

### Planning Department Transportation Development Services Section

December 19, 2007

James W. Miller, Registered Architect 5220 2nd Street NW, Ste. A Albuquerque, NM 87107

Re:

Certification Submittal for Final Building Certificate of Occupancy for

Shops @ 98th & Unser, [H-9 / D21]

2115 Vista Oeste NW

Architect's Stamp Dated 07/20/07

P.O. Box 1293

Dear Mr. Miller:

Since the Administrated Amendment issue has been resolved, the TCL / Letter of Certification re-submittal on December 19, 2007 is sufficient for acceptance by this office for final Certificate of Occupancy (C.O.), . Notification has been made to the Building and Safety Section.

Albuquerque

Sincerely,

New Mexico 87103

www.cabq.gov

Nilo E. Salgado-Fernandez, P.E.

Senior Traffic Engineer

Development and Building Services

Planning Department

C:

Engineer
Hydrology file
CO Clerk

### DRAINAGE AND TRANSPORTATION INFORMATION SHEET (Rev. 12/05)

PROJECT TITLE: 5 Maps @ 98 # 1 Inser M DRB#: 1001523 EPC#: 1001523	D ZONE MAP/DRG. FILE # H-9 021
LEGAL DESCRIPTION: Tract 18, With 2 CITY ADDRESS:	WORK ORDER#:  Ladara Business Park
ENGINEERING FIRM:	CONTACT:
ADDRESS:CITY, STATE:	PHONE: ZIP CODE:
OWNER:ADDRESS:CITY, STATE:	CONTACT: PHONE:
ARCHITECT: Miller & Assoc	ZIP CODE:  CONTACT:  Milan
ADDRESS: 5220 Zud 54 AU3 CITY, STATE: 5220 Zud 54 AU3	PHONE:
SURVEYOR: ADDRESS: CITY, STATE:	CONTACT: PHONE: ZIP CODE:
CONTRACTOR:ADDRESS:	CONTACT:PHONE:
CITY, STATE:	ZIP CODE:
DRAINAGE REPORT  DRAINAGE PLAN 1 <sup>st</sup> SUBMITTAL  DRAINAGE PLAN RESUBMITTAL	SIA/FINANCIAL GUARANTEE RELEASE PRELIMINARY PLAT APPROVAL
CONCEPTUAL G & D PLAN GRADING PLAN	S. DEV. PLAN FOR SUB'D APPROVAL S. DEV. FOR BLDG. PERMIT APPROVAL SECTOR PLAN APPROVAL
EROSION CONTROL PLAN ENGINEER'S CERT (HYDROLOGY) CLOMR/LOMR	FINAL PLAT APPROVAL FOUNDATION PERMIT APPROVAL BUILDING PERMIT APPROVAL
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ENGINEER/ARCHITECT CERT (AA) OTHER (SPECIFY)  D ©©©©	PAVING PERMIT APPROVAL
WAS A PRE-DESIGN CONFERENCE ATTENDEDC 1 9 2007 YES	JUL. 2 0 2007
MO COPY PROVIDED AMES WAS SUBMITTED BY:	HYDROLOGY SECTION  TON  DATE: 7/20/07
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Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development define the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

73

- 1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
- 2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
- 3. Drainage Report: Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

### MILLER AND ASSOCIATES

ARCHITECTS - PLANNERS

5220 2ND ST. NW STE. A - ALBUQUERQUE, NEW MEXICO 87107 - PHONE (505) 345-1312

July 20, 2007

RE: 'SHOPS @ 98TH & UNSER N.W.' LOCATED AT 2115 VISTA OESTA N. W., ALBUQUERQUE, N. M.

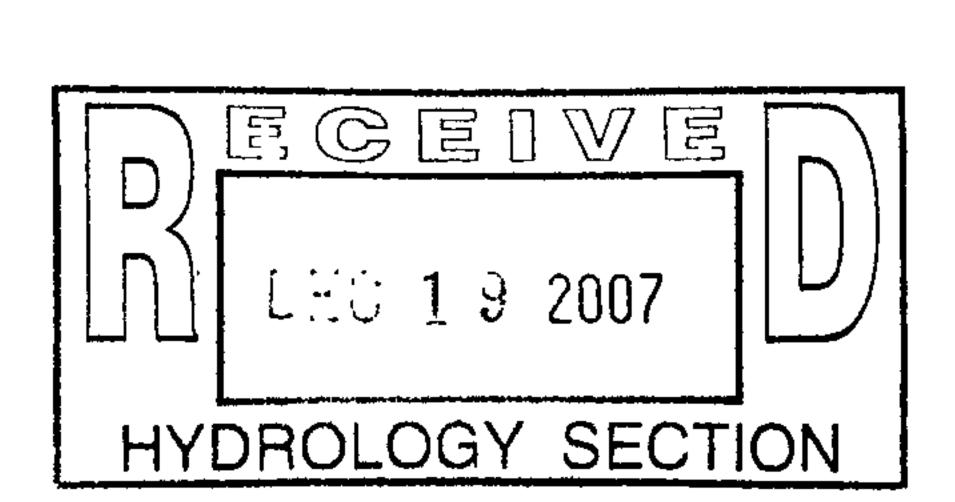
TRAFFIC CERTIFICATION

I, James W. Miller, NMRA of the firm of Miller & Assoc. herey by certify that this project is in substantial compliance with and in accordance with the design intent of the AA approved plan dated 2/09/06. The record information edited on to the original design document has been obtained by James W. Miller of the firm of Miller & Assoc. I further certify that I have personally visited the project site on July 17, 2007 and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge amd belief. This certification is submitted in support of a request for Certificate of Occupancy.

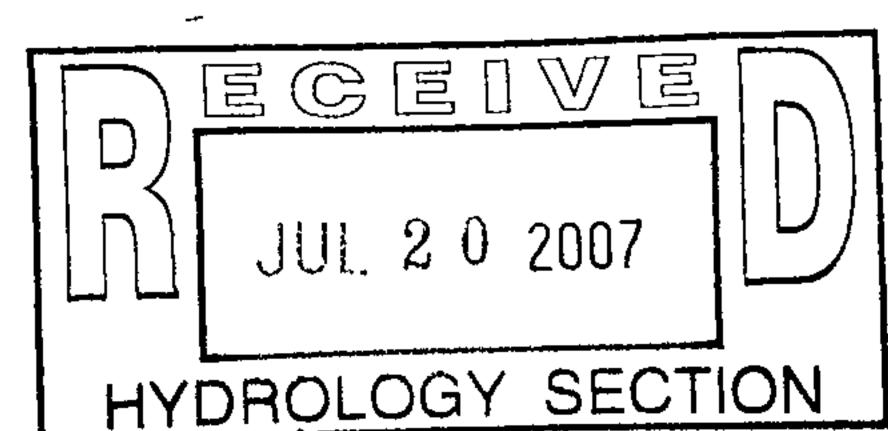
The record information presented hereon is not neccessarily complete and intended only to verify substantial compliance of the traffic aspects of the project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

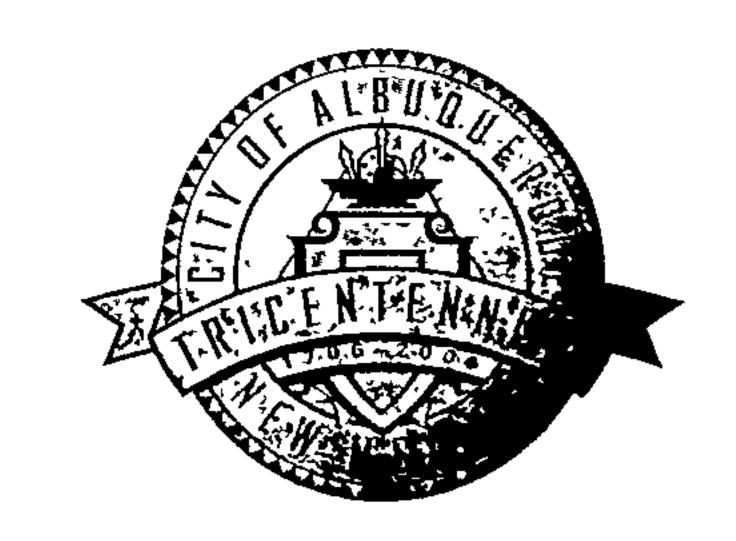
James W. Miller, AIA

67.7









### Planning Department Transportation Development Services Section

July 20, 2007

James W. Miller, Registered Architect, James Miller & Associates 5220 2nd Street NW, Ste. A Albuquerque, NM 87107

Re:

Approval of Temporary Certificate of Occupancy (C.O.) for

Shops @ 98th & Unser, [H-9 / D21]

2115 Vista Oeste NW

Architect's Stamp Dated 07/20/07

Dear Mr. Miller:

\_\_Based on the\_information provided on your submittal dated July 20, 2007, the above \_\_\_\_\_\_ referenced project is approved for a 90-day Temporary C.O.

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

A Temporary C.O. has been issued allowing the outstanding Administrated Amendment request issue to be completed within this time period. When these remaining issues have been fully completed, are in substantial compliance, and a final Certification for Transportation has been resubmitted to the City's Hydrology office for approval, a Permanent C.O. will be issued.

The Certification package for Final C.O. must include an <u>exact</u> copy of the approved TCL, or signed off D.R.B. Site Plan, which is in each of the two City Permit Plan Sets—the contractor's City field set and the City's plan set in the basement of the Plaza Del Sol building. Package also must include a letter of certification on designer's letterhead-stamped with his seal, signed, and dated. Submit package along with fully completed Drainage Information Sheet to front counter personnel for log in and evaluation by Transportation.

If you have any questions, please call me at 924-3630.

Nilo E. Salgado-Fernandez, P.E.

Senior Traffic Engineer

Development and Building Services

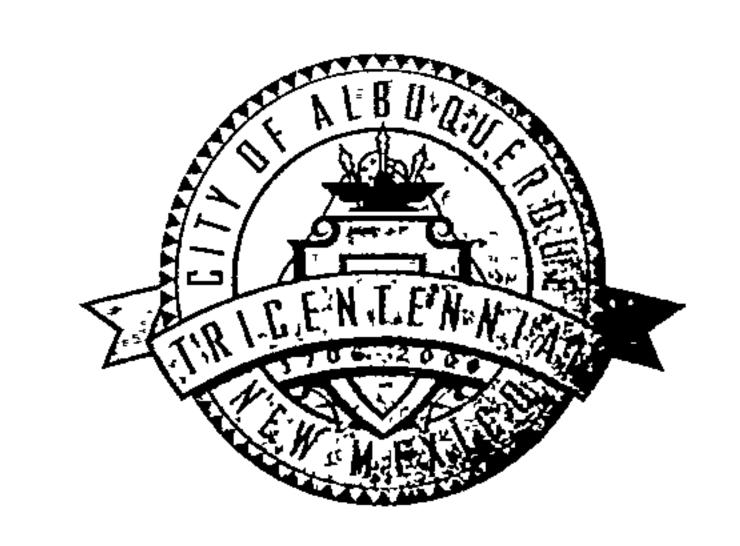
Planning Department

C:

Sincerely

Engineer
Hydrology file
CO Clerk

July 7, 2007



Eufracio Sabay BJM Development Consultant 8624 Casa Verde NW Albuquerque, NM 87120

Re: Office Building Complex, 2115 Vista Oeste NW, (H9/D21)

Tract 18 Unit 2 of the Ladera Business Park

Engineer's Stamp dated 5-16-06, Engineer's Certification dated 7-6-07

Dear Mr. Sabay,

Based on the information contained in your submittal received on July 6, 2007, the above referenced certification is approved for release of permanent Certificate of Occupancy by Hydrology.

Sincerely,

P.O. Box 1293

Jeremy Hoover, P.F., C.F.M.

Senior Engineer
Hydrology Section

una.

Albuquerque

Development and Building Services

cc:

file H9/D21

New Mexico 87103

Katrina Sigala, C.O. Clerk

www.cabq.gov

H-9/DZ)

PROJECT TITLE: OFFICE BUILDING @ UNSER & VISTA OES DRB #: PC#: N/A	STE N.W. ZONE MAP/DRG. FILE <b>H9-D21</b> WORK ORDER#:
LEGAL DESCRIPTION: A PORTTION OF SECTION 7 TOWNSHIP 1 CITY ADDRESS: 2115 VISTA OESTE ST. N.W.	1 NORTH, RANGE 3 EAST
ENGINEERING FIRM: BJM DEVELOPMENT CONSULTANT ADDRESS: 8624 CASA VERDE AVE. N.W. CITY, STATE: Albuquerque, New Mexico	CONTACT: BERNIE J. MONTOYA PHONE: 250-7719 ZIP CODE: 87120
OWNER: ADDRESS: CITY, STATE: Albuquerque, New Mexico	CONTACT: PHONE: ZIP CODE:
ARCHITECT: JIM MILLER & ASSOCIATES ADDRESS: CITY, STATE:	CONTACT: JIM MILLER PHONE: 345-1312 ZIP CODE:
CITY, STATE:	CONTACT: PHONE: ZIP CODE: CONTACT:
CONTRACTOR: N/A ADDRESS: CITY, STATE: HYDROLOGY SEC	PHONE:
TYPE OF SUBMITTAL:  DRAINAGE REPORT  DRAINAGE PLAN  CONCEPTUAL GRADING & DRAINAGE PLAN  GRADING PLAN  EROSION CONTROL PLAN  X ENGINEER'S CERTIFICATION  PAVING PLAN  TCL  RESUBMITTAL	HECK TYPE OF APPROVAL SOUGHT:  SIA / FINANCIAL GUARANTEE RELEASE PRELIMINARY PLAT APPROVAL S. DEV. PLAN FOR SUB'D. APPROVAL S. DEV. PLAN FOR BLDG. PERMIT APPROVAL SECTOR PLAN APPROVAL FINAL PLAT APPROVAL FOUNDATION PERMIT APPROVAL
BUILDING PERMIT APPROVAL WAS A PRE-DESIGN CONFERENCE ATTENDED: YES NO COPY PROVIDED	X CERTIFICATE OF OCCUPANCY APPROVAL GRADING PERMIT APPROVAL PAVING PERMIT APPROVAL WORK ORDER APPROVAL OTHER (SPECIFY) SO19
DATE SUBMITTED: 4/6/07 BY:_	BWI Ty 1
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July 3, 2007

Eufracio Sabay, P.E.
BJM Development Consultant
8624 Casa Verde Ave NW
Albuquerque, NM 87120

Re: Office Building @ Unser & Vista Oeste NW, 2115 Vista Oeste St. NW,

Approval of 90 Day Temporary Certificate of Occupancy (C.O.)

Engineer's Stamp dated 5/16/06 (H09/D021)

Certification dated 6/25/07

Based upon the information provided in your submittal received 6/29/07, the above referenced certification is approved for release of 90-day Temporary Certificate of Occupancy by Hydrology.

P.O. Box 1293

The certifying language is enclosed and will need to be amended on the certified plan.

Albuquerque

If you have any questions, you can contact me at 924-3982.

New Mexico 87103

Timothy Sims

Sincerely,

www.cabq.gov

Plan Checker-Hydrology

Development and Building Services

C: CO Clerk-Katrina Sigala File

Albuquerque - Making History 1706-2006

PROJECT TITLE: OFFI DRB #:	CE BUILDING @ UNSER & VISTA OF PC#: N/A	STE N.W. ZONE MAP/DRG. FILE WORK ORDER#:	H9-D21
LEGAL DESCRIPTION: A CITY ADDRESS: 2115 V	N PORTTION OF SECTION 7 TOWNSHIP ISTA OESTE ST. N.W.	11 NORTH, RANGE 3 EAST	
ADDRESS: 8624	M DEVELOPMENT CONSULTANT CASA VERDE AVE. N.W. Albuquerque, New Mexico	CONTACT: BERNIE A PHONE: 250-7719 ZIP CODE: 87120	
OWNER: ADDRESS: CITY, STATE:	Albuquerque, New Mexico	CONTACT: PHONE: ZIP CODE:	
ARCHITECT: JIM MILLEF ADDRESS: CITY, STATE:	R & ASSOCIATES	CONTACT: JIM MILLE PHONE: 345-1312 ZIP CODE:	R
SURVEYOR: ADDRESS: CITY, STATE:	N/A	CONTACT: PHONE: ZIP CODE:	
CONTRACTOR: ADDRESS: CITY, STATE:	N/A	CONTACT: PHONE: ZIP CODE:	
TYPE OF SUBMITTAL:  DRAINAGE REP  DRAINAGE PLAI  CONCEPTUAL OF  GRADING PLAN  EROSION CONT  X ENGINEER'S CE  PAVING PLAN  TCL  RESUBMITTAL	ORT N BRADING & DRAINAGE PLAN ROL PLAN	CHECK TYPE OF APPROVAL SOUGHT  SIA / FINANCIAL GUARANT  PRELIMINARY PLAT APPRO  S. DEV. PLAN FOR SUB'D. A  S. DEV. PLAN FOR BLDG. F  SECTOR PLAN APPROVAL  FINAL PLAT APPROVAL  FOUNDATION PERMIT APPROVAL	EE RELEASE OVAL APPROVAL PERMIT APPROVAL
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DATE SUBMITTED:	6/29/07 BY:	Sen / Martes	· · · · · · · · · · · · · · · · · · ·
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1. Conceptual (5) acr	Grading and Drainage Plan: Require es and Sector Plans.  ans: Required for building permits, gra	d for approval of Site Development P	

3. Drainage Report: Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more

JUN 2 9 2007

HYDROLOGY SECTION

acres.

more.



May 18, 2006

Eufracio Sabay, P.E. BJM Development Consultant 8624 Casa Verde Ave. NW Albuquerque, NM 87120

Re: Office Building Facility, 2115 Vista Oeste St. NW, Grading & Drainage Plan Engineer's Stamp dated 5-16-06 (H9-D21)

Dear Mr. Sabay,

Based upon the information provided in your submittal dated 5-17-06, the above referenced plan is approved for Building Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology. Additionally, prior to release of the Certificate of Occupancy an Engineer's Certification of the grading plan per the DPM checklist will be required.

This project requires a National Pollutant Discharge Elimination System (NPDES) permit. Refer to the attachment that is provided with this letter for details. If you have any questions please feel free to call the Municipal Development Department Hydrology section at 768-3654 (Charles Caruso).

If you have any questions, you can contact me at 924-3990.

Sincerely,

Phillip J. Lovato, E.I., Č.F.M. Engineering Associate, Hydrology, Development and Building Services,

Planning Department

cc: Charles Caruso, DMD

file

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

PROJECT TITLE: OFFICE BUILDING @ UNSER & VISTA OESTE N.W.



ZONE MAP/DRG. FILE H9-D21

**WORK ORDER#:** PC#: N/A DRB #: LEGAL DESCRIPTION: A PORTTION OF SECTION 7 TOWNSHIP 11 NORTH, RANGE 3 EAST CITY ADDRESS: 2115 VISTA OESTE ST. N.W. CONTACT: BERNIE J. MONTOYA **ENGINEERING FIRM: BJM DEVELOPMENT CONSULTANT** 250-7719 PHONE: ADDRESS: 8624 CASA VERDE AVE. N.W. ZIP CODE: 87120 Albuquerque, New Mexico CITY, STATE: CONTACT: OWNER: PHONE: ADDRESS: ZIP CODE: Albuquerque, New Mexico CITY, STATE: CONTACT: JIM MILLER ARCHITECT: JIM MILLER & ASSOCIATES PHONE:345-1312 ADDRESS: ZIP CODE: CITY, STATE: CONTACT: N/A SURVEYOR: PHONE: ADDRESS: ZIP CODE: CITY, STATE: CONTACT: N/A CONTRACTOR: PHONE: ADDRESS: ZIP CODE: CITY, STATE: CHECK TYPE OF APPROVAL SOUGHT: TYPE OF SUBMITTAL: SIA / FINANCIAL GUARANTEE RELEASE DRAINAGE REPORT PRELIMINARY PLAT APPROVAL DRAINAGE PLAN S. DEV. PLAN FOR SUB'D. APPROVAL CONCEPTUAL GRADING & DRAINAGE PLAN S. DEV. PLAN FOR BLDG. PERMIT APPROVAL **GRADING PLAN** SECTOR PLAN APPROVAL **EROSION CONTROL PLAN** FINAL PLAT APPROVAL **ENGINEER'S CERTIFICATION** FOUNDATION PERMIT APPROVAL\_\_\_\_ **PAVING PLAN** TCL X BUILDING PERMIT APPROVAL RESUBMITTAL CERTIFICATE OF OCCUPANCY APPROVAL WAS A PRE-DESIGN CONFERENCE ATTENDED CE DVE GRADING PERMIT APPROVAL YES **PAVING PERMIT APPROVAL** NO WORK ORDER APPROVAL **COPY PROVIDED** OTHER (SPECIFY) SO19 DATE SUBMITTED: 5/17/2 hot YDROLOGY SECTION

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development define the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

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May 10, 2006

Eufracio Sabay, P.E.
BJM Development Consultant
8624 Casa Verde Ave. NW
Albuquerque, NM 87120

Re: Office Building Facility, 2115 Vista Oeste St. NW, Grading & Drainage Plan Engineer's Stamp dated 3-12-06 (H9-D21)

Dear Mr. Sabay,

Based upon the information provided in your submittal dated 3-16-06, the above referenced plan is approved for Site Development Plan for Building Permit action by the DRB. Prior to Building Permit approval, please address the following comments:

• Call out existing and proposed sidewalk and curb and gutter.

- Call out C.O.A. Standard Drawings for proposed sidewalk, curb and gutter and sidewalk culvert or provide details.
- Revise proposed drive-pad build note to reference C.O.A. Standard Drawing #2426.
- Provide flow-line spot elevations at quarter points, PC, PT and PI for the proposed curb cuts per C.O.A Standard Drawing #2426.

If you have any other questions, you can contact me at 924-3990.

www.cabq.gov

New Mexico 87103

P.O. Box 1293

Albuquerque

Sincerely,

Phillip J. Lovato, E.I., C.F.M.

Engineering Associate, Hydrology,
Development and Building Services

Development and Building Services, Planning Department

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cc: file

PROJECT TITLE: OFFICE BUILDING @ UNSER & VISTA O DRB #: PC#: N/A	ESTE N.W. ZONE MAP/DRG. FILE H9-/ () WORK ORDER#:
LEGAL DESCRIPTION: A PORTTION OF SECTION 7 TOWNSHIP CITY ADDRESS: 2115 VISTA OESTE ST. N.W.	P 11 NORTH, RANGE 3 EAST
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OWNER: ADDRESS: CITY, STATE: Albuquerque, New Mexico	CONTACT: PHONE: ZIP CODE:
ARCHITECT: JIM MILLER & ASSOCIATES ADDRESS: CITY, STATE:	CONTACT:JIM MILLER PHONE:345-1312 ZIP CODE:
SURVEYOR: N/A ADDRESS: CITY, STATE:	CONTACT: PHONE: ZIP CODE:
CONTRACTOR: N/A ADDRESS: CITY, STATE:	CONTACT: PHONE: ZIP CODE:
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DATE SUBMITTED: 3/16/2006 BY	Bein/Matga
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acres.  3. Drainage Report: Required for subdivisions contamore.	more than ten (19) lots of constituting five (5) acres or  MAR 1 6 7006  HYDROLOGY SECTION