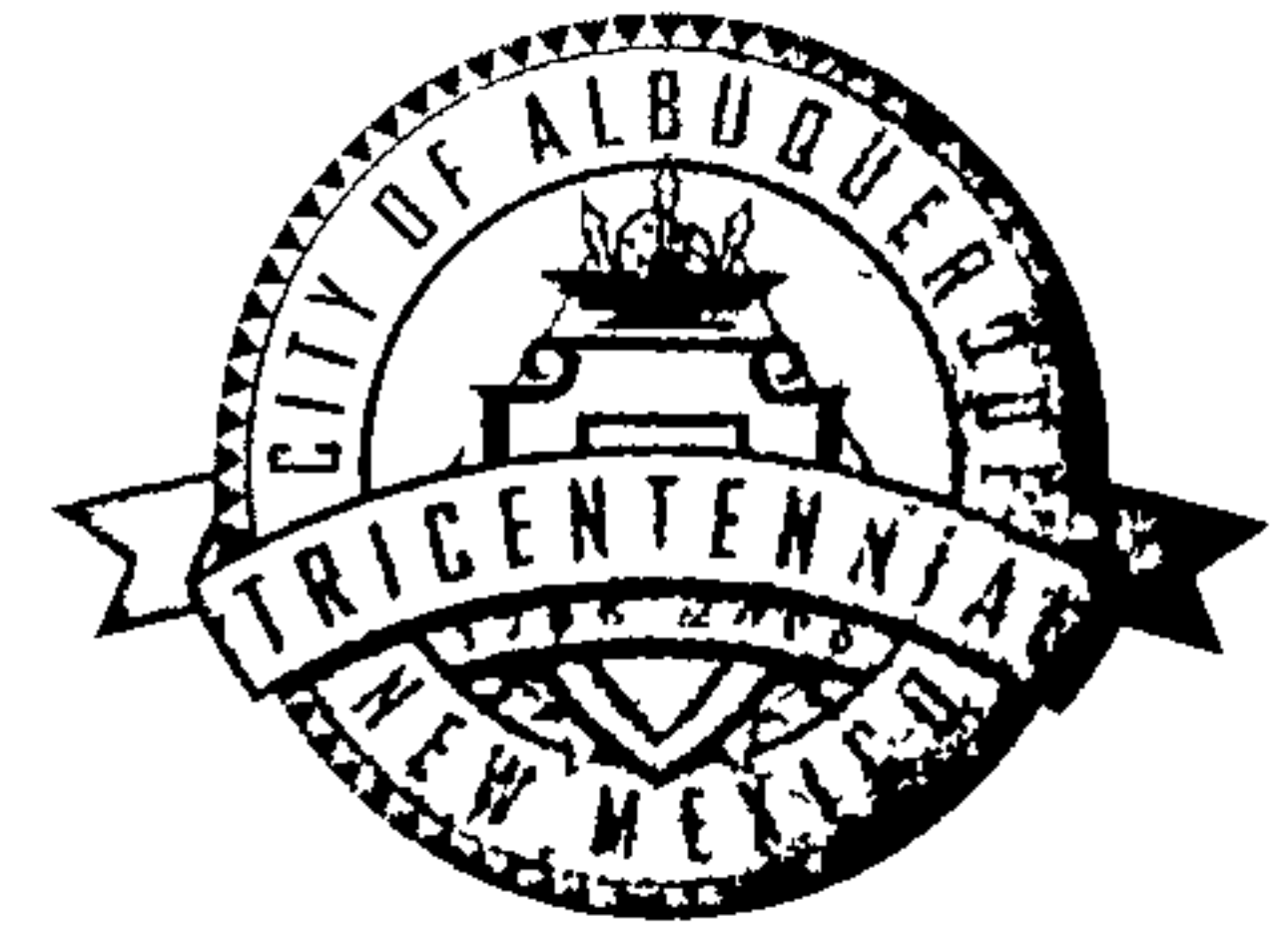
- ☒ CERTIFICATE OF OCCUPANCY APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY) SO19

DATE SUBMITTED: 7/6/07 BY: B Montoya

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development define the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

# CITY OF ALBUQUERQUE



July 3, 2007

Eufracio Sabay, P.E.  
BJM Development Consultant  
8624 Casa Verde Ave NW  
Albuquerque, NM 87120

**Re: Office Building @ Unser & Vista Oeste NW, 2115 Vista Oeste St. NW,  
Approval of 90 Day Temporary Certificate of Occupancy (C.O.)  
Engineer's Stamp dated 5/16/06 (H09/D021)  
Certification dated 6/25/07**

Based upon the information provided in your submittal received 6/29/07, the above referenced certification is approved for release of 90-day Temporary Certificate of Occupancy by Hydrology.

The certifying language is enclosed and will need to be amended on the certified plan.

If you have any questions, you can contact me at 924-3982.

Sincerely,

Timothy Sims  
Plan Checker-Hydrology  
Development and Building Services

C: CO Clerk-Katrina Sigala  
File

P.O. Box 1293

Albuquerque

New Mexico 87103

[www.cabq.gov](http://www.cabq.gov)



# DRAINAGE INFORMATION SHEET

**PROJECT TITLE:** OFFICE BUILDING @ UNSER & VISTA OESTE N.W.      **ZONE MAP/DRG. FILE** H9-D21  
**DRB #:**    **PC#: N/A**    **WORK ORDER#:**

**LEGAL DESCRIPTION: A PORTTION OF SECTION 7 TOWNSHIP 11 NORTH, RANGE 3 EAST**  
**CITY ADDRESS: 2115 VISTA OESTE ST. N.W.**

**ENGINEERING FIRM: BJM DEVELOPMENT CONSULTANT**  
**ADDRESS: 8624 CASA VERDE AVE. N.W.**  
**CITY, STATE: Albuquerque, New Mexico**

**CONTACT: BERNIE J. MONTOYA**  
**PHONE: 250-7719**  
**ZIP CODE: 87120**

**OWNER:**  
**ADDRESS:**  
**CITY, STATE:** **Albuquerque, New Mexico**

**CONTACT:**  
**PHONE:**  
**ZIP CODE:**

**ARCHITECT: JIM MILLER & ASSOCIATES**  
**ADDRESS:**  
**CITY, STATE:**

CONTACT: JIM MILLER  
PHONE: 345-1312  
ZIP CODE:

**SURVEYOR:** **N/A**  
**ADDRESS:**  
**CITY, STATE:**

**CONTACT:**  
**PHONE:**  
**ZIP CODE:**

**CONTRACTOR:** N/A  
**ADDRESS:**  
**CITY, STATE:**

CONTACT:  
PHONE:  
ZIP CODE:

**TYPE OF SUBMITTAL:**

<input type="checkbox"/>	DRAINAGE REPORT
<input type="checkbox"/>	DRAINAGE PLAN
<input type="checkbox"/>	CONCEPTUAL GRADING & DRAINAGE PLAN
<input type="checkbox"/>	GRADING PLAN
<input type="checkbox"/>	EROSION CONTROL PLAN
<input checked="" type="checkbox"/>	ENGINEER'S CERTIFICATION
<input type="checkbox"/>	PAVING PLAN
<input type="checkbox"/>	TCL
<input type="checkbox"/>	RESUBMITTAL

**CHECK TYPE OF APPROVAL SOUGHT:**

\_\_\_\_\_ SIA / FINANCIAL GUARANTEE RELEASE  
\_\_\_\_\_ PRELIMINARY PLAT APPROVAL  
\_\_\_\_\_ S. DEV. PLAN FOR SUB'D. APPROVAL  
\_\_\_\_\_ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL  
\_\_\_\_\_ SECTOR PLAN APPROVAL  
\_\_\_\_\_ FINAL PLAT APPROVAL  
\_\_\_\_\_ FOUNDATION PERMIT APPROVAL

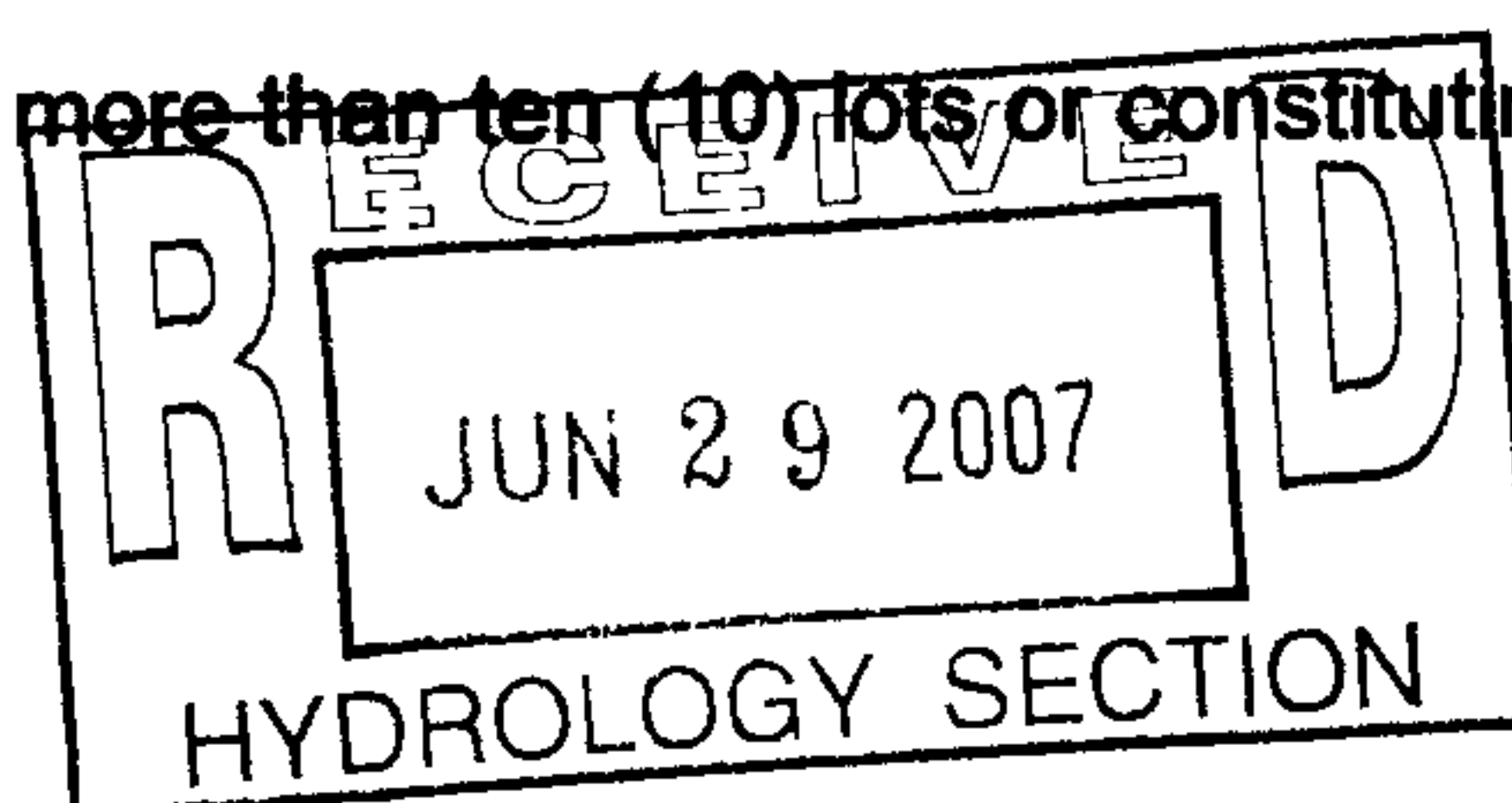
**BUILDING PERMIT APPROVAL**  
**WAS A PRE-DESIGN CONFERENCE ATTENDED:**  
 \_\_\_\_\_ YES  
 \_\_\_\_\_ NO  
 \_\_\_\_\_ COPY PROVIDED

X\_\_\_\_\_ CERTIFICATE OF OCCUPANCY APPROVAL  
 \_\_\_\_\_ GRADING PERMIT APPROVAL  
 \_\_\_\_\_ PAVING PERMIT APPROVAL  
 \_\_\_\_\_ WORK ORDER APPROVAL  
 \_\_\_\_\_ OTHER (SPECIFY) SO19

DATE SUBMITTED: 6/29/07 BY: Bernie Matz

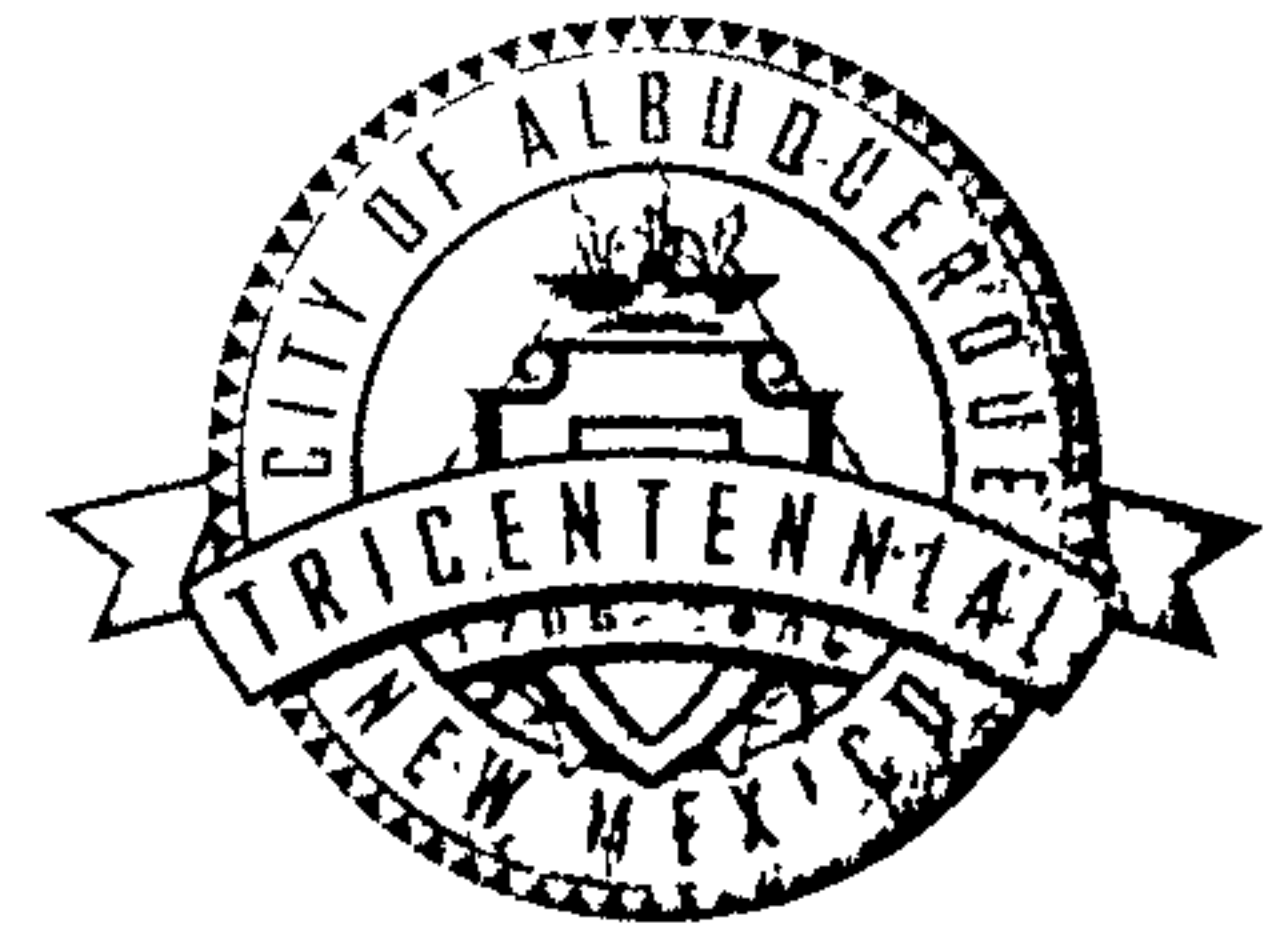
**Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development define the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:**

- 1. Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
- 2. Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
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# CITY OF ALBUQUERQUE



May 18, 2006

Eufracio Sabay, P.E.  
BJM Development Consultant  
8624 Casa Verde Ave. NW  
Albuquerque, NM 87120

**Re: Office Building Facility, 2115 Vista Oeste St. NW, Grading & Drainage Plan  
Engineer's Stamp dated 5-16-06 (H9-D21)**


Dear Mr. Sabay,

Based upon the information provided in your submittal dated 5-17-06, the above referenced plan is approved for Building Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology. Additionally, prior to release of the Certificate of Occupancy an Engineer's Certification of the grading plan per the DPM checklist will be required.

This project requires a National Pollutant Discharge Elimination System (NPDES) permit. Refer to the attachment that is provided with this letter for details. If you have any questions please feel free to call the Municipal Development Department Hydrology section at 768-3654 (Charles Caruso).

If you have any questions, you can contact me at 924-3990.

Sincerely,

  
Phillip J. Lovato, E.I., C.F.M.  
Engineering Associate, Hydrology,  
Development and Building Services,  
Planning Department

cc: Charles Caruso, DMD  
file

P.O. Box 1293

Albuquerque

New Mexico 87103

[www.cabq.gov](http://www.cabq.gov)

# DRAINAGE INFORMATION SHEET

*PRG*

PROJECT TITLE: OFFICE BUILDING @ UNSER & VISTA OESTE N.W. ZONE MAP/DRG. FILE H9-D21  
DRB #: PC#: N/A WORK ORDER#:

LEGAL DESCRIPTION: A PORTTION OF SECTION 7 TOWNSHIP 11 NORTH, RANGE 3 EAST  
CITY ADDRESS: 2115 VISTA OESTE ST. N.W.

ENGINEERING FIRM: BJM DEVELOPMENT CONSULTANT  
ADDRESS: 8624 CASA VERDE AVE. N.W.  
CITY, STATE: Albuquerque, New Mexico

CONTACT: BERNIE J. MONTOYA  
PHONE: 250-7719  
ZIP CODE: 87120

OWNER:  
ADDRESS:  
CITY, STATE: Albuquerque, New Mexico

CONTACT:  
PHONE:  
ZIP CODE:

ARCHITECT: JIM MILLER & ASSOCIATES  
ADDRESS:  
CITY, STATE:

CONTACT: JIM MILLER  
PHONE: 345-1312  
ZIP CODE:

SURVEYOR: N/A  
ADDRESS:  
CITY, STATE:

CONTACT:  
PHONE:  
ZIP CODE:

CONTRACTOR: N/A  
ADDRESS:  
CITY, STATE:

CONTACT:  
PHONE:  
ZIP CODE:

## TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT  
☒ DRAINAGE PLAN  
☐ CONCEPTUAL GRADING & DRAINAGE PLAN  
☐ GRADING PLAN  
☐ EROSION CONTROL PLAN  
☐ ENGINEER'S CERTIFICATION  
☐ PAVING PLAN  
☐ TCL  
☒ RESUBMITTAL

## WAS A PRE-DESIGN CONFERENCE ATTENDED:

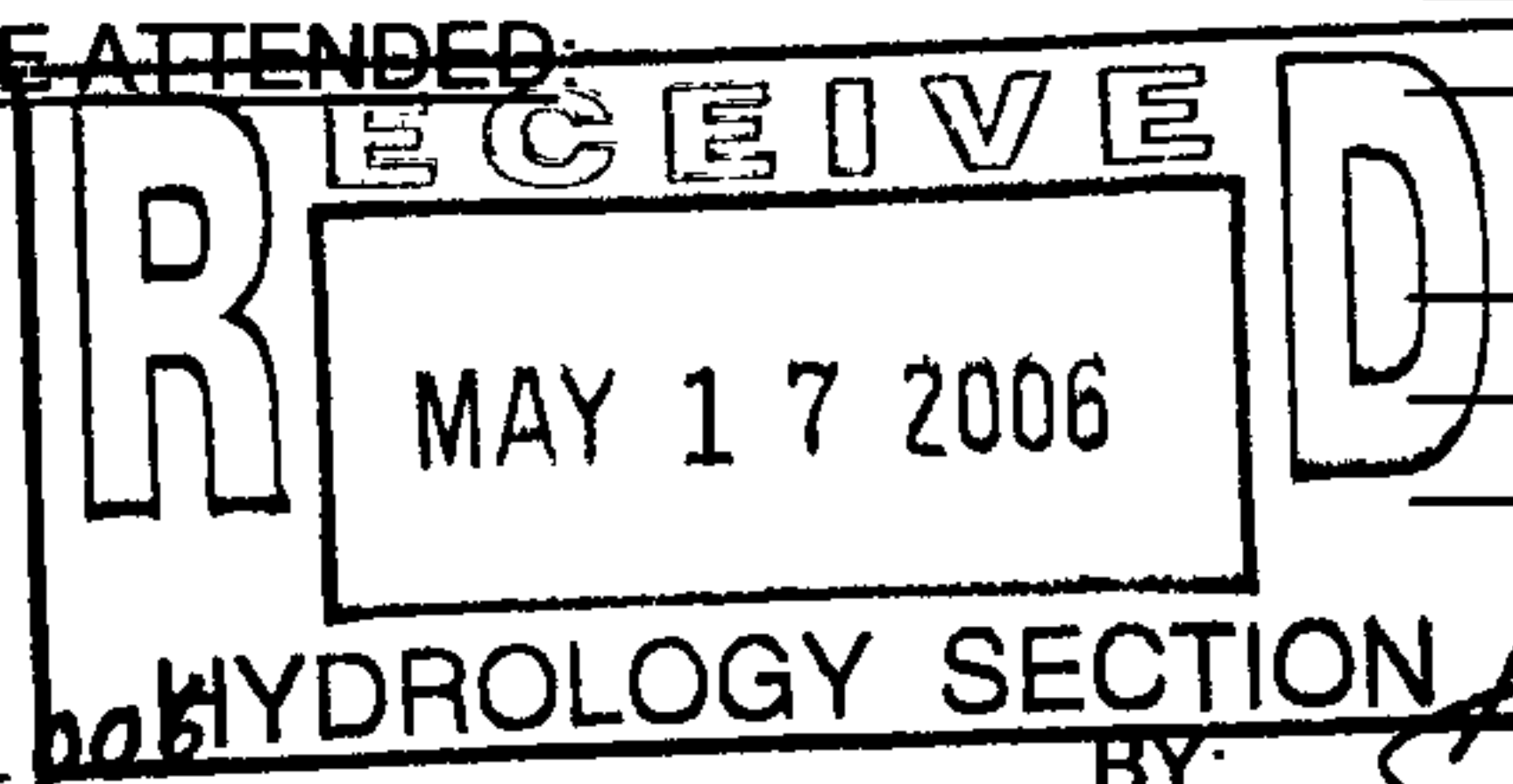
☐ YES  
☐ NO  
☐ COPY PROVIDED

## CHECK TYPE OF APPROVAL SOUGHT:

☐ SIA / FINANCIAL GUARANTEE RELEASE  
☐ PRELIMINARY PLAT APPROVAL  
☐ S. DEV. PLAN FOR SUB'D. APPROVAL  
☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL  
☐ SECTOR PLAN APPROVAL  
☐ FINAL PLAT APPROVAL  
☒ FOUNDATION PERMIT APPROVAL

☒ BUILDING PERMIT APPROVAL  
☐ CERTIFICATE OF OCCUPANCY APPROVAL  
☐ GRADING PERMIT APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ WORK ORDER APPROVAL  
☐ OTHER (SPECIFY) SO19

DATE SUBMITTED: 5/17/2006 BY: *Bernie Montoya*



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development define the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

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# CITY OF ALBUQUERQUE



May 10, 2006

Eufracio Sabay, P.E.  
BJM Development Consultant  
8624 Casa Verde Ave. NW  
Albuquerque, NM 87120

**Re: Office Building Facility, 2115 Vista Oeste St. NW, Grading & Drainage Plan  
Engineer's Stamp dated 3-12-06 (H9-D21)**

Dear Mr. Sabay,

Based upon the information provided in your submittal dated 3-16-06, the above referenced plan is approved for Site Development Plan for Building Permit action by the DRB. Prior to Building Permit approval, please address the following comments:

- Call out existing and proposed sidewalk and curb and gutter.
- Call out C.O.A. Standard Drawings for proposed sidewalk, curb and gutter and sidewalk culvert or provide details.
- Revise proposed drive-pad build note to reference C.O.A. Standard Drawing #2426.
- Provide flow-line spot elevations at quarter points, PC, PT and PI for the proposed curb cuts per C.O.A Standard Drawing #2426.

If you have any other questions, you can contact me at 924-3990.

Sincerely,

Phillip J. Lovato, E.I., C.F.M.  
Engineering Associate, Hydrology,  
Development and Building Services,  
Planning Department

cc: file

P.O. Box 1293

Albuquerque

New Mexico 87103

[www.cabq.gov](http://www.cabq.gov)



## DRAINAGE INFORMATION SHEET

PROJECT TITLE: OFFICE BUILDING @ UNSER & VISTA OESTE N.W.  
DRB #: PC#: N/A

ZONE MAP/DRG. FILE H9-1221  
WORK ORDER#:

LEGAL DESCRIPTION: A PORTTION OF SECTION 7 TOWNSHIP 11 NORTH, RANGE 3 EAST  
CITY ADDRESS: 2115 VISTA OESTE ST. N.W.

ENGINEERING FIRM: BJM DEVELOPMENT CONSULTANT  
ADDRESS: 8624 CASA VERDE AVE. N.W.  
CITY, STATE: Albuquerque, New Mexico

CONTACT: BERNIE J. MONTOYA  
PHONE: 250-7719  
ZIP CODE: 87120

OWNER:  
ADDRESS:  
CITY, STATE: Albuquerque, New Mexico

CONTACT:  
PHONE:  
ZIP CODE:

ARCHITECT: JIM MILLER & ASSOCIATES  
ADDRESS:  
CITY, STATE:

CONTACT: JIM MILLER  
PHONE: 345-1312  
ZIP CODE:

SURVEYOR: N/A  
ADDRESS:  
CITY, STATE:

CONTACT:  
PHONE:  
ZIP CODE:

CONTRACTOR: N/A  
ADDRESS:  
CITY, STATE:

CONTACT:  
PHONE:  
ZIP CODE:

### TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☒ DRAINAGE PLAN
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION
- ☐ PAVING PLAN
- ☐ TCL
- ☐ RESUBMITTAL

### WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☐ NO
- ☐ COPY PROVIDED

*See paid -*

### CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☒ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☒ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☒ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY) SO19

DATE SUBMITTED: 3/16/2006 BY: *Bernie Montoya*

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development define the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

