

# CITY OF ALBUQUERQUE



October 16, 2018

Asa Nilsson-Weber, P.E.  
Isaacson & Arfman, PA  
128 Monroe St NE  
Albuquerque, NM 87108

**Re: Stormcloud Lots 44-53, 56-57, 59, 62-63, 65, 67, 70-74, 76-78  
Request for Engineer Pad Certification – Accepted  
Engineer's Stamp dated: 1-22-18 (H09D022A)  
Certification dated: 10-15-18**

Dear Ms. Nilsson-Weber,

Based upon the information provided in your submittal received 10/15/2018, the above referenced Certification is acceptable for building permit.

If you have any questions, you can contact me at 924-3995 or Totten Elliott at 924-3982.

PO Box 1293

Sincerely,

Albuquerque

*Renée Brissette*

NM 87103

Renée C. Brissette, P.E. CFM  
Senior Engineer, Hydrology  
Planning Department

[www.cabq.gov](http://www.cabq.gov)

TE/RB  
C: email



BOUNDARY CURVE TABLE						
CURVE	LENGTH	RADIUS	TANGENT	CHORD	CHORD BEARING	DELTA
C5	208.45'	762.00'	104.88'	207.80'	S35°45'41"W	15°40'25"
C6	197.52'	920.00'	99.14'	197.14'	S21°46'26"W	12°18'05"
C7	84.44'	1032.00'	42.24'	84.41'	S13°16'45"W	4°41'16"

DRAINAGE CERTIFICATION FOR LOTS 44-53, 56-57, 59, 62-63, 65, 67, 70-74 & 76-78

I, Asa Nilsson-Weber, NMPE 17631 of the firm Isaacson & Arfman, P.A., hereby certify that the referenced lots have been graded and will drain in substantial compliance with and in accordance with the design intent of the approved Grading & Drainage Plan dated January 22, 2018, and retaining walls have been constructed in substantial compliance with and in accordance with the design intent of the grades shown on the approved Retaining Wall Plan dated January 22, 2018, except as noted below.

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Additional grading for each lot shall be required after home construction and prior to issuance of Permanent Certificate of Occupancy to re-establish the individual lot surface drainage patterns.

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the grading and drainage aspects of this project. Those relying on this record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

Asa Nilsson-Weber 10-15-18

Asa Nilsson-Weber, NMPE 17631 Date



REVISION NOTES:

- EXISTING TOPO SHOWN ON THIS PLAN REFLECTS PARTIAL GRADING OF UNIT 4B PER GRADING PLAN DATED 11/7/15.
- EXISTING PERIMETER/RETAINING WALLS ALONG TIERRA PINTADA ADJACENT TO LOTS 1-10, UNIT 4B AND LOTS 101-103, UNIT 4A SHALL BE DEMOLISHED AND NEW WALLS SHALL BE CONSTRUCTED PER THIS PLAN.
- PAD LIMITS FOR LOTS 1-10, UNIT 4B AND LOTS 101-103, UNIT 4A WERE EXTENDED.



PROJECT NOTES:

EXST LEGAL: TRACT C, BULK PLAT FOR STORMCLOUD SUBDIVISION

BENCHMARK: ACS MONUMENT 4-H9  
ELEVATION: 5209.315 (NAVD 1988)

AREA: 21.5 AC.±

ENGINEER: ASA NILSSON-WEBER  
ISAACSON & ARFMAN, P.A.

SURVEYOR: RUSTY HUGG  
SURVTEK, INC.

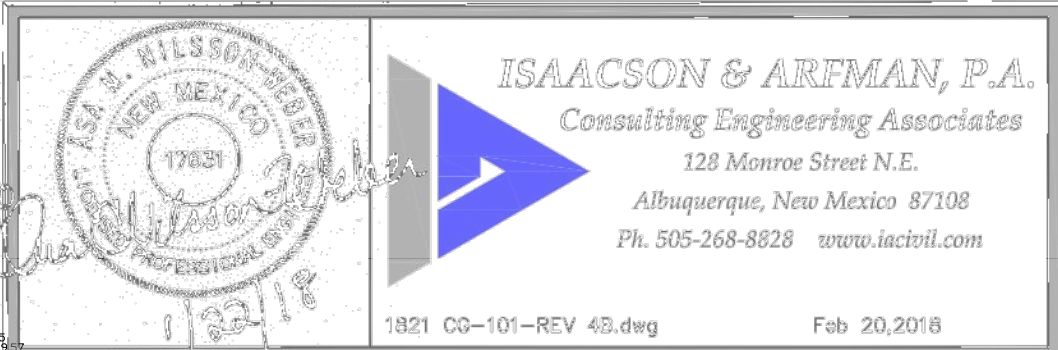
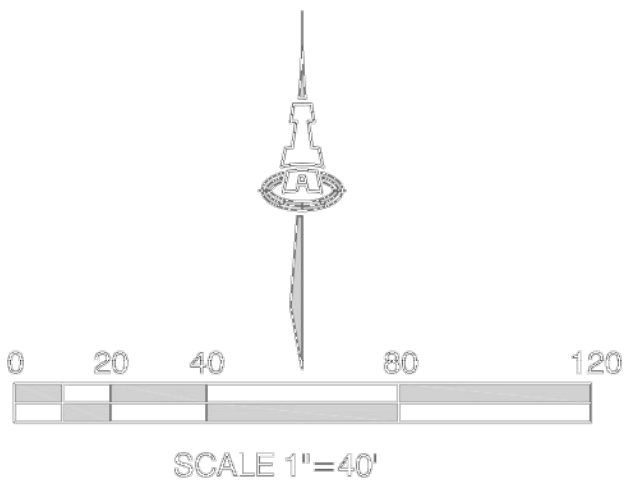
FLOOD PLAIN: THE SITE LIES WITHIN ZONE "X",  
ZONE "AO" AND ZONE "AE"  
PER FIRM MAP 35001C0325G.

NOTES:

- STREET GRADES ARE AT FLOWLINE.
- SEE SHEETS 4&5 FOR RETAINING WALL GRADES AND SECTIONS.

LEGEND

- 5270 EXISTING CONTOUR
- 52 PROPOSED CONTOUR
- 78.3 PROPOSED ELEVATION
- 78.9 PROPOSED ELEV. AT TIERRA PINTADA R/W
- PG=5272.1 PAD GRADE ELEVATION
- STANDARD (STD) CURB & GUTTER
- MOUNTABLE (MTBL) CURB & GUTTER
- STORM DRAIN W/ MANHOLE
- STORM DRAIN INLET
- PROPOSED RETAINING WALL (DESIGN BY OTHERS)
- AD RECOMMENDED DRIVEWAY LOCATION



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STORMCLOUD SUBDIVISION  
UNIT 4B & LOTS 101-103, UNIT 4A  
PULTE HOMES

GRADING AND DRAINAGE PLAN NW

Date:	No. / Revision:	Date:	Job No.
01-2018	1. ADDED RETAINING WALL SECTIONS	2/20/18	2174
Drawn By:	ON SHEETS 4 & 5		SHEET
ANW/THOR			1
Chk By:			OF 5
ANW			



SEE SHEET 1



Albuquerque Control Survey Monument "BH-41"  
New Mexico State Plane Coordinates  
(Central Zone - NAD 83) as published  
North= 1,495,608.828 feet  
East= 1,491,701.376 feet  
Delta Alpha= -00°17'09.70"  
Ground to Grid Factor= 0.999670930

MONUMENT TIE DETAIL  
1"=40'

**DRAINAGE CERTIFICATION FOR LOTS 44-53, 56-57, 59, 62-63, 65, 67, 70-74 & 76-78**

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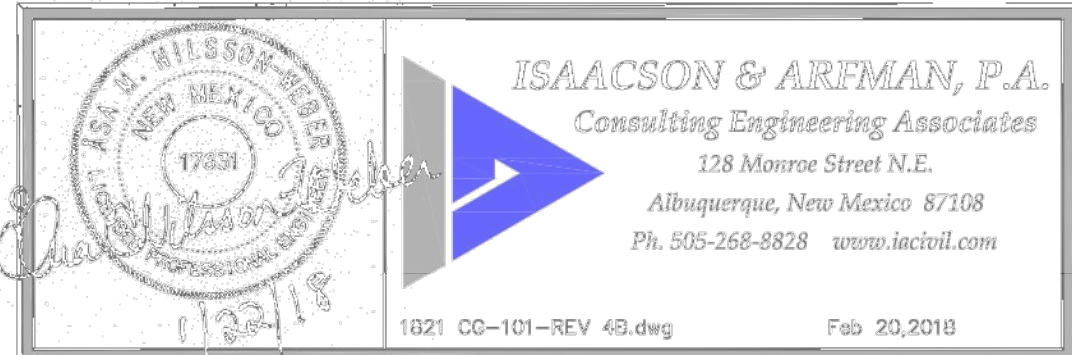
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Asa Nilsson-Weber 10-15-18

Asa Nilsson-Weber, NMPE 17631

Date



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STORMCLOUD SUBDIVISION				
UNIT 4B & LOTS 101-103, UNIT 4A				
PULTE HOMES				
GRADING AND DRAINAGE PLAN SE AND SW				
Date:	No.	REVISION:	Date:	Job No.
01-2018	1.	ADDED RETAINING WALL SECTIONS	2/20/18	2174
Drawn By:	ANW/THOR			SHEET
Chk By:	ANW			2
				C# 5



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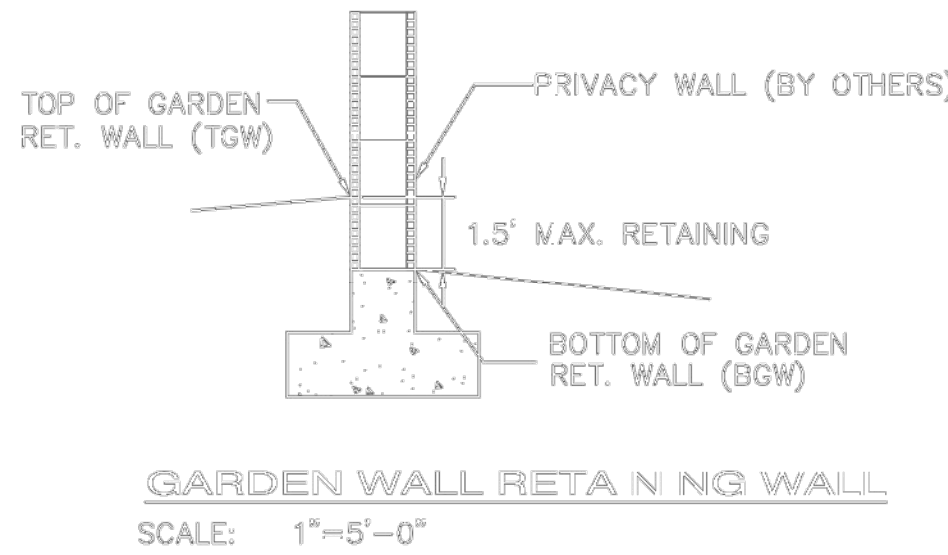
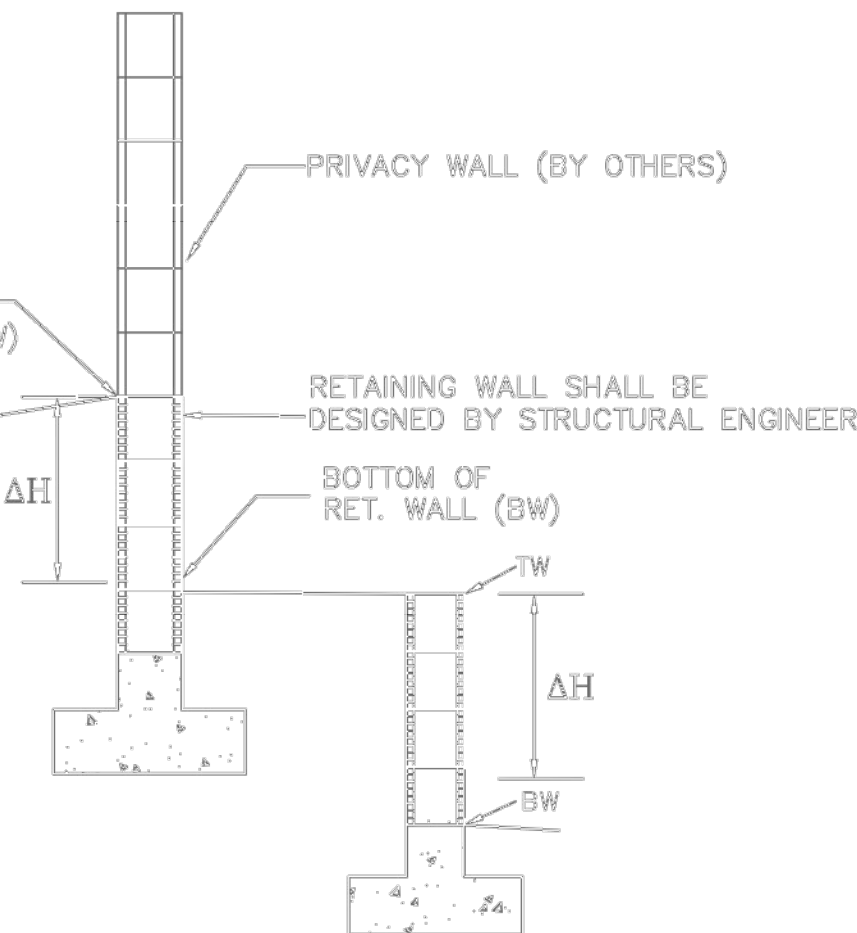
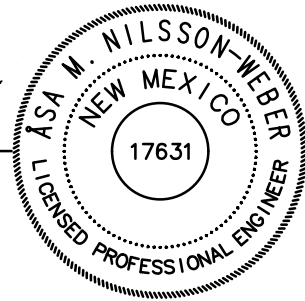
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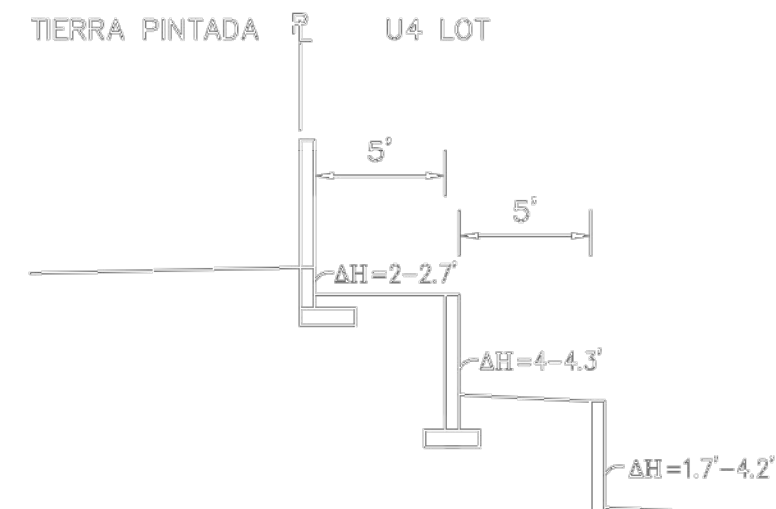
Asa Nilsson-Weber 10-15-18

Asa Nilsson-Weber, NMPE 17631 Date

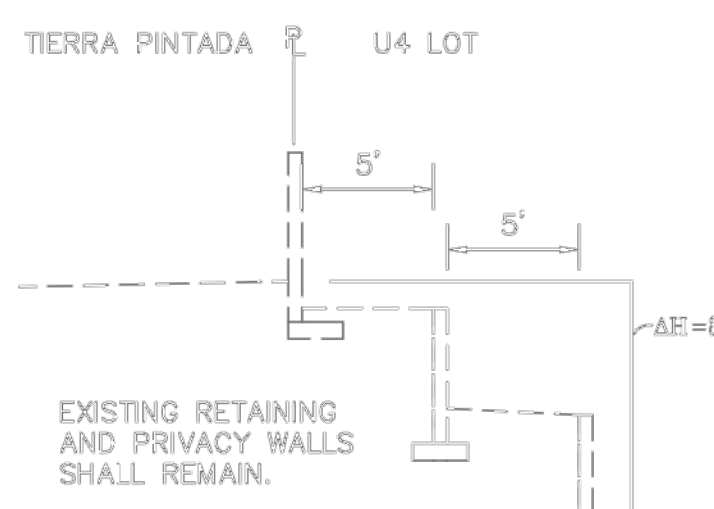


RETAINING WALL  
SCALE: 1"=5'-0"

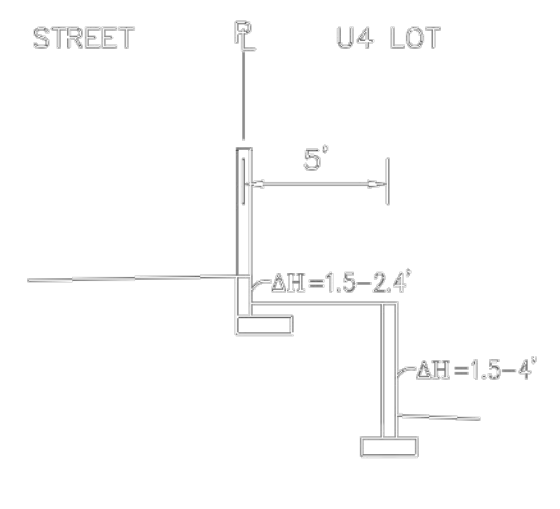
ΔH=RETAINING HEIGHT (SEE SECTIONS THIS SHEET)



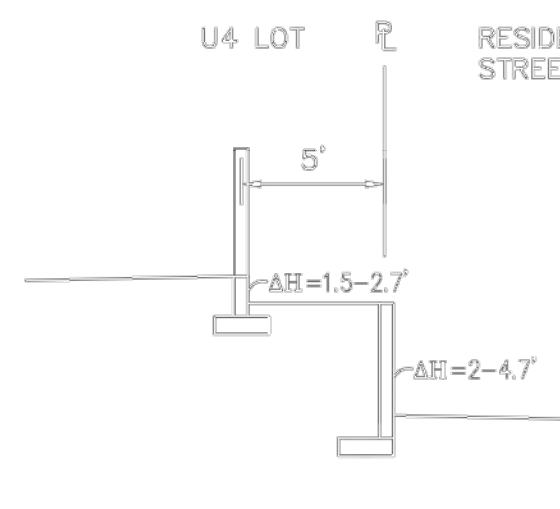
SECTION A-A  
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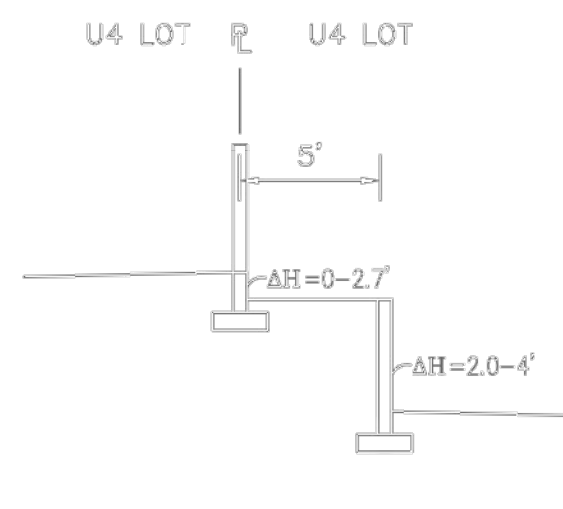
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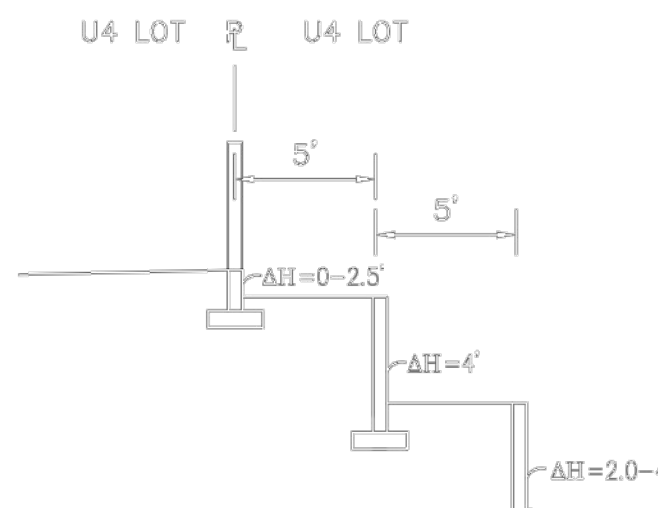
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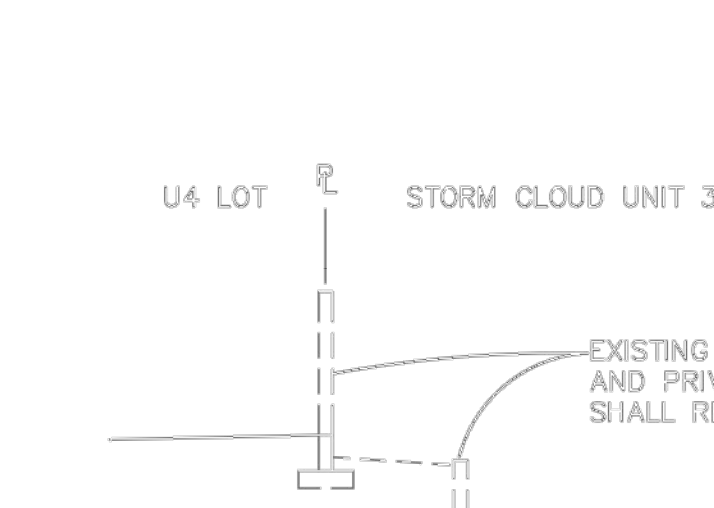
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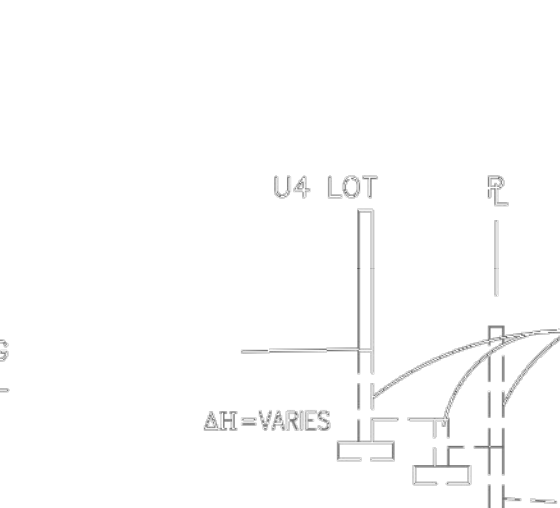
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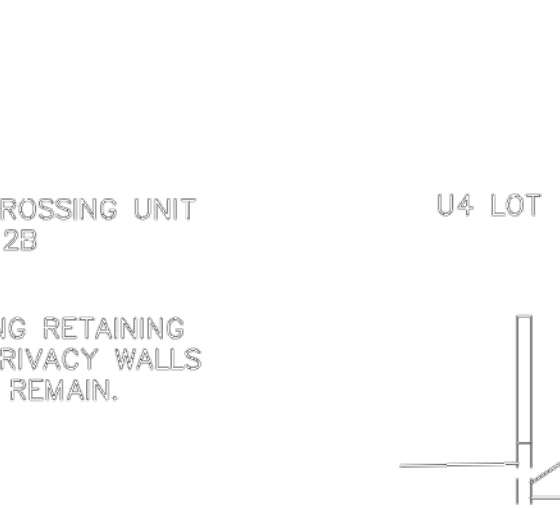
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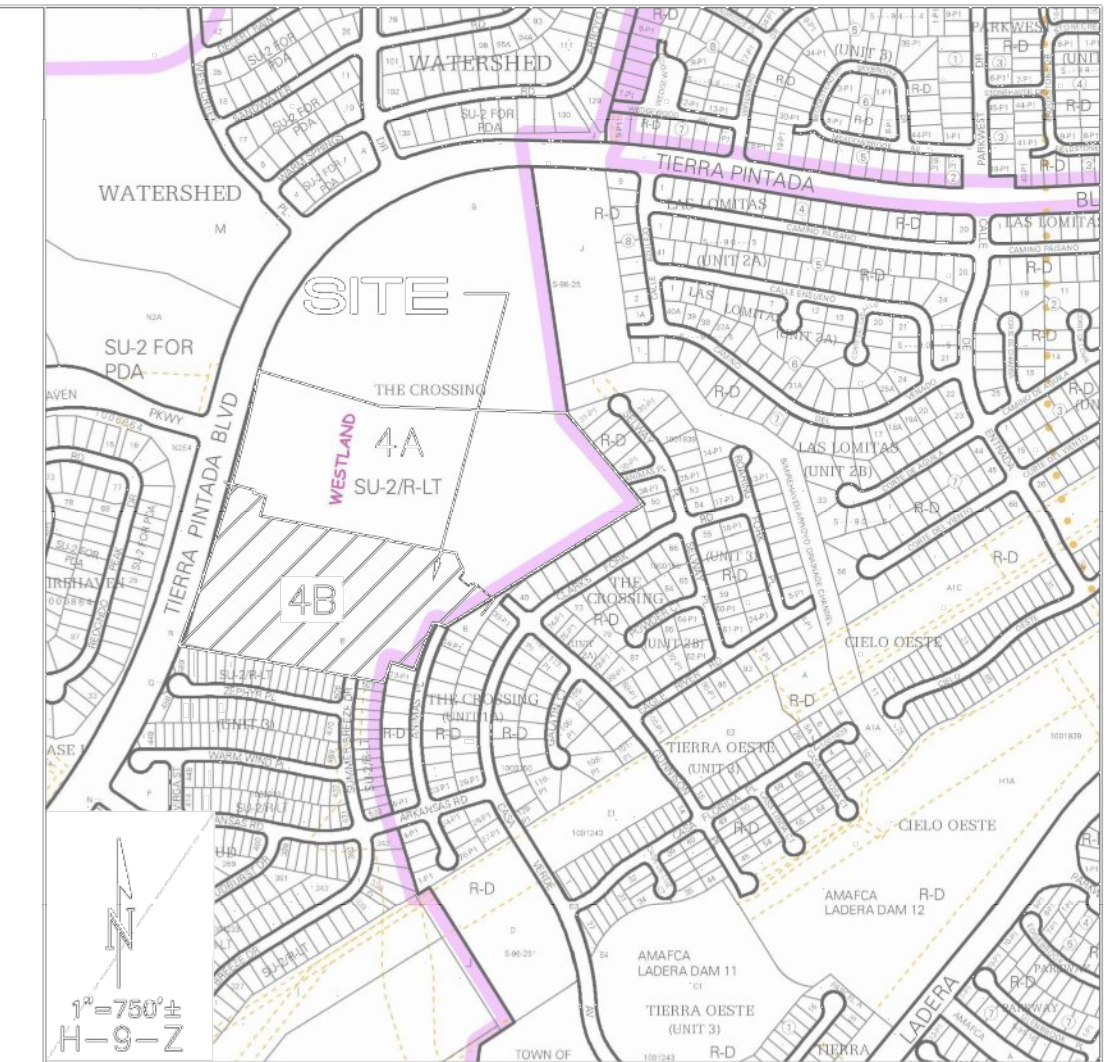
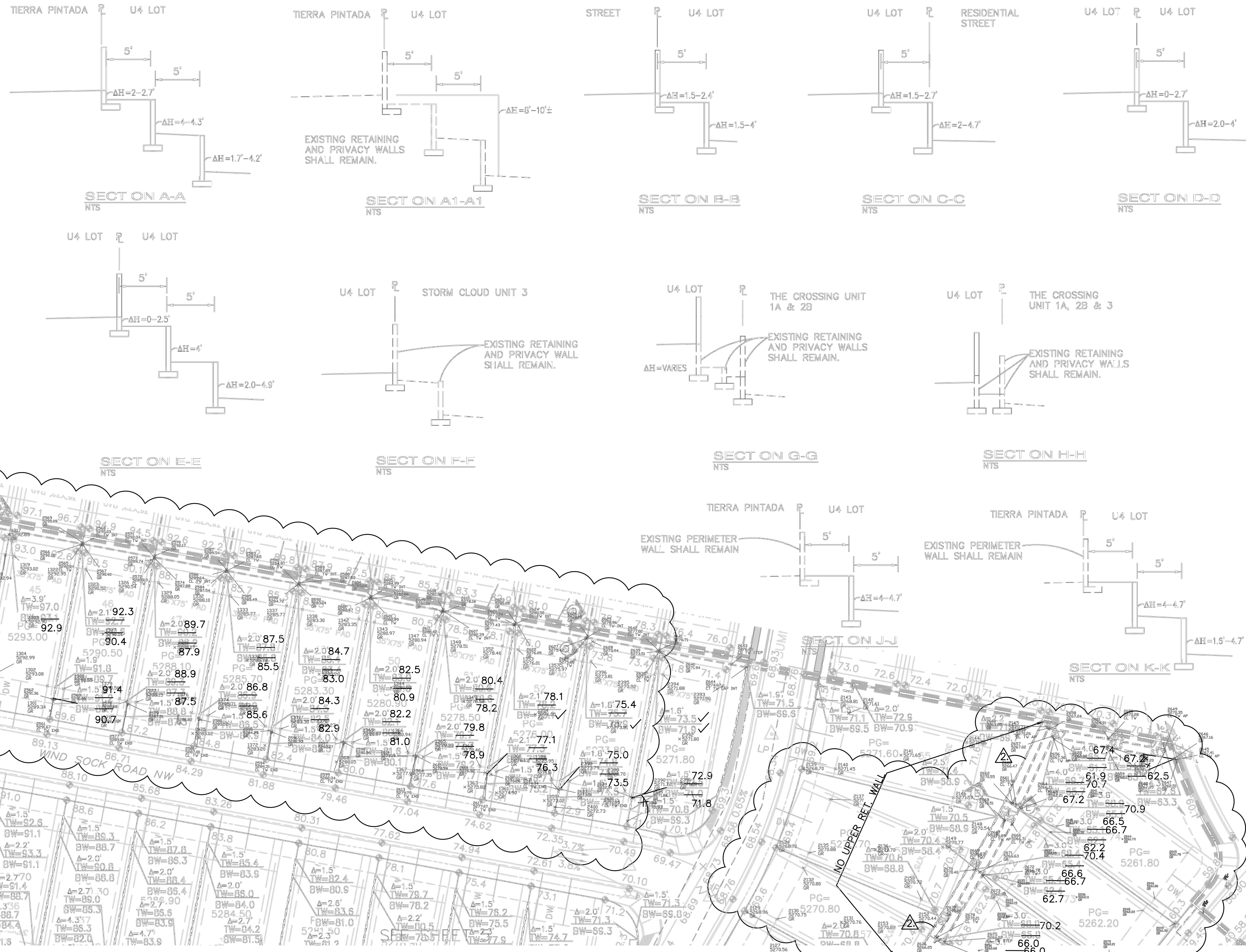
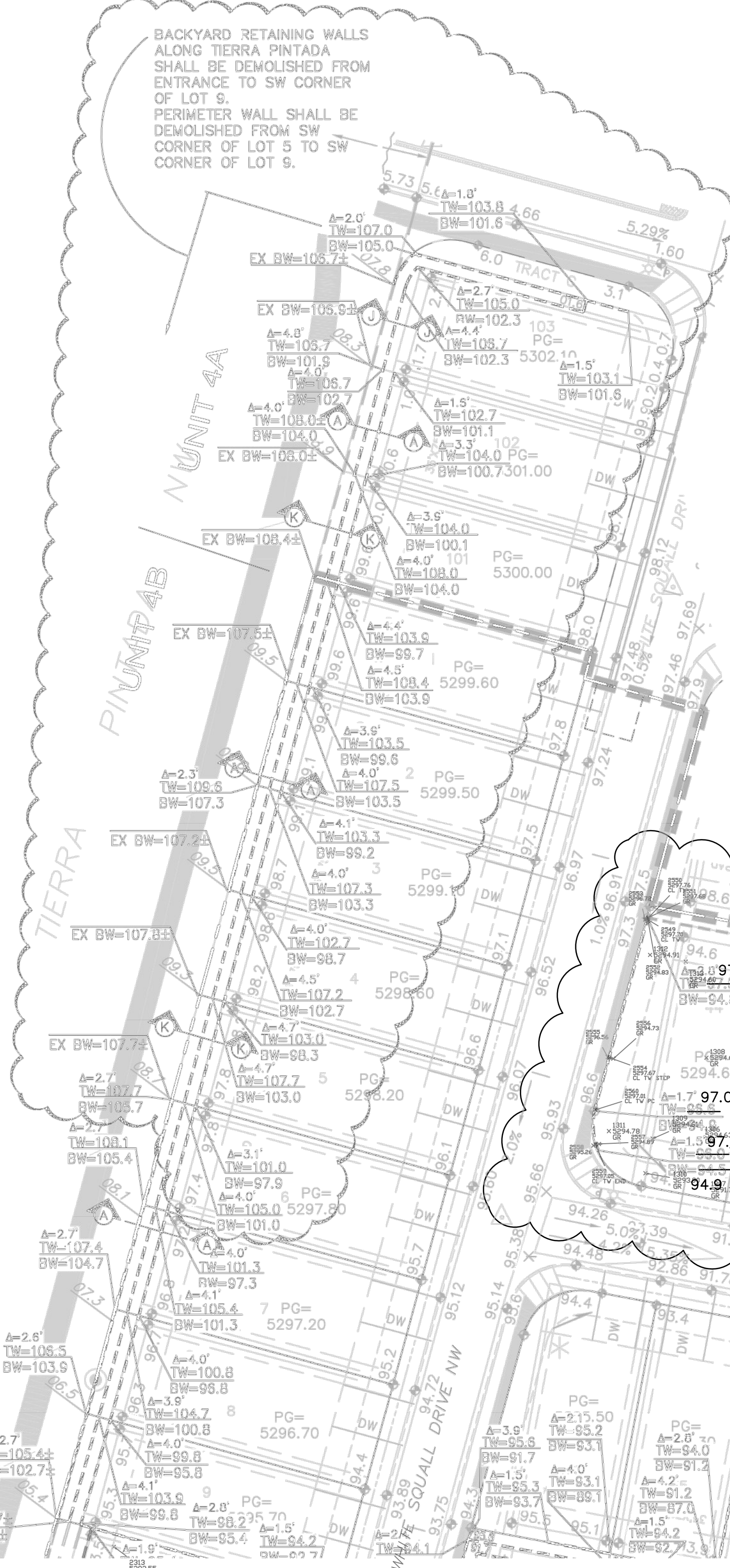
SECTION F-F  
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SECTION G-G  
NTS



SECTION H-H  
NTS

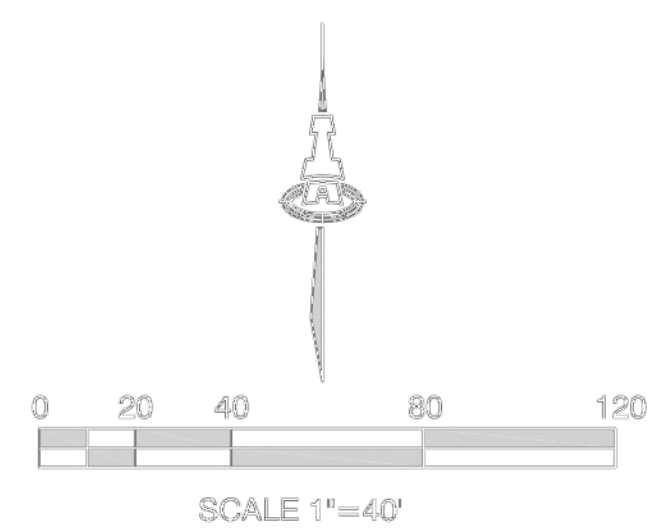


GENERAL WALL NOTES:

1. RETAINING WALLS SHALL BE DESIGNED BY OTHERS.

LEGEND

- EXISTING RETAINING WALL TO REMAIN
- PROPOSED RETAINING WALL
- PROPOSED GARDEN RETAINING WALL (MAX. 1.5' RETAINING)
- PROPOSED TOP/BOTTOM OF RETAINING WALL
- PROPOSED TOP/BOTTOM OF GARDEN RETAINING WALL
- PROPOSED RETAINING WALL HEIGHT



ISAACSON & ARFMAN, P.A.  
Consulting Engineering Associates  
128 Monroe Street N.E.  
Albuquerque, New Mexico 87108  
Ph. 505-268-8828 www.iacivil.com

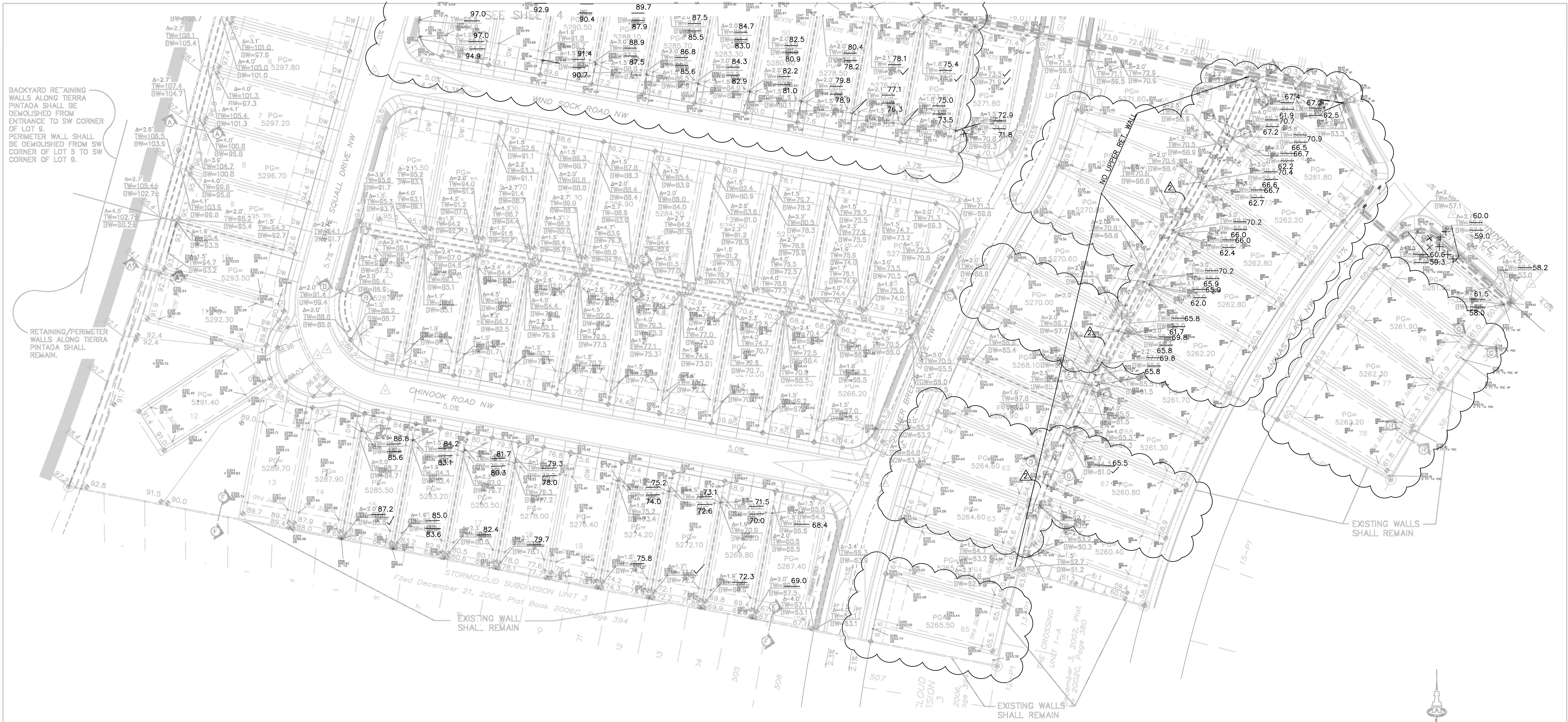
1021 CG-102-REV 4B.dwg Mar 05, 2018

STORMCLOUD SUBDIVISION  
UNIT 4B & LOTS 101-103, UNIT 4A  
PULTE HOMES

RETAINING WALL PLAN NW

Date	No. Revision	Date	Job No.
03/18	1. REVISED RET. WALL GRADES AND LIMITS OF PERIMETER WALL DEMOLITION.	3/8/18	2174
	ADDED SECTIONS J-J & K-K ON SHT 4		4
			5





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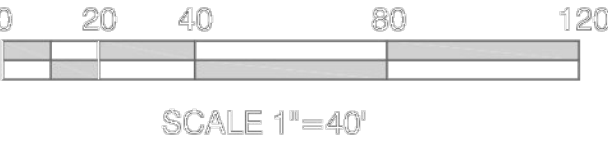


**GENERAL WALL NOTES:**

- RETAINING WALLS SHALL BE DESIGNED BY OTHERS.
- SEE SHEET 4 FOR WALL DEMOLITION NOTES.
- SEE SHEET 4 FOR RETAINING WALL SECTIONS.

**LEGEND**

- EXISTING RETAINING WALL TO REMAIN
- PROPOSED RETAINING WALL
- PROPOSED GARDEN RETAINING WALL (MAX. 1.5' RETAINING)
- TW= PROPOSED TOP/BOTTOM OF RETAINING WALL
- BW= PROPOSED TOP/BOTTOM OF GARDEN RETAINING WALL
- A=2.7' PROPOSED RETAINING WALL HEIGHT





**ISAACSON & ARFMAN, P.A.**  
Consulting Engineering Associates  
128 Monroe Street N.E.  
Albuquerque, New Mexico 87108  
Ph. 505-268-8828 www.isaactll.com

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**STORMCLOUD SUBDIVISION**  
**UNIT 4B & LOTS 101-103, UNIT 4A**  
**PULTE HOMES**

**RETAINING WALL PLAN SE AND SW**

Date:	01-2018	No. 1	Revision:	REVISED RET. WALL GRADES AND LIMITS	Date:	3/6/18	Job No.	2174
Drawn By:	ANW/THOR			ADDED SECTIONS J-J & K-K ON SHT 4				<b>SHEET</b> <b>5</b>
Ckd By:	ANW							<b>OF</b> <b>5</b>





# City of Albuquerque

Planning Department  
Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

**Project Title:** Stormcloud Subdivision Unit 4B **Building Permit #:** \_\_\_\_\_ **Hydrology File #:** H09/D022A  
**DRB#:** 1005029 **EPC#:** \_\_\_\_\_ **Work Order#:** 691586  
**Legal Description:** Stormcloud Subdivision, Units 4A & 4B  
**City Address:** \_\_\_\_\_

**Applicant:** Isaacson & Arfman, PA **Contact:** Åsa Nilsson-Weber  
**Address:** 128 Monroe Street NE - Albuquerque, NM 87108  
**Phone#:** (505) 268-8828 **Fax#:** \_\_\_\_\_ **E-mail:** asaw@iacivil.com

**Other Contact:** Pulte Homes **Contact:** Kevin Patton  
**Address:** 7601 Jefferson Street NE, Suite 320 - Albuquerque, NM 87109  
**Phone#:** (505) 341-8591 **Fax#:** \_\_\_\_\_ **E-mail:** kevin.patton@pultegroup.com

**TYPE OF DEVELOPMENT:** ☒ PLAT ☐ RESIDENCE ☐ DRB SITE ☐ ADMIN SITE

Check all that Apply:

**DEPARTMENT:**

☒ HYDROLOGY/ DRAINAGE  
☐ TRAFFIC/ TRANSPORTATION

**TYPE OF SUBMITTAL:**

☐ ENGINEER/ARCHITECT CERTIFICATION  
☒ PAD CERTIFICATION  
☐ CONCEPTUAL G & D PLAN  
☐ GRADING PLAN  
☐ DRAINAGE REPORT  
☐ DRAINAGE MASTER PLAN  
☐ FLOODPLAIN DEVELOPMENT PERMIT APPLIC  
☐ ELEVATION CERTIFICATE  
☐ CLOMR/LOMR  
☐ TRAFFIC CIRCULATION LAYOUT (TCL)  
☐ TRAFFIC IMPACT STUDY (TIS)  
☐ STREET LIGHT LAYOUT  
☐ OTHER (SPECIFY) \_\_\_\_\_  
☐ PRE-DESIGN MEETING?

**LOTS 44-53, 56-57, 62-63, 65, 67, 70-74, 76-78**

**TYPE OF APPROVAL/ACCEPTANCE SOUGHT:**

☒ BUILDING PERMIT APPROVAL **UNIT 4B FOR**  
☐ CERTIFICATE OF OCCUPANCY

☐ PRELIMINARY PLAT APPROVAL  
☐ SITE PLAN FOR SUB'D APPROVAL  
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL  
☐ FINAL PLAT APPROVAL

☐ SIA/ RELEASE OF FINANCIAL GUARANTEE  
☐ FOUNDATION PERMIT APPROVAL  
☐ GRADING PERMIT APPROVAL  
☐ SO-19 APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ GRADING/ PAD CERTIFICATION  
☐ WORK ORDER APPROVAL  
☐ CLOMR/LOMR  
☐ FLOODPLAIN DEVELOPMENT PERMIT  
☐ OTHER (SPECIFY) \_\_\_\_\_

IS THIS A RESUBMITTAL?: ☐ Yes ☒ No

**DATE SUBMITTED:** October 15, 2018 **By:** Åsa Nilsson-Weber

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_

FEE PAID: \_\_\_\_\_