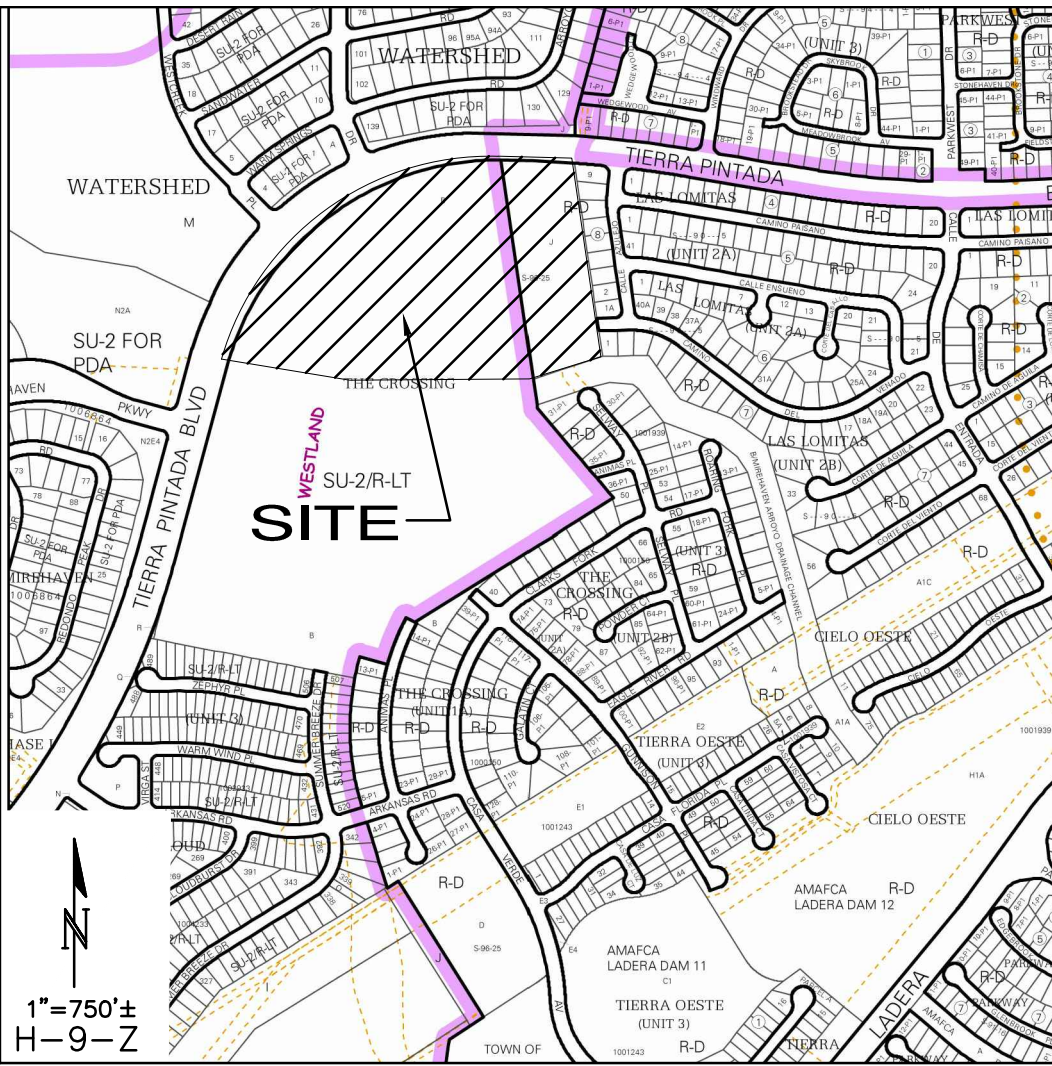


CURVE TABLE						
CURVE	LENGTH	RADIUS	TANGENT	CHORD	CHORD BEARING	DELTA
C1	305.79'	3000.00'	153.03'	305.66'	N18°05'56"E	5°50'25"
C2	1444.55'	1100.00'	847.76'	1342.96'	N52°48'00"E	75°14'32"
C3	284.65'	4546.13'	142.37'	284.60'	S87°45'27"E	3°35'15"
C4	190.45'	762.00'	95.72'	189.95'	S50°44'51"W	14°19'12"
C5	208.45'	762.00'	104.88'	207.80'	S35°45'41"W	15°40'25"
C6	197.52'	920.00'	99.14'	197.14'	S21°46'26"W	12°18'05"
C7	84.44'	1032.00'	42.24'	84.41'	S13°16'45"W	4°41'16"

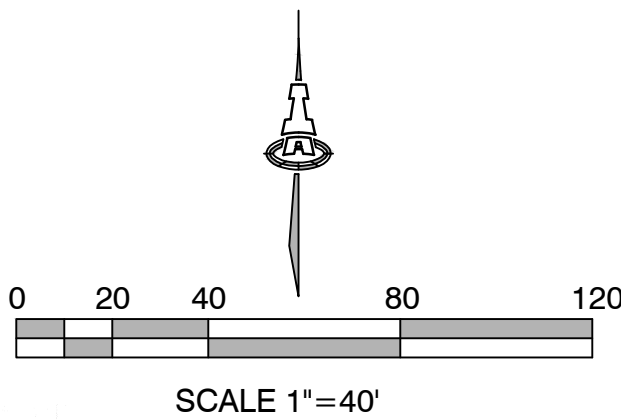
TIERRA PINTADA PHASE I
CITY PROJECT #650272



- PROJECT NOTES:
- EXST LEGAL: TRACTS B & J, THE CROSSINGS
- BENCHMARK: ACS MONUMENT 4-H9
ELEVATION: 5209.315 (NAVD 1988)
UNIT 5=21.4 AC.
- ENGINEER: ASA NILSSON-WEBER
ISAACSON & ARFMAN, P.A.
- SURVEYOR: RUSTY HUGG
SURVTEK, INC.
- FLOOD PLAIN: THE SITE LIES WITHIN ZONE "X",
ZONE "AO" AND ZONE "AE"
PER FIRM MAP 35001C0326G.

- NOTES:
- STREET GRADES ARE AT FLOWLINE.
 - SEE SHEETS 4-6 FOR RETAINING WALL GRADES AND SECTIONS.
 - SEE SHEET 7 FOR EXISTING WALLS TO BE DEMOLISHED AND EXISTING WALLS TO REMAIN

- LEGEND
- 5270 EXISTING CONTOUR
 - 52 PROPOSED CONTOUR
 - 78.3 PROPOSED ELEVATION
 - 78.9 PROPOSED ELEV. AT TIERRA PINTADA R/W
 - PG=5272.1 PAD GRADE ELEVATION
 - STANDARD (STD) CURB & GUTTER
 - MOUNTABLE (MTBL) CURB & GUTTER
 - STORM DRAIN W/ MANHOLE
 - STORM DRAIN INLET
 - PROPOSED RETAINING WALL (DESIGN BY OTHERS)
 - RECOMMENDED DRIVEWAY LOCATION
 - WATER HARVESTING AREA FOR "FIRST FLUSH" SEE DETAIL ON SHEET 3



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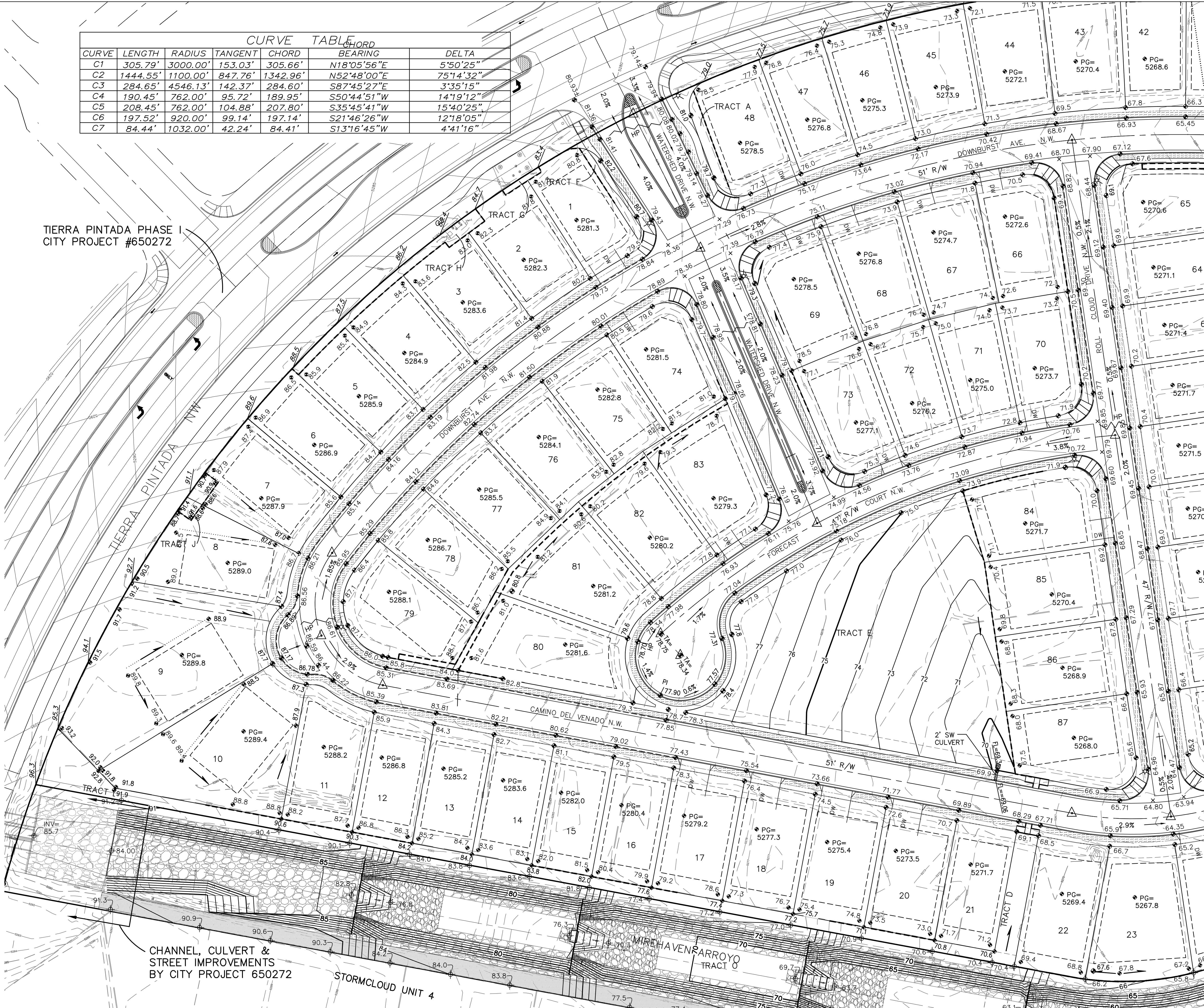
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STORMCLOUD SUBDIVISION, UNIT 5

WALH, LLC.

GRADING AND DRAINAGE PLAN

Date:	2-18-13	No.:	Revision:	Date:		Job No.	1822
Drawn By:	ANW					PAGE	
Ckd By:						Sheet	1 OF 7

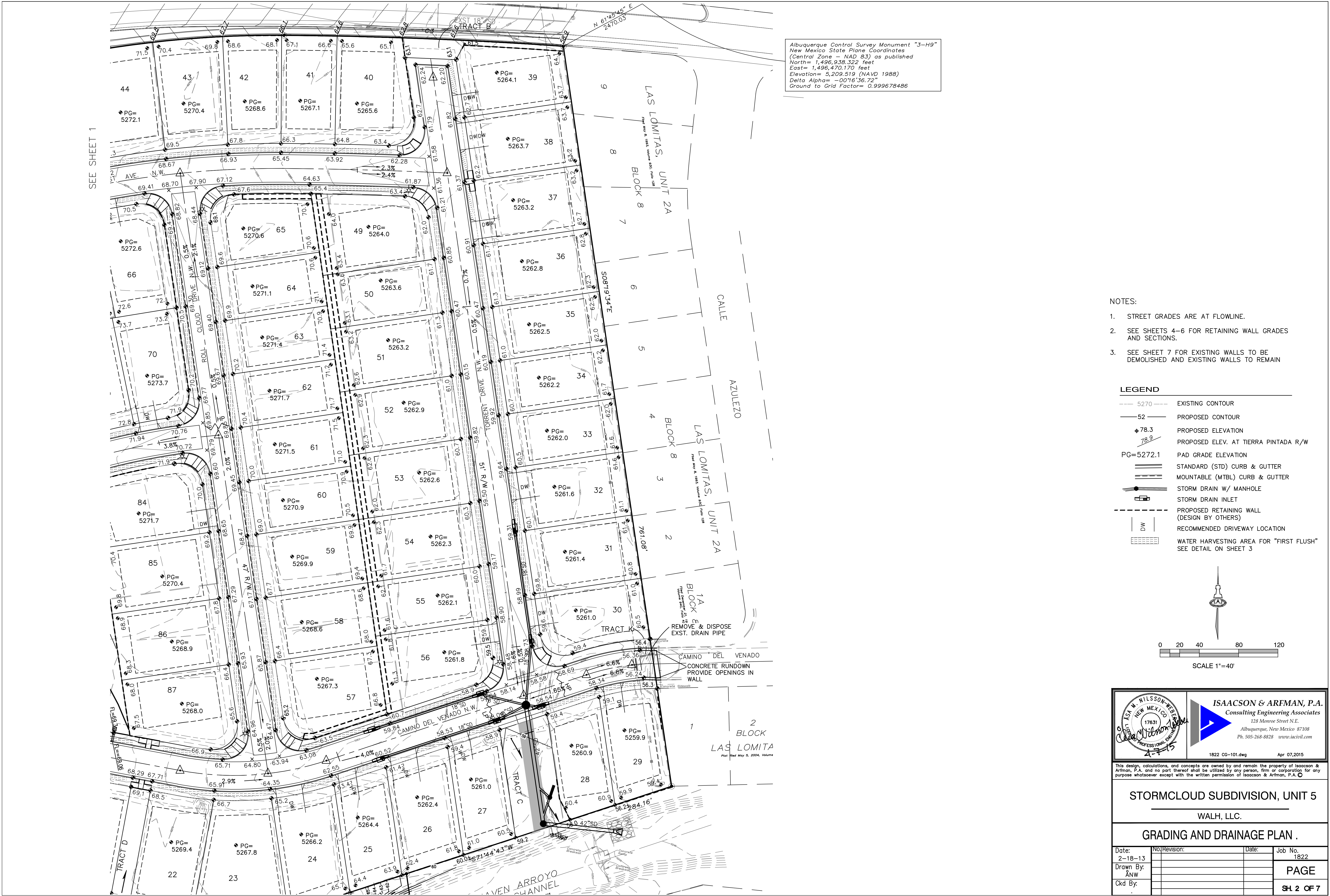


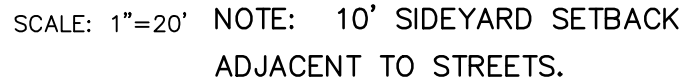
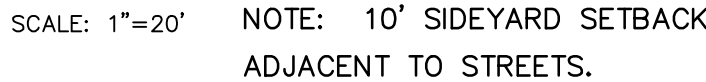
CHANNEL, CULVERT &
STREET IMPROVEMENTS
BY CITY PROJECT 650272

STORMCLOUD UNIT 4

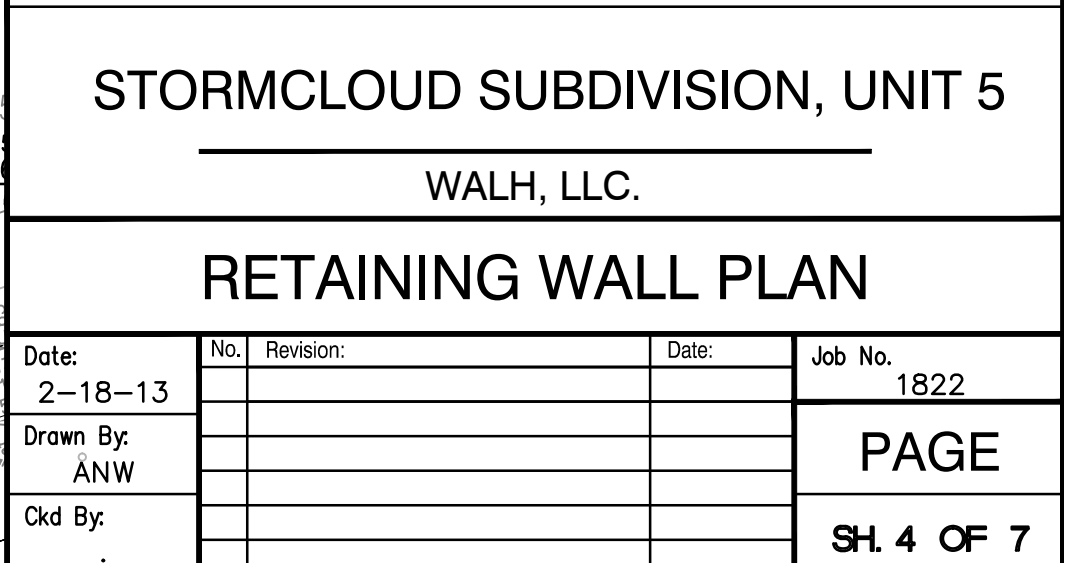
SEE SHEET 2

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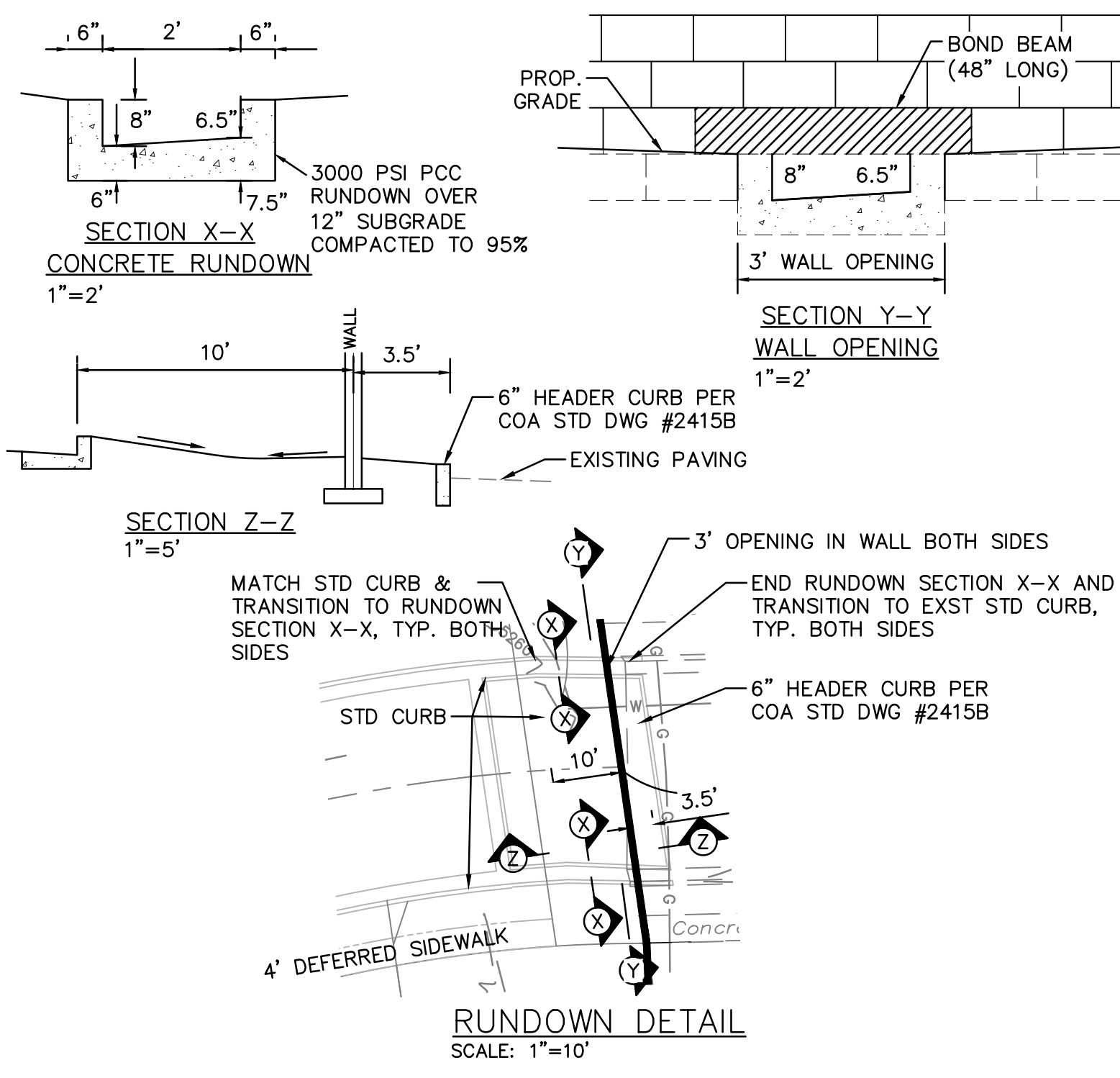


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- GENERAL WALL NOTES:
- RETAINING WALL DESIGN BY OTHERS.
 - ALL EXISTING RETAINING WALLS AND PERIMETER WALLS SHALL BE REMOVED, UNLESS OTHERWISE NOTED.
 - SEE SHEET 6 FOR RETAINING WALL SECTIONS.
 - SEE SHEET 7 FOR EXISTING WALLS TO BE DEMOLISHED AND EXISTING WALLS TO REMAIN.

- LEGEND
- EXISTING RETAINING WALL TO REMAIN
 - PROPOSED RETAINING WALL
 - PROPOSED GARDEN RETAINING WALL (MAX. 1.5' RETAINING)
 - TW= PROPOSED TOP/BOTTOM OF RETAINING WALL
 - BW= PROPOSED TOP/BOTTOM OF GARDEN RETAINING WALL
 - Δ=2.7' PROPOSED RETAINING WALL HEIGHT



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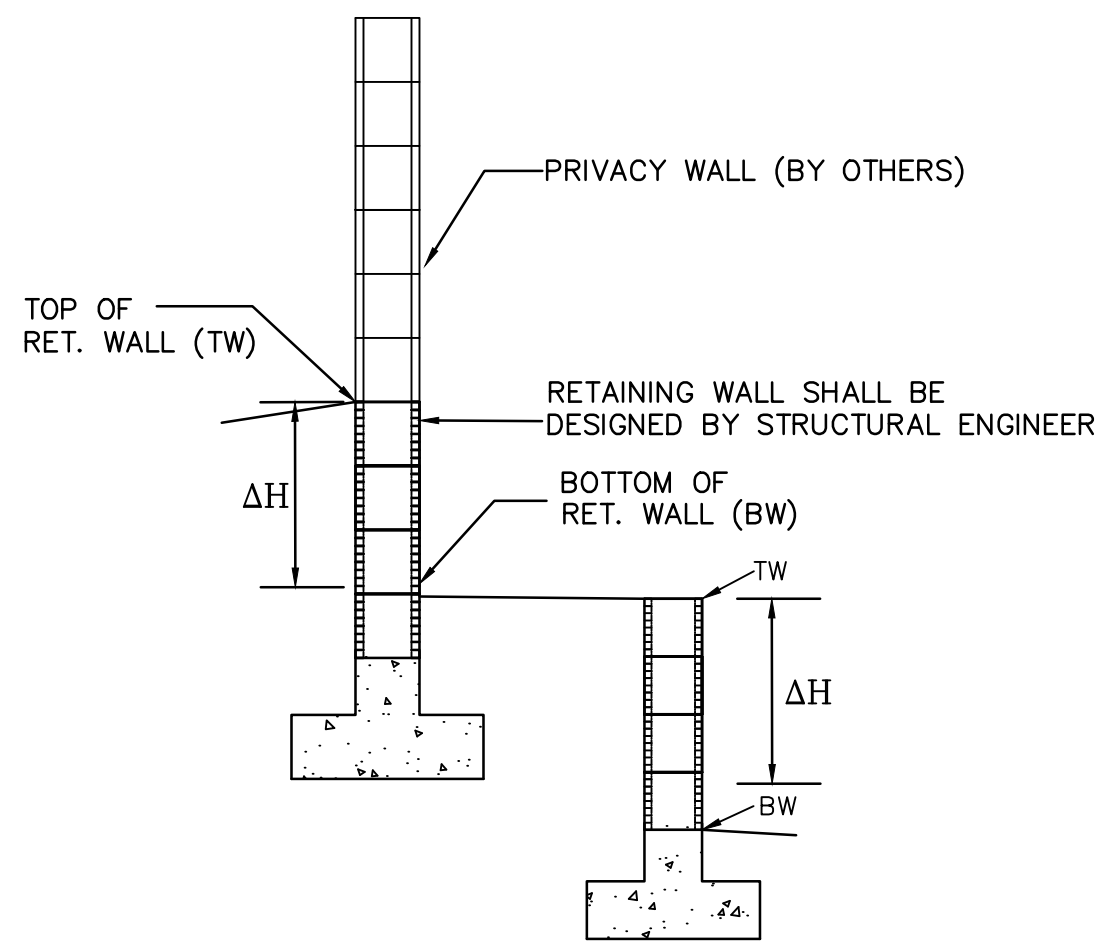
1822 CG-102.dwg Apr 07, 2015

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WALH, LLC.

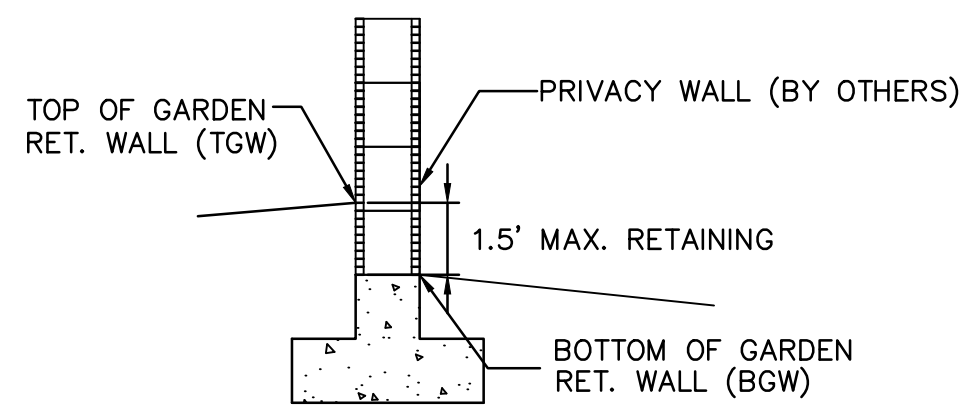
RETAINING WALL PLAN.

Date: 2-18-13	No. Revision:	Date:	Job No. 1822
Drawn By: ANW			PAGE
Ckd By:			5 OF 7

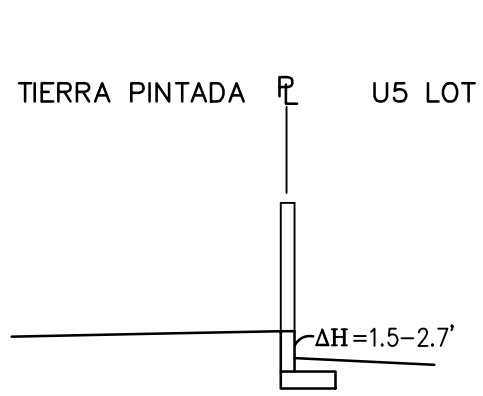


RETAINING WALL
SCALE: 1"=5'-0"

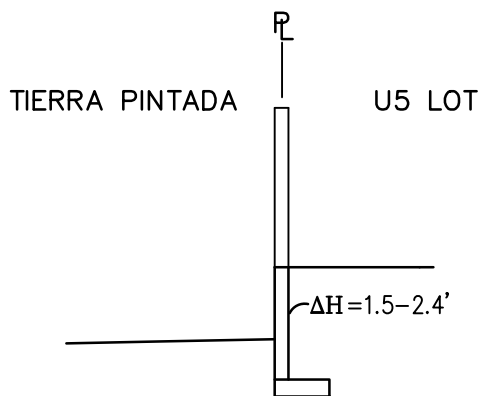
ΔH=RETAINING HEIGHT (SEE SECTIONS THIS SHEET)



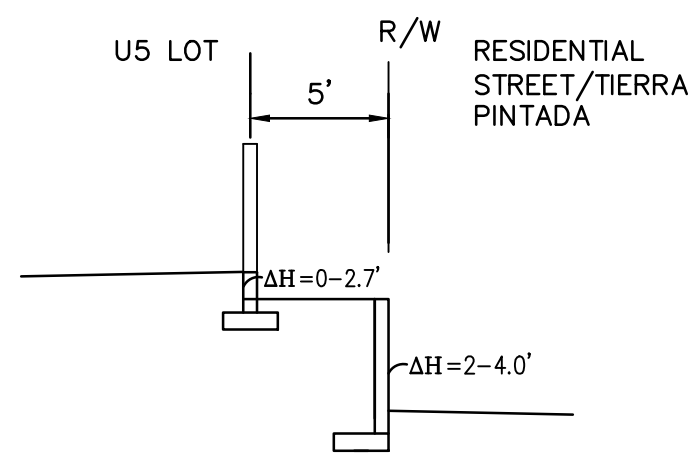
GARDEN WALL RETAINING WALL
SCALE: 1"=5'-0"



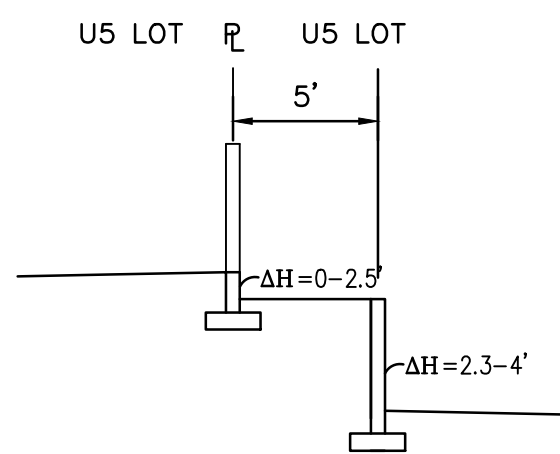
SECTION A-A
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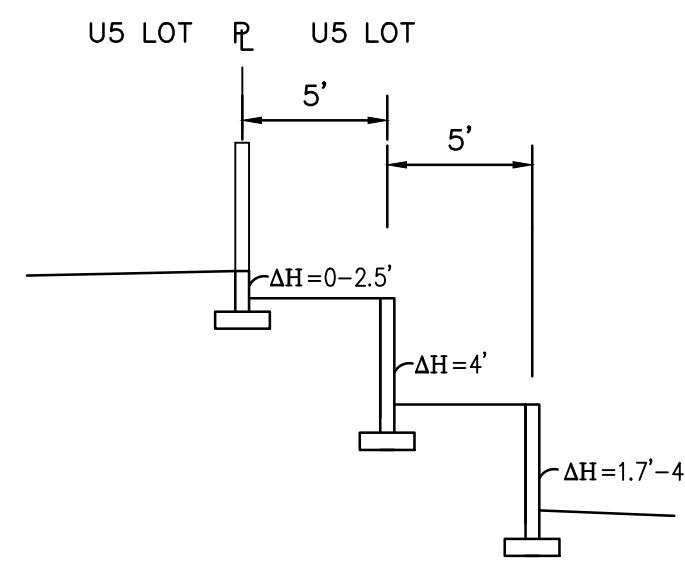
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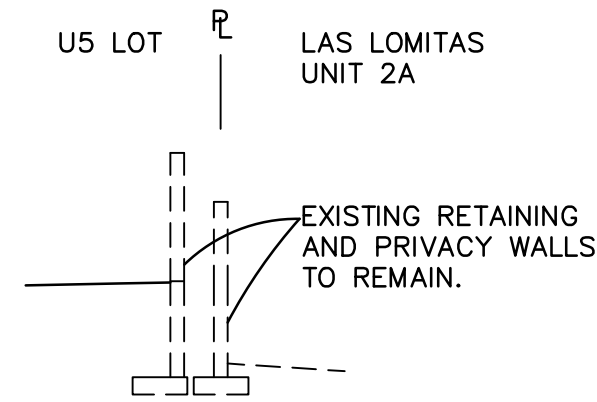
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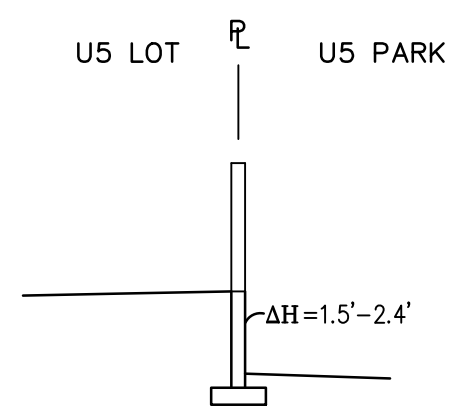
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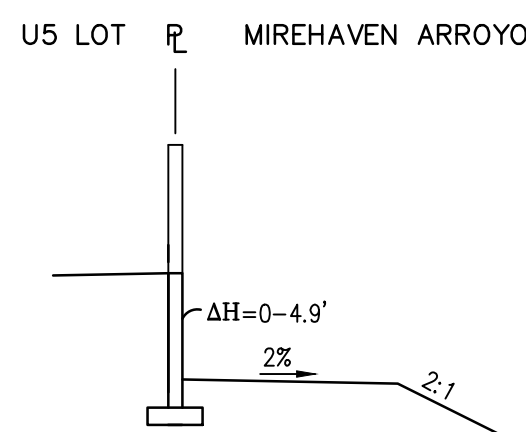
SECTION E-E
NTS



SECTION F-F
NTS

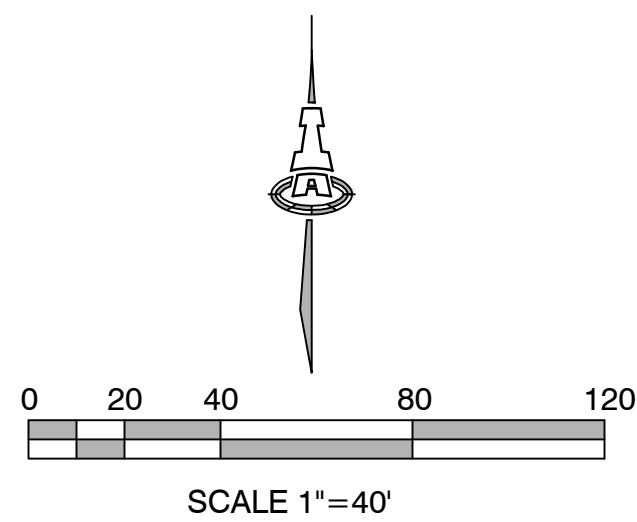


SECTION G-G
NTS



SECTION H-H
NTS

NOTE:
SEE SHEET 7 FOR EXISTING WALLS TO BE DEMOLISHED AND EXISTING WALLS TO REMAIN.



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STORMCLOUD SUBDIVISION, UNIT 5			
WALH, LLC.			
RETAINING WALL SECTIONS			
Date: 2-18-13	No. Revision:	Date:	Job No. 1822
Drawn By: ANW			PAGE
Ckd By:			SH. 6 OF 7

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WALL DEMOLITION NOTES

ALL WALLS SHALL BE DEMOLISHED EXCEPT AS NOTED ON PLAN.

DASHED LINES REPRESENT WALLS TO BE REMOVED. PATCH & REPAIR EXISTING ADJOINING WALLS TO REMAIN.

THE CONTRACTOR SHALL VERIFY ALL CONDITIONS WITHIN THE CONTRACT LIMITS AND NOTIFY THE ENGINEER IN WRITING OF ANY DEVIATION FROM CONTRACT DOCUMENTS NECESSITATED BY FIELD CONDITIONS OR ITEMS NOT COVERED.

ALL DEMOLITION SHALL BE PERFORMED IN A SAFE AND ACCEPTABLE MANNER TO ALL AUTHORITIES HAVING JURISDICTION AND THE OWNER.

THOROUGHLY CLEAN ADJACENT AREAS OF DEBRIS CAUSED BY DEMOLITION WORK.

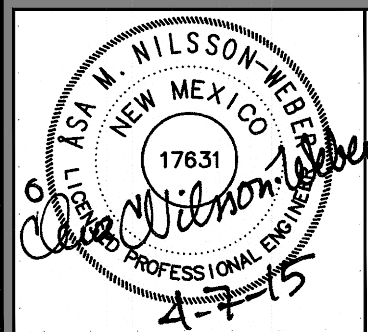
PRIOR TO ANY DEMOLITION, THE CONTRACTOR SHALL COORDINATE BRACING AND MAINTAIN THE STRUCTURAL INTEGRITY OF THE WALLS TO REMAIN.

THE CONTRACTOR SHALL PROVIDE ALL TEMPORARY BRACING, SHORING, SCAFFOLDING, ETC., WHICH ARE NECESSARY TO PREVENT COLLAPSE, SUBSIDENCE, DEFLECTION OR ANY OTHER TYPE OF DAMAGE.

CONTRACTOR SHALL REVIEW ALL WALLS TO BE DEMOLISHED WITH OWNER TO IDENTIFY ANY ITEMS TO BE SALVAGED AND DETERMINE SALVAGE LOCATION. UNSALVAGEABLE WALL BLOCKS AND FOOTINGS SHALL BE REMOVED FROM SITE AND LEGALLY DISPOSED.

LEGEND

- EXISTING WALL TO REMAIN
- EXISTING WALL TO BE DEMOLISHED



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WALH, LLC.

WALL DEMOLITION PLAN

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