

TIERRA PINTADA PHASE I
CITY PROJECT #650272

CHANNEL, CULVERT & STREET
IMPROVEMENTS BY OTHERS
(CITY PROJECT #650272)

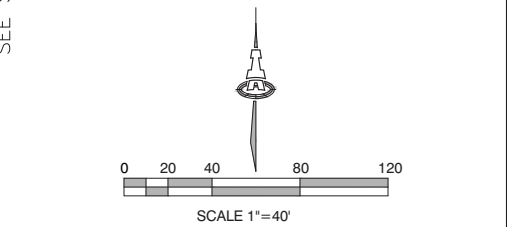
**PUTLE - STORMCLOUD UNITS 4A & 4B EROSION AND SEDIMENT CONTROL
PLAN**
OPERATOR - PULTE HOMES OF NEW MEXICO, INC
**SITE: TIERRA PINTADA BLVD NW & MONSOON RD NW, ALBUQUERQUE NM,
BERNALILLO COUNTY, LAT = 35.106654° LONG = -106.743734°**
TOTAL SITE ACRES = ~32.0 ACRES, DISTURBED AREA = 32.0 ACRES
**CONSTRUCTION TRAILER, CONCRETE WASHOUT, WASTE CONTAINERS AND
SANITARY TOILETS TO BE DETERMINED IN THE FIELD AND MARKED ON THE
MAP.**
**SEE ESC 102 FOR ADDITIONAL NOTES AND REQUIREMENTS. SITE MUST BE IN
COMPLIANCE WITH SWPPP. SEE SITE SWPPP FOR ADDITIONAL
INFORMATION.**



ESCP LEGEND

- DISTURBED / PERMITTED AREA
- PERIMETER BMP (SILTFENCE, FIBER ROLL, WINDFENCE)
- VTC
- DUMPSTER (TBD)
- SAN. TOILET (TBD)
- INLET PROTECTION
- FLOW DIRECTION
- CONCRETE WASHOUT AREA (TBD)
- SEDIMENT TRAP
- 50' BUFFER LEGEND

- 5270 EXISTING CONTOUR
- 52 PROPOSED CONTOUR
- 78.3 PROPOSED ELEVATION
- 78.9 PROPOSED ELEV. AT TIERRA PINTADA R/W
- PG=5272.1 PAD GRADE ELEVATION
- STANDARD (STD) CURB & GUTTER
- MOUNTABLE (MTBL) CURB & GUTTER
- STORM DRAIN W/ MANHOLE
- STORM DRAIN INLET
- PROPOSED RETAINING WALL (DESIGN BY OTHERS)
- RECOMMENDED DRIVEWAY LOCATION



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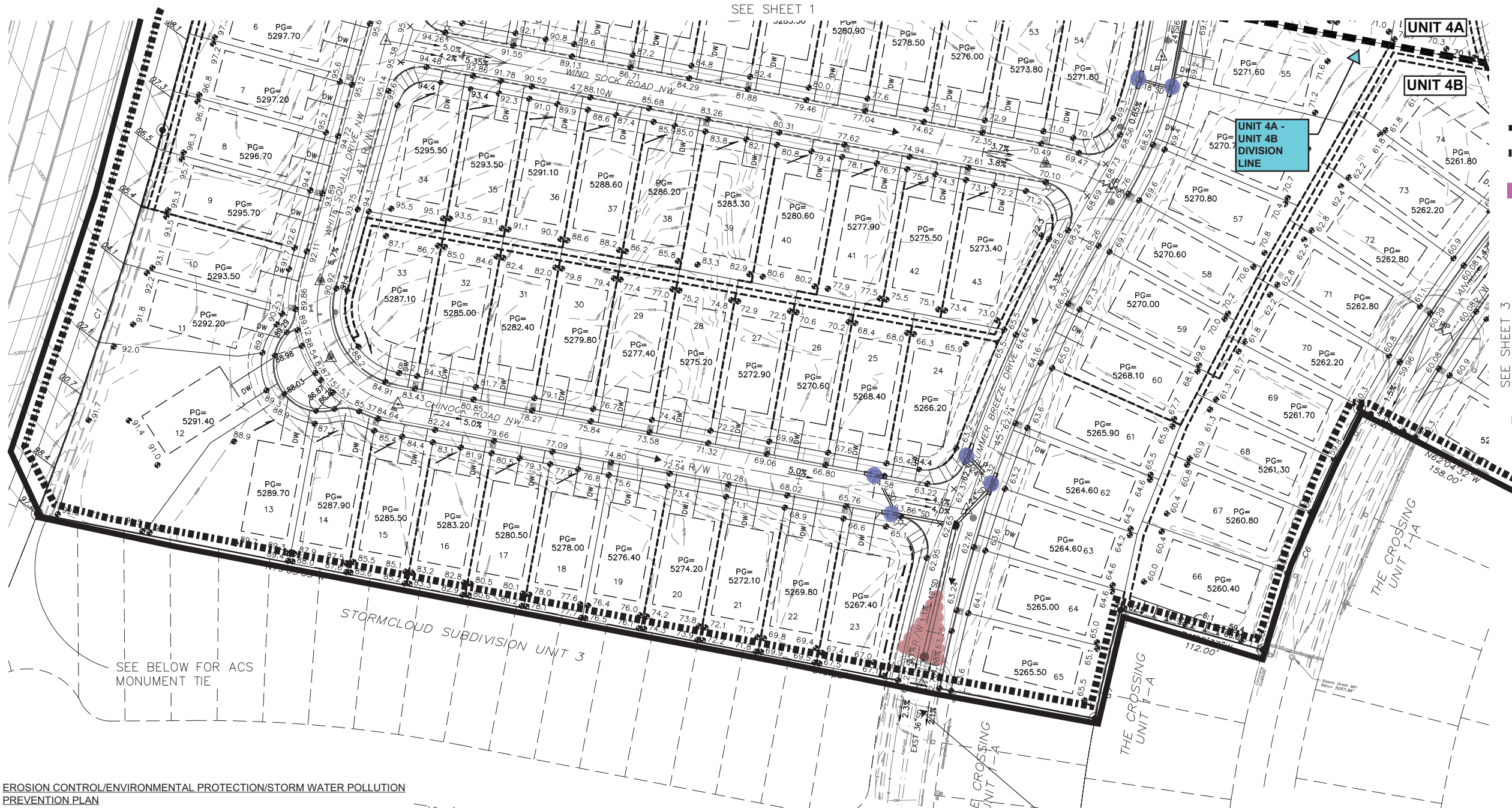
**STORMCLOUD SUBDIVISION
UNITS 4A & 4B**
PULTE HOMES
EROSION AND SEDIMENT CONTROL PLAN

PREP. BY - D. TULL 9-22-16
505-301-0059
8505 PASEO ALAMEDA NE
ABQ, NM 87113
**ESC 101
1 of 6**

SEE SHEET 2

SEE SHEET 3

SEE SHEET 1



ESCP LEGEND

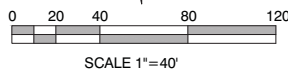
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- INLET PROTECTION
- FLOW DIRECTION
- CONCRETE WASHOUT AREA (TBD)
- SEDIMENT TRAP
- 50' BUFFER

NOTES:

- STREET GRADES ARE AT FLOWLINE.
- SEE SHEETS 5-8 FOR RETAINING WALL GRADES AND SECTIONS.
- SEE SHEET 9 FOR EXISTING WALLS TO BE DEMOLISHED AND EXISTING WALLS TO REMAIN

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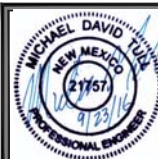
EROSION CONTROL/ENVIRONMENTAL PROTECTION/STORM WATER POLLUTION PREVENTION PLAN

WATER AND WASTEWATER GENERAL NOTES

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FULFILLING ALL NECESSARY NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) REQUIREMENTS INCLUDING, BUT NOT LIMITED TO, OBTAINING AN NPDES PERMIT PRIOR TO CONSTRUCTION, FILLING OUT THE NOTICE OF INTENT (NOI) APPLICATION, AND FILLING OUT THE NOTICE OF TERMINATION (NOT) APPLICATION. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR THE IMPLEMENTATION OF AND INSPECTION REPORTS FOR THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP). THE CONTRACTOR SHALL SUBMIT THE SWPPP WITH THE PROPOSED CONSTRUCTION STAGING AREA AND TEMPORARY SANITARY FACILITIES CLEARLY SHOWN. ANY CHECK DAMS, SILT FENCES, OR OTHER BEST MANAGEMENT PRACTICES (BMPs) THAT ARE REQUIRED IN THE APPROVED SWPPP SHALL BE INCLUDED IN AND ARE INCIDENTAL TO THE SWPPP BID AMOUNT.
2. THE CONTRACTOR SHALL MAINTAIN A COPY OF THE APPROVED SWPPP ON-SITE AT ALL TIMES, AND SHALL COMPLY WITH THE REQUIREMENTS INDICATED ON THAT PLAN.
3. THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE AND FEDERAL DUST AND EROSION CONTROL REGULATIONS. THE CONTRACTOR SHALL PREPARE AND OBTAIN ANY NECESSARY DUST OR EROSION CONTROL PERMITS FROM THE REGULATORY AGENCIES.
4. THE CONTRACTOR SHALL EITHER PROMPTLY REMOVE ANY MATERIAL EXCAVATED WITHIN THE PUBLIC RIGHT-OF-WAY OR INSTALL BMPs IDENTIFIED IN THE APPROVED SWPPP TO PREVENT DISCHARGE OF EXCAVATED MATERIAL WITHIN THE PUBLIC RIGHT-OF-WAY DURING A RAIN OR WIND EVENT.
5. THE CONTRACTOR SHALL IMPLEMENT THE APPROVED SWPPP AND ENSURE THAT NO SOIL ERODES FROM THE SITE INTO PUBLIC RIGHT-OF-WAY OR ONTO PRIVATE PROPERTY.
6. THE CONTRACTOR SHALL MITIGATE EROSION OF TEMPORARY OR PERMANENT DIRT SWALES BY INSTALLING BMPs IDENTIFIED IN THE APPROVED SWPPP IN THE SWALES PERPENDICULAR TO THE DIRECTION OF FLOW, AND AT INTERVALS AS SPECIFIED IN THE SWPPP.
7. CONSTRUCTION AREAS SHALL BE WATERED FOR DUST CONTROL IN COMPLIANCE WITH GOVERNMENT ORDINANCES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND SUPPLYING WATER AS REQUIRED. WATERING, AS REQUIRED FOR CONSTRUCTION AND DUST CONTROL, SHALL BE CONSIDERED INCIDENTAL TO CONSTRUCTION AND NO MEASUREMENT OR PAYMENT SHALL BE MADE THEREFOR.

8. ANY AREAS DISTURBED BY CONSTRUCTION AND NOT COVERED BY LANDSCAPING OR AN IMPERVIOUS SURFACE SHALL BE REVEGETATED WITH NATIVE GRASS SEEDING. WHEN CONSTRUCTION ACTIVITIES CEASE AND EARTH DISTURBING ACTIVITIES WILL NOT RESUME WITHIN 14 DAYS, STABILIZATION MEASURES MUST BE INITIATED. UNLESS INDICATED OTHERWISE ON THESE PLANS OR ON THE LANDSCAPING PLAN, NATIVE GRASS SEEDING SHALL BE SEEDING PER SECTION 1012 OF THE NEW MEXICO STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, APWA NM CHARTER, LATEST EDITION.
9. ALL WASTE PRODUCTS FROM THE CONSTRUCTION SITE, INCLUDING ITEMS DESIGNATED FOR REMOVAL, CONSTRUCTION WASTE, CONSTRUCTION EQUIPMENT WASTE PRODUCTS (OIL, GAS, TIRES, ETC.) GARBAGE, GRUBBING, EXCESS CUT MATERIAL, VEGETATIVE DEBRIS, ETC. SHALL BE APPROPRIATELY DISPOSED OF OFF-SITE AT NO ADDITIONAL COST TO THE OWNER. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN PERMITS REQUIRED TO HAUL OR DISPOSE OF WASTE PRODUCTS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT THE WASTE DISPOSAL SITE COMPLIES WITH GOVERNMENT REGULATIONS REGARDING THE ENVIRONMENT, ENDANGERED SPECIES, AND ARCHAEOLOGICAL RESOURCES.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CLEANUP AND REPORTING OF SPILLS OF HAZARDOUS MATERIALS ASSOCIATED WITH THE CONSTRUCTION SITE. HAZARDOUS MATERIALS INCLUDE GASOLINE, DIESEL FUEL, MOTOR OIL, SOLVENTS, CHEMICALS, PAINTS, ETC. WHICH MAY BE A THREAT TO THE ENVIRONMENT. THE CONTRACTOR SHALL REPORT THE DISCOVERY OF PAST OR PRESENT SPILLS TO THE NEW MEXICO ENVIRONMENT DEPARTMENT EMERGENCY RESPONSE TEAM AT 505-827-9329.
11. THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE REGULATIONS CONCERNING SURFACE AND UNDERGROUND WATER. CONTACT WITH SURFACE WATER BY CONSTRUCTION EQUIPMENT AND PERSONNEL SHALL BE MINIMIZED. EQUIPMENT MAINTENANCE AND REFUELING OPERATIONS SHALL BE PERFORMED IN AN ENVIRONMENTALLY SAFE MANNER IN COMPLIANCE WITH GOVERNMENT REGULATIONS.
12. THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE REGULATIONS CONCERNING CONSTRUCTION NOISE AND HOURS OF OPERATION.
13. WHERE STORM INLETS ARE SUSCEPTIBLE TO INFLOW OF SILT OR DEBRIS FROM CONSTRUCTION ACTIVITIES, PROTECTION SHALL BE PROVIDED ON THEIR UPSTREAM SIDE UTILIZING BMPs IDENTIFIED IN THE APPROVED SWPPP.

DISCHARGE POINT (STORM DRAIN OUTFALL) #2 - LOCATED ~1/4 MILE TO THE SOUTHEAST AT AMAFCA LADERA DRAIN (EAST OF SUMMER BREEZE & ARKANSAS RD INTERSECTION)



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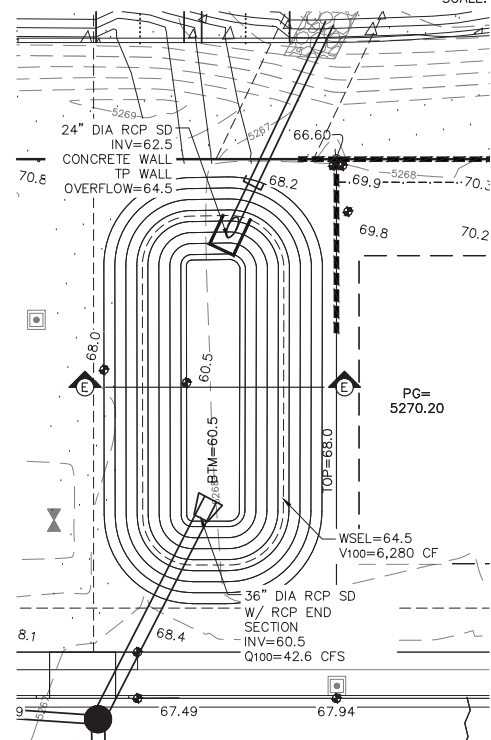
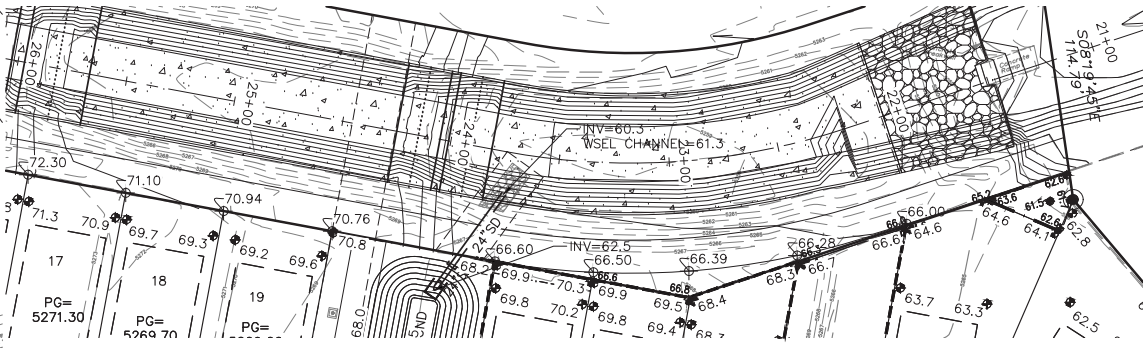
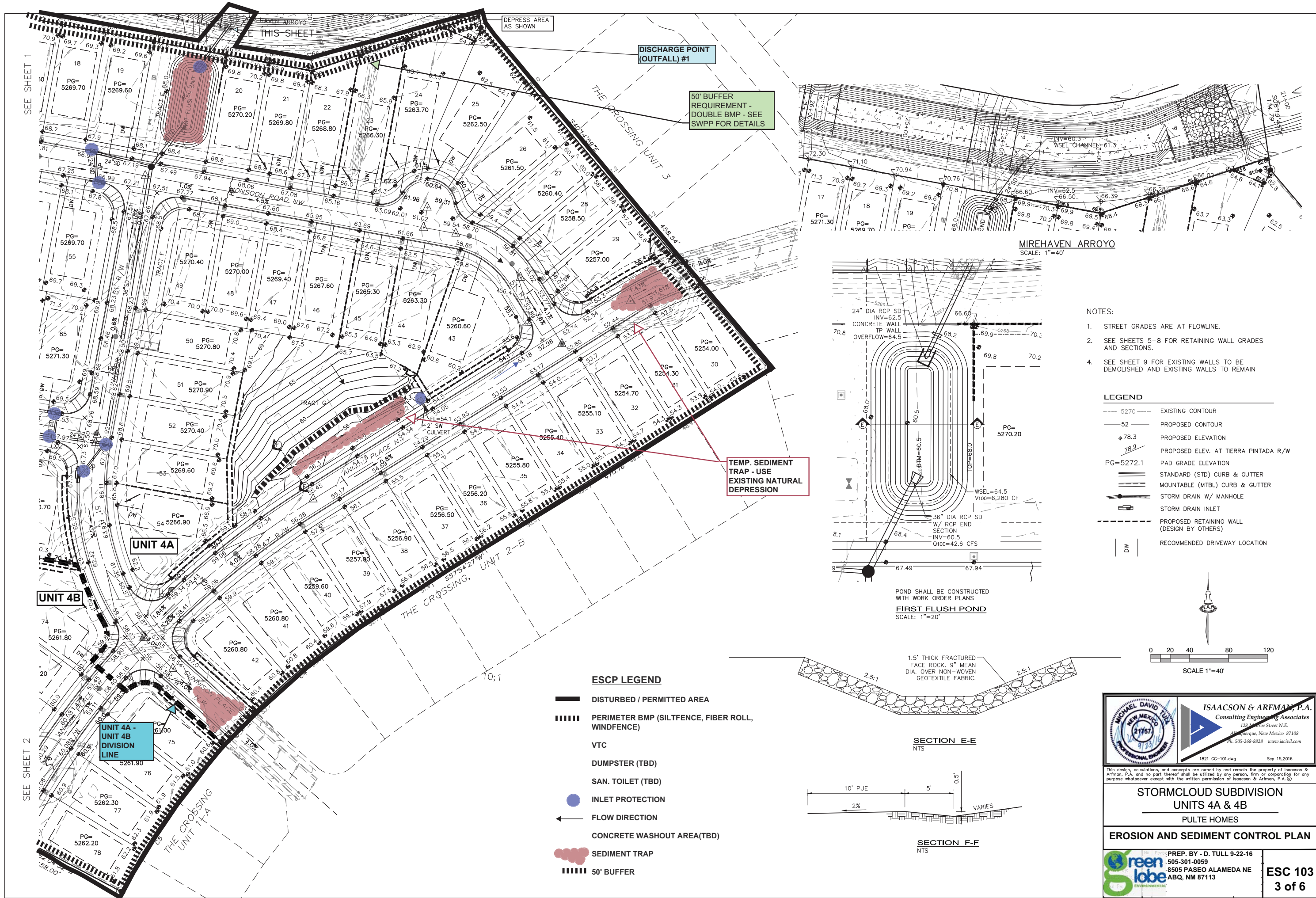
STORMCLOUD SUBDIVISION UNITS 4A & 4B PULTE HOMES

EROSION AND SEDIMENT CONTROL PLAN

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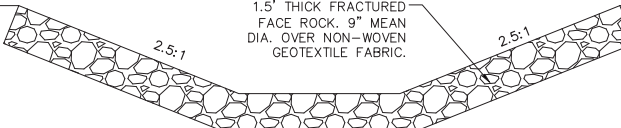
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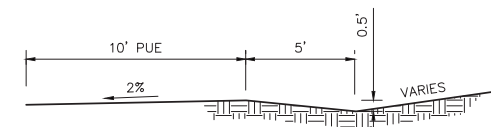
- NOTES:
1. STREET GRADES ARE AT FLOWLINE.
 2. SEE SHEETS 5-8 FOR RETAINING WALL GRADES AND SECTIONS.
 3. SEE SHEET 9 FOR EXISTING WALLS TO BE DEMOLISHED AND EXISTING WALLS TO REMAIN.

LEGEND	
---	EXISTING CONTOUR
---	PROPOSED CONTOUR
+	PROPOSED ELEVATION
+	PROPOSED ELEV. AT TIERRA PINTADA R/W
PG=5272.1	PAD GRADE ELEVATION
---	STANDARD (STD) CURB & GUTTER
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---	STORM DRAIN W/ MANHOLE
---	STORM DRAIN INLET
---	PROPOSED RETAINING WALL (DESIGN BY OTHERS)
DW	RECOMMENDED DRIVEWAY LOCATION

- ESCP LEGEND**
- DISTURBED / PERMITTED AREA
 - PERIMETER BMP (SILTFENCE, FIBER ROLL, WINDFENCE)
 - VTC
 - DUMPSTER (TBD)
 - SAN. TOILET (TBD)
 - INLET PROTECTION
 - FLOW DIRECTION
 - CONCRETE WASHOUT AREA(TBD)
 - SEDIMENT TRAP
 - 50' BUFFER



SECTION E-E
NTS



SECTION F-F
NTS

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1821 CG-101.dwg Sep 15, 2016

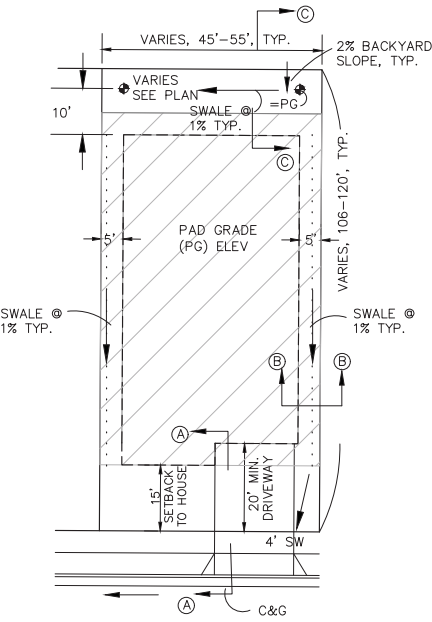
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UNITS 4A & 4B
PULTE HOMES

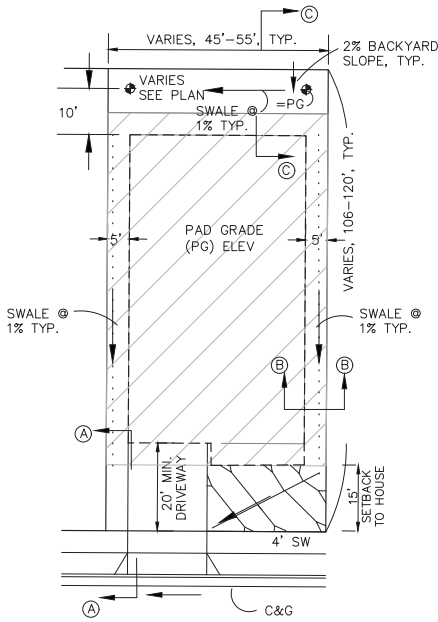
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TYPICAL LOT GRADING DETAIL
SCALE: 1"=20' NOTE: 10' SIDEYARD SETBACK
ADJACENT TO STREETS.

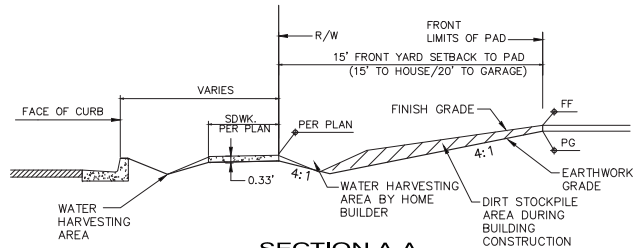


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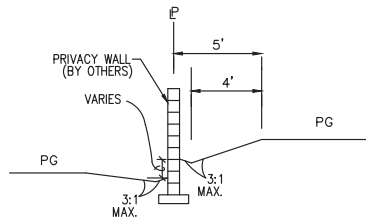
DRIVEWAY NOTE:

RECOMMENDED DRIVEWAY LOCATIONS ARE SHOWN ON PLANS WHERE STEEP STREET SLOPES OCCUR TO MINIMIZE DRIVEWAY SLOPES AND TO MINIMIZE RETAINING WALL HEIGHTS. WHERE DRIVEWAYS ARE SHOWN ON LOW SIDE, DRIVEWAYS SHALL BE CONSTRUCTED IN THIS LOCATION TO ENSURE A MIN. 1% SIDEYARD SWALE SLOPE.

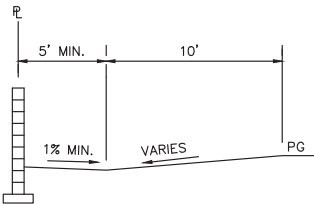
DRIVEWAYS SHALL NOT INTERFERE WITH IMPROVEMENTS SHOWN ON PUBLIC PLANS, SUCH AS STORM DRAIN INLETS AND ADA RAMPS.



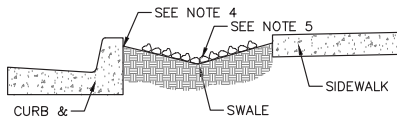
SECTION A-A
FRONT YARD GRADING
SCALE: 1"=5'-0"



SECTION B-B
TYPICAL SIDEYARD GRADING
SCALE: 1"=5'



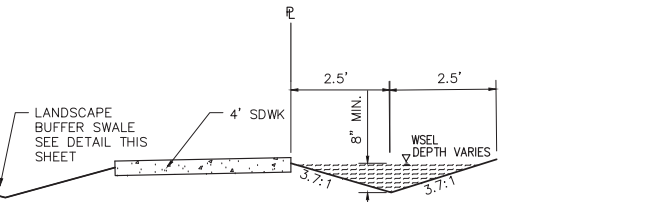
SECTION C-C
TYPICAL BACKYARD GRADING
SCALE: 1"=5'



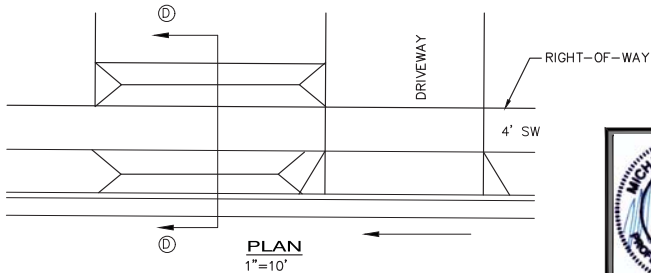
- SWALE TO BE 6" DEEP WHEN THE DISTANCE BETWEEN BACK OF CURB AND THE SIDE WALK IS 5 FEET.
- SWALE TO BE 1" DEEPER THAN THE DISTANCE IN FEET BETWEEN THE BACK OF CURB AND THE SIDEWALK FOR LANDSCAPE BUFFERS DIFFERENT THAN 5 FEET WIDE.
- FOR WIDE LANDSCAPE BUFFERS, GREATER THAN 10 FEET, THE MAXIMUM DEPTH IS 10".
- FINAL GRADE OF DIRT TO BE 1" TO 2" BELOW TOP OF CURB AND TOP OF SIDEWALK GRADE.
- SURFACE BETWEEN BACK OF CURB AND SIDEWALK TO BE COVERED WITH GRAVEL MULCH (MINIMUM 3/4"), COBBLES OR RIP-RAP. DO NOT FILL ENTIRE SWALE.
- A CHECK DAM WILL BE REQUIRED FOR SWALES ON STEEPER LONGITUDINAL SLOPES AND LONGER SECTIONS. THE ENGINEER WILL DETERMINE LOCATION.
- LANDSCAPE FABRIC IS RECOMMENDED, BUT NOT REQUIRED, BETWEEN THE DIRT AND THE STONE. IF LANDSCAPE FABRIC IS TO BE USED, IT IS TO BE PERMEABLE.
- DETAIL IS TO BE BUILT FOR ALL NEW CONSTRUCTION. IN THE CASE WHERE SIDEWALK IS EXISTING AND THE LANDSCAPE BUFFER IS IMPROVED WITH LANDSCAPING AND/OR SOME FORM OF EROSION PROTECTION, THIS REQUIREMENT DOES NOT APPLY.

LANDSCAPE BUFFER SWALE

REVISION TO CITY STANDARD DRAWINGS
2405A & 2405B



FIRST FLUSH BASIN
SECTION D-D
1"=2'



FIRST FLUSH BASIN DETAILS

FIRST FLUSH BASIN AREAS SHALL BE GRADED TO CAPTURE "FIRST FLUSH" WATER. GRADING SHALL TRANSITION TO ENSURE WATER METERS, LIGHT POLE BASES AND INLET BOXES ARE NOT LOCATED IN THE WATER HARVESTING AREAS. FIRST FLUSH BASINS ADJACENT TO LOTS WITH DEFERRED SIDEWALKS SHALL BE CONSTRUCTED BY HOME BUILDER AND ARE NOT PART OF GRADING CERTIFICATION. THE FRONT YARD GRADING DETAIL ON THIS SHEET SHOWS INTERIM GRADING THAT WILL CREATE TEMPORARY FIRST FLUSH BASINS UNTIL HOMES ARE CONSTRUCTED.

GENERAL NOTES

- ALL WORK DETAILED ON THESE PLANS AND PERFORMED UNDER THIS CONTRACT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT GEOTECHNICAL REPORT. WHERE APPLICABLE AND CITY OF ALBUQUERQUE SPECIFICATIONS APPLY.
- THE CONTRACTOR SHALL ABIDE BY ALL STATE, LOCAL, AND FEDERAL LAWS, CODES, RULES AND REGULATIONS WHICH APPLY TO THE CONSTRUCTION OF THESE IMPROVEMENTS, INCLUDING EPA AND ADA REQUIREMENTS.
- ALL SUBGRADE, OVEREXCAVATION, BACKFILL, AND FILL SHALL BE PLACED AND / OR COMPACTED PER THE GEOTECHNICAL REPORT AND CITY OF ALBUQUERQUE SPECIFICATIONS.
- THE CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS FOR THE PROJECT PRIOR TO COMMENCING CONSTRUCTION, OR PRIOR TO OCCUPANCY, AS APPROPRIATE. IF PERMITS ARE DELAYED OR ISSUED WITH CONDITIONS, THE CONTRACTOR SHALL NOTIFY THE OWNER AND ARCHITECT IMMEDIATELY.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY HORIZONTAL AND VERTICAL LOCATIONS OF ALL EXISTING OBSTRUCTIONS, AND CONDITION OF ALL EXISTING INFRASTRUCTURE PRIOR TO CONSTRUCTION. REPORT ALL DISCREPANCIES TO THE ARCHITECT / ENGINEER AND VERIFY THE ARCHITECT / ENGINEER'S INTENT BEFORE PROCEEDING.
- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR SITE SAFETY.
- THE CONTRACTOR SHALL MAINTAIN RECORD DRAWINGS ON SITE AT ALL TIMES. THE CONTRACTOR SHALL NOT SCALE DRAWINGS. ONLY WRITTEN DIMENSIONS OR KEYED NOTES SHALL BE USED.
- CONTRACTOR SHALL OBTAIN ALL REQUIRED INSPECTIONS OF THE WORK. CONTRACTOR SHALL REGULARLY UPDATE OWNER AND ARCHITECT REGARDING THE STATUS OF THE INSPECTIONS.
- CONSTRUCTION ACTIVITY SHALL BE LIMITED TO THE PROPERTY AND/OR PROJECT LIMITS. ANY DAMAGE TO ADJACENT STRUCTURES RESULTING FROM THE CONSTRUCTION PROCESS SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE. CONTRACTOR SHALL BE RESPONSIBLE FOR DOCUMENTING EXISTING CONDITIONS PRIOR TO CONSTRUCTION.
- CONSTRUCTION EQUIPMENT SHALL NOT OBSTRUCT DRIVEWAYS. EQUIPMENT SHALL ONLY OBSTRUCT DESIGNATED TRAFFIC LANES IF APPROPRIATE BARRICADING PERMITS HAVE BEEN OBTAINED. THE CONTRACTOR SHALL NOT STORE ANY EQUIPMENT OR MATERIAL IN THE RIGHT-OF-WAY.
- THE CONTRACTOR SHALL PROVIDE A CONSTRUCTION TRAFFIC CONTROL AND SIGNING PLAN THAT CONFORMS TO THE LATEST EDITION OF THE "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD) AND LOCAL REQUIREMENTS. THE CONTRACTOR SHALL OBTAIN BARRICADING PERMITS FROM THE APPROPRIATE AUTHORITIES PRIOR TO ANY CONSTRUCTION WORK ON OR ADJACENT TO EXISTING STREETS.
- THE CONTRACTOR SHALL MAINTAIN ALL BARRICADING AND CONSTRUCTION SIGNING AT ALL TIMES. THE CONTRACTOR SHALL VERIFY THE PROPER LOCATION OF ALL BARRICADING AT THE END AND BEGINNING OF EACH DAY.
- ALL TRASH, DEBRIS, & SURFACE VEGETATION SHALL BE CLEARED AND LEGALLY DISPOSED OF OFFSITE.
- PROPOSED SPOT AND CONTOUR ELEVATIONS SHOWN REPRESENT TOP OF FINISH MATERIAL (I.E. TOP OF CONCRETE, TOP OF CONCRETE BUILDING PAD, TOP OF PAVEMENT MATERIAL, TOP OF LANDSCAPING MATERIAL, ETC.). CONTRACTOR SHALL GRADE, COMPACT SUBGRADE AND DETERMINE EARTHWORK ESTIMATES BASED ON ELEVATIONS SHOWN MATERIAL THICKNESSES.
- IF FIELD ADJUSTMENTS ARE REQUIRED, THE CONTRACTOR SHALL NOTIFY THE ENGINEER.
- EXISTING UTILITIES ARE SHOWN IN AN APPROXIMATE MANNER. SUCH LINES MAY OR MAY NOT EXIST WHERE SHOWN OR NOT SHOWN. CONTRACTOR SHALL CONTACT NM-811 FOR UTILITY LINE SPOTS TWO WORKING DAYS PRIOR TO CONDUCTING SITE FIELD WORK. CONTRACTOR SHALL FIELD VERIFY AND LOCATE ALL UTILITIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF NECESSARY DRY UTILITY ADJUSTMENTS.
- SOIL TESTING AND INSPECTION SERVICES DURING EARTHWORK OPERATIONS ARE REQUIRED. CONTRACTOR SHALL ALLOW TESTING LABS TO INSPECT AND APPROVE COMPACTED SUBGRADES, BACKFILL, AND FILL LAYERS BEFORE FURTHER CONSTRUCTION WORK IS DONE. SHOULD COMPACTION TESTS INDICATE INADEQUATE DENSITY, CONTRACTOR SHALL PROVIDE ADDITIONAL COMPACTION AND TESTING AT THE CONTRACTOR'S SOLE EXPENSE.
- CONTRACTOR SHALL PROVIDE ALL OTHER CONSTRUCTION STAKING. CONTRACTOR SHALL LOCATE AND PRESERVE ALL BOUNDARY CORNERS AND REPLACE ANY LOST OR DISTURBED CORNERS AT CONTRACTOR'S SOLE EXPENSE. PROPERTY CORNERS SHALL ONLY BE RESET BY A REGISTERED LAND SURVEYOR.
- THE ENVIRONMENTAL PROTECTION AGENCY (EPA) AND THE CITY OF ALBUQUERQUE REQUIRE A STORM WATER POLLUTION PREVENTION PLAN (SWPPP), AN NPDES PERMIT, AND AN EROSION AND SEDIMENT CONTROL (ESC) PERMIT FOR PROJECTS WHERE CONSTRUCTION ACTIVITIES MEET THE EPA THRESHOLD. (SWPPP, NPDES PERMIT, AND ESC PLAN BY OTHERS.) A CITY-APPROVED ESC PERMIT MUST BE INCLUDED WITH THE CONTRACTOR'S SUBMITTAL FOR A ROUGH GRADING, GRADING, PAVING, BUILDING, OR WORK ORDER PERMIT.
- A CURRENT STORMWATER CONTROL PERMIT, INCLUDING AN EROSION SEDIMENT CONTROL PLAN (E.S.C.) FOR EROSION AND SEDIMENT CONTROL IS REQUIRED FOR ALL CONSTRUCTION, DEMOLITION CLEARING, AND GRADING OPERATIONS THAT DISTURB THE SOIL ON ONE ACRE OR MORE OF LAND. OWNER WILL COORDINATE.
- POST-CONSTRUCTION MAINTENANCE FOR PRIVATE STORMWATER FACILITIES WILL BE THE RESPONSIBILITY OF THE FACILITIES OWNER. PERIODIC INSPECTION AND CERTIFICATIONS OF THE FACILITIES MAY BE REQUIRED BY THE CITY ENGINEER.


- STORMWATER CONTROL MEASURES SHOWN ON THIS PLAN ARE REQUIRED TO PROVIDE MANAGEMENT OF "FIRST FLUSH" (DEFINED AS THE 90TH PERCENTILE STORM EVENT. PER THE CITY DRAINAGE ORDINANCE, THE 90TH PERCENTILE STORM EVENT, WHICH IS 44 INCHES, IS TO BE MANAGED. REDUCE 0.44 INCH BY THE 0.1 INCH FOR THE INITIAL IMPERVIOUS ABSTRACTION IN TABLE A-6 OF SECTION 22 OF THE DPM. MULTIPLY THE REMAINING 0.34 INCH BY YOUR IMPERVIOUS AREA. THIS IS THE PORTION TO RETAIN.
- ADJUST ANY RIMS OF EXISTING UTILITY FEATURES AS NECESSARY TO MATCH NEW GRADES.
- BUILDING PAD ELEVATION SHALL BE $\pm 0.05'$ FROM PLAN ELEVATION.
- WHERE GRADES BETWEEN NEW AND EXISTING ARE SHOWN AS "MATCH" OR "±", TRANSITIONS SHALL BE SMOOTH.
- SIDESLOPES STEEPER THAN 3:1 BUT LESS THAN 2:1 MUST HAVE PERMANENT EROSION CONTROL (F.F. ROCK) INSTALLED, TYPICAL. NO SLOPE SHALL BE STEEPER THAN 2:1.
- CONTRACTOR SHALL COMPLY WITH LOCAL REGULATIONS FOR RESEEDING OF DISTURBED AREAS.
- POND DESIGN PARAMETERS (TOP OF POND, BOTTOM OF POND, SIZE OF ORIFICE, AREA OF POND, ETC.) TO BE STRICTLY ADHERED TO FOR CERTIFICATION PURPOSES. SEE DETAIL SHEET FOR ADDITIONAL INFORMATION.
- ENGINEER RECOMMENDS THAT OWNER MAINTAIN EROSION PROTECTION ELEMENTS. ENGINEER RECOMMENDS THAT OWNER INSPECT SITE YEARLY AND AFTER EACH RAINFALL TO IDENTIFY NEW AREAS OF EROSION AND INSTALL ADDITIONAL EROSION PROTECTION AS NEEDED BASED ON ACTUAL OCCURRENCES.
- GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.
- MEASURES REQUIRED FOR EROSION AND SEDIMENT CONTROL SHALL BE INCIDENTAL TO THE PROJECT COST.
- ALL SITE PREPARATION, GRADING OPERATIONS, FOUNDATION CONSTRUCTION, AND PAVEMENT INSTALLATION WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE GEOTECHNICAL REPORT, WHICH WILL BE PROVIDED BY THE OWNER OR ARCHITECT. ALL OTHER WORK SHALL, UNLESS OTHERWISE NOTED IN THE PLANS, BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT SPECIFICATION (FIRST PRIORITY), AND/OR NMDOT STANDARD SPECIFICATIONS FOR PUBLIC WORK (SECOND PRIORITY.)
- FIVE WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM (811) FOR LOCATION OF EXISTING UTILITIES.
- ALL SUBGRADE, OVEREXCAVATION, AND FILL SHALL BE PLACED AND / OR COMPACTED PER THE GEOTECHNICAL REPORT.



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STORMCLOUD SUBDIVISION
UNITS 4A & 4B
PULTE HOMES

EROSION AND SEDIMENT CONTROL PLAN

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