

CITY OF ALBUQUERQUE

Hydrology Section Planning Department
David S. Campbell, Director



Timothy M. Keller, Mayor

January 14, 2019

Asa Nilsson-Weber, P.E.
Isaacson & Arfman, PA
128 Monroe St NE
Albuquerque, NM 87108

**Re: Stormcloud Unit 4A - Lots 101-103
Request for Engineer Pad Certification – Accepted
Engineer’s Stamp dated: 1-22-18 (H09D022A)
Certification dated: 1-3-19**

Dear Ms. Nilsson-Weber,

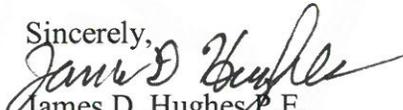
Based upon the information provided in your submittal received 1/8/2019, the above referenced Certification is acceptable for building permit.

PO Box 1293

If you have any questions, you can contact me at 924-3986 or e-mail at jhughes@cabq.gov.

Albuquerque

NM 87103

Sincerely,

James D. Hughes P.E.
Principal Engineer, Planning Dept.
Development Review Services

www.cabq.gov



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: Stormcloud Subdivision Unit 4A Building Permit #: _____ Hydrology File #: H09/D022A
DRB#: 1005029 EPC#: _____ Work Order#: 691585
Legal Description: Stormcloud Subdivision, Units 4A
City Address: _____

Applicant: Isaacson & Arfman, PA Contact: Åsa Nilsson-Weber
Address: 128 Monroe Street NE - Albuquerque, NM 87108
Phone#: (505) 268-8828 Fax#: _____ E-mail: asaw@iacivil.com

Other Contact: Pulte Homes Contact: Kevin Patton
Address: 7601 Jefferson Street NE, Suite 320 - Albuquerque, NM 87109
Phone#: (505) 341-8591 Fax#: _____ E-mail: kevin.patton@pultegroup.com

TYPE OF DEVELOPMENT: PLAT RESIDENCE DRB SITE ADMIN SITE
3 LOTS

Check all that Apply:

DEPARTMENT:

HYDROLOGY/ DRAINAGE
 TRAFFIC/ TRANSPORTATION

TYPE OF APPROVAL/ACCEPTANCE SOUGHT: UNIT 4A

BUILDING PERMIT APPROVAL **LOTS 101-103**
 CERTIFICATE OF OCCUPANCY

TYPE OF SUBMITTAL:

ENGINEER/ARCHITECT CERTIFICATION
 PAD CERTIFICATION
 CONCEPTUAL G & D PLAN
 GRADING PLAN
 DRAINAGE REPORT
 DRAINAGE MASTER PLAN
 FLOODPLAIN DEVELOPMENT PERMIT APPLIC
 ELEVATION CERTIFICATE
 CLOMR/LOMR
 TRAFFIC CIRCULATION LAYOUT (TCL)
 TRAFFIC IMPACT STUDY (TIS)
 STREET LIGHT LAYOUT
 OTHER (SPECIFY) _____
 PRE-DESIGN MEETING?

PRELIMINARY PLAT APPROVAL
 SITE PLAN FOR SUB'D APPROVAL
 SITE PLAN FOR BLDG. PERMIT APPROVAL
 FINAL PLAT APPROVAL

SIA/ RELEASE OF FINANCIAL GUARANTEE
 FOUNDATION PERMIT APPROVAL
 GRADING PERMIT APPROVAL
 SO-19 APPROVAL
 PAVING PERMIT APPROVAL
 GRADING/ PAD CERTIFICATION
 WORK ORDER APPROVAL
 CLOMR/LOMR
 FLOODPLAIN DEVELOPMENT PERMIT
 OTHER (SPECIFY) _____

IS THIS A RESUBMITTAL?: Yes No

DATE SUBMITTED: January 8, 2019 By: Åsa Nilsson-Weber

COA STAFF: _____

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____

| BOUNDARY CURVE TABLE | | | | | | |
|----------------------|---------|----------|---------|---------|---------------|-----------|
| CURVE | LENGTH | RADIUS | TANGENT | CHORD | CHORD BEARING | DELTA |
| C5 | 208.45' | 762.00' | 104.88' | 207.80' | S35°45'41"W | 15°40'25" |
| C6 | 197.52' | 920.00' | 99.14' | 197.14' | S21°46'26"W | 12°18'05" |
| C7 | 84.44' | 1032.00' | 42.24' | 84.41' | S13°16'45"W | 4°41'16" |



PROJECT NOTES:

EXST LEGAL: TRACT C, BULK PLAT FOR STORMCLOUD SUBDIVISION

BENCHMARK: ACS MONUMENT 4-H9
ELEVATION: 5209.315 (NAVD 1988)

AREA: 21.5 AC.±

ENGINEER: ASA NILSSON-WEBER
ISAACSON & ARFMAN, P.A.

SURVEYOR: RUSTY HUGG
SURVTEK, INC.

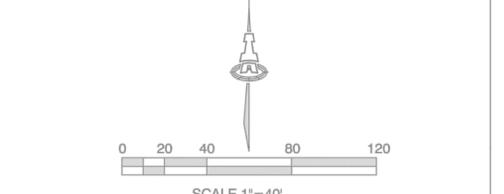
FLOOD PLAIN: THE SITE LIES WITHIN ZONE "X",
ZONE "AO" AND ZONE "AE"
PER FIRM MAP 35001C0326G.

NOTES:

- STREET GRADES ARE AT FLOWLINE.
- SEE SHEETS 4&5 FOR RETAINING WALL GRADES AND SECTIONS.

LEGEND

| | |
|--|--|
| | EXISTING CONTOUR |
| | PROPOSED CONTOUR |
| | PROPOSED ELEVATION |
| | PROPOSED ELEV. AT TIERRA PINTADA R/W |
| | PAD GRADE ELEVATION |
| | STANDARD (STD) CURB & GUTTER |
| | MOUNTABLE (MTBL) CURB & GUTTER |
| | STORM DRAIN W/ MANHOLE |
| | STORM DRAIN INLET |
| | PROPOSED RETAINING WALL (DESIGN BY OTHERS) |
| | RECOMMENDED DRIVEWAY LOCATION |



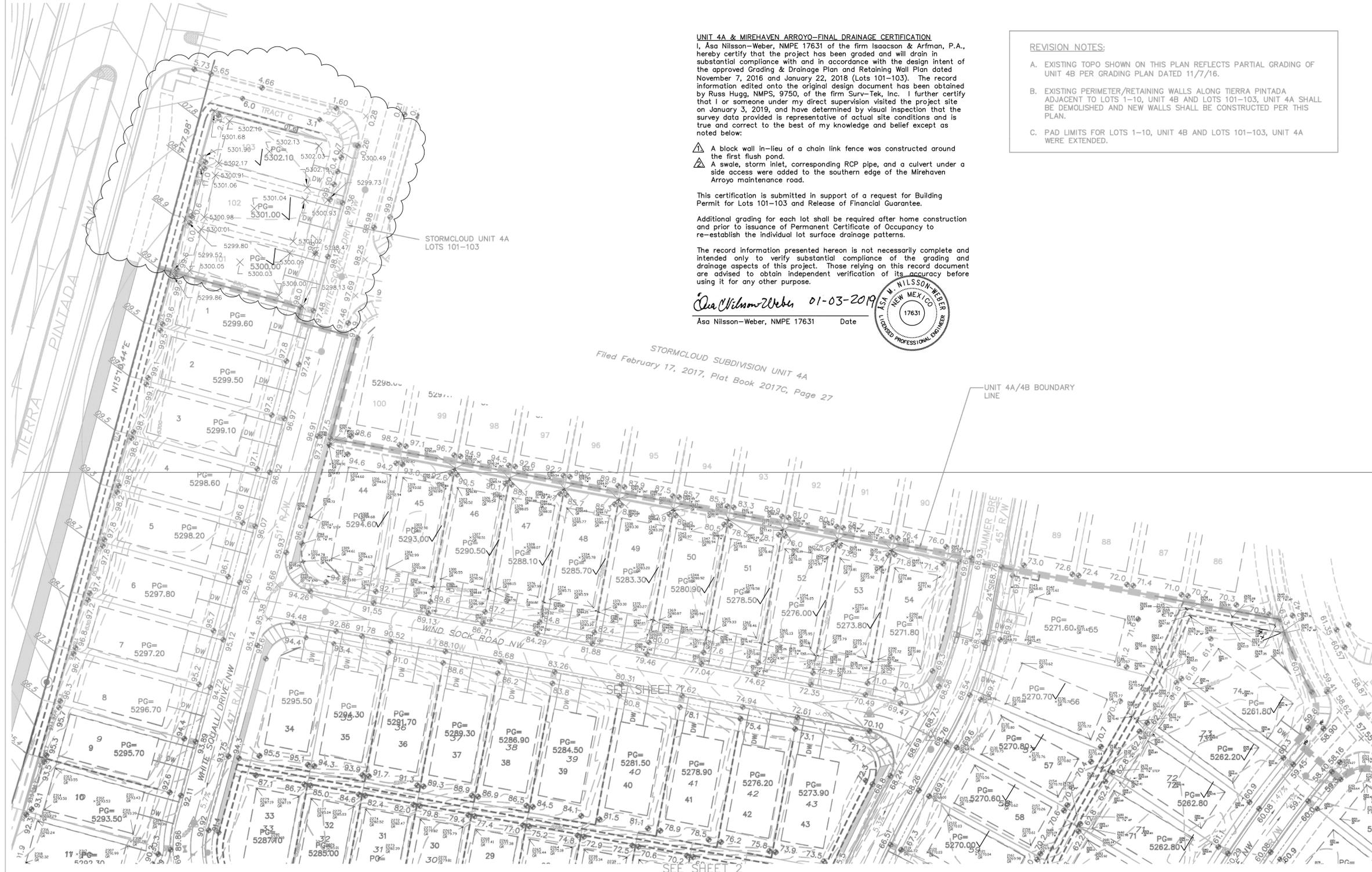
ISAACSON & ARFMAN, P.A.
Consulting Engineering Associates
128 Monroe Street N.E.
Albuquerque, New Mexico 87108
Ph. 505-268-8828 www.isacfi.com

1821 CQ-101-REV 4B.dwg Feb 20, 2018

**STORMCLOUD SUBDIVISION
UNIT 4B & LOTS 101-103, UNIT 4A
PULTE HOMES**

GRADING AND DRAINAGE PLAN NW

| | | | |
|-----------|----------------------------------|---------|--------------|
| Date: | No. Revisions: | Date: | Job No. |
| 01-2018 | 1. ADDED RETAINING WALL SECTIONS | 2/20/18 | 2174 |
| Drawn By: | ON SHEETS 4 & 5 | | SHEET |
| ANW/THOR | | | 1 |
| Chk By: | | | OF 5 |
| ANW | | | |



UNIT 4A & MIREHAVEN ARROYO-FINAL DRAINAGE CERTIFICATION

I, Asa Nilsson-Weber, NMPE 17631 of the firm Isaacson & Arfman, P.A., hereby certify that the project has been graded and will drain in substantial compliance with and in accordance with the design intent of the approved Grading & Drainage Plan and Retaining Wall Plan dated November 7, 2016 and January 22, 2018 (Lots 101-103). The record information edited onto the original design document has been obtained by Russ Hugg, NMFS, 9750, of the firm Surv-Tek, Inc. I further certify that I or someone under my direct supervision visited the project site on January 3, 2019, and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief except as noted below:

- ▲ A block wall in-lieu of a chain link fence was constructed around the first flush pond.
- ▲ A swale, storm inlet, corresponding RCP pipe, and a culvert under a side access were added to the southern edge of the Mirehaven Arroyo maintenance road.

This certification is submitted in support of a request for Building Permit for Lots 101-103 and Release of Financial Guarantee.

Additional grading for each lot shall be required after home construction and prior to issuance of Permanent Certificate of Occupancy to re-establish the individual lot surface drainage patterns.

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the grading and drainage aspects of this project. Those relying on this record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

Asa Nilsson-Weber 01-03-2019
Asa Nilsson-Weber, NMPE 17631 Date

REVISION NOTES:

- EXISTING TOPO SHOWN ON THIS PLAN REFLECTS PARTIAL GRADING OF UNIT 4B PER GRADING PLAN DATED 11/7/16.
- EXISTING PERIMETER/RETAINING WALLS ALONG TIERRA PINTADA ADJACENT TO LOTS 1-10, UNIT 4B AND LOTS 101-103, UNIT 4A SHALL BE DEMOLISHED AND NEW WALLS SHALL BE CONSTRUCTED PER THIS PLAN.
- PAD LIMITS FOR LOTS 1-10, UNIT 4B AND LOTS 101-103, UNIT 4A WERE EXTENDED.

UNIT 4A & MIREHAVEN ARROYO-FINAL DRAINAGE CERTIFICATION
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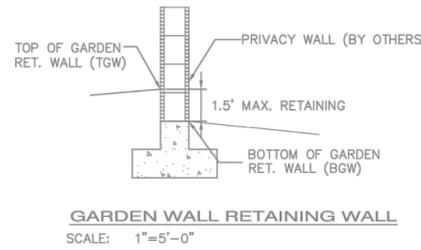
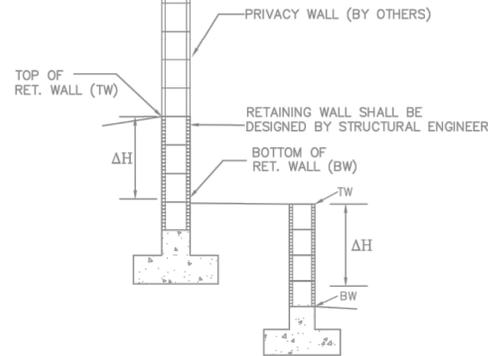
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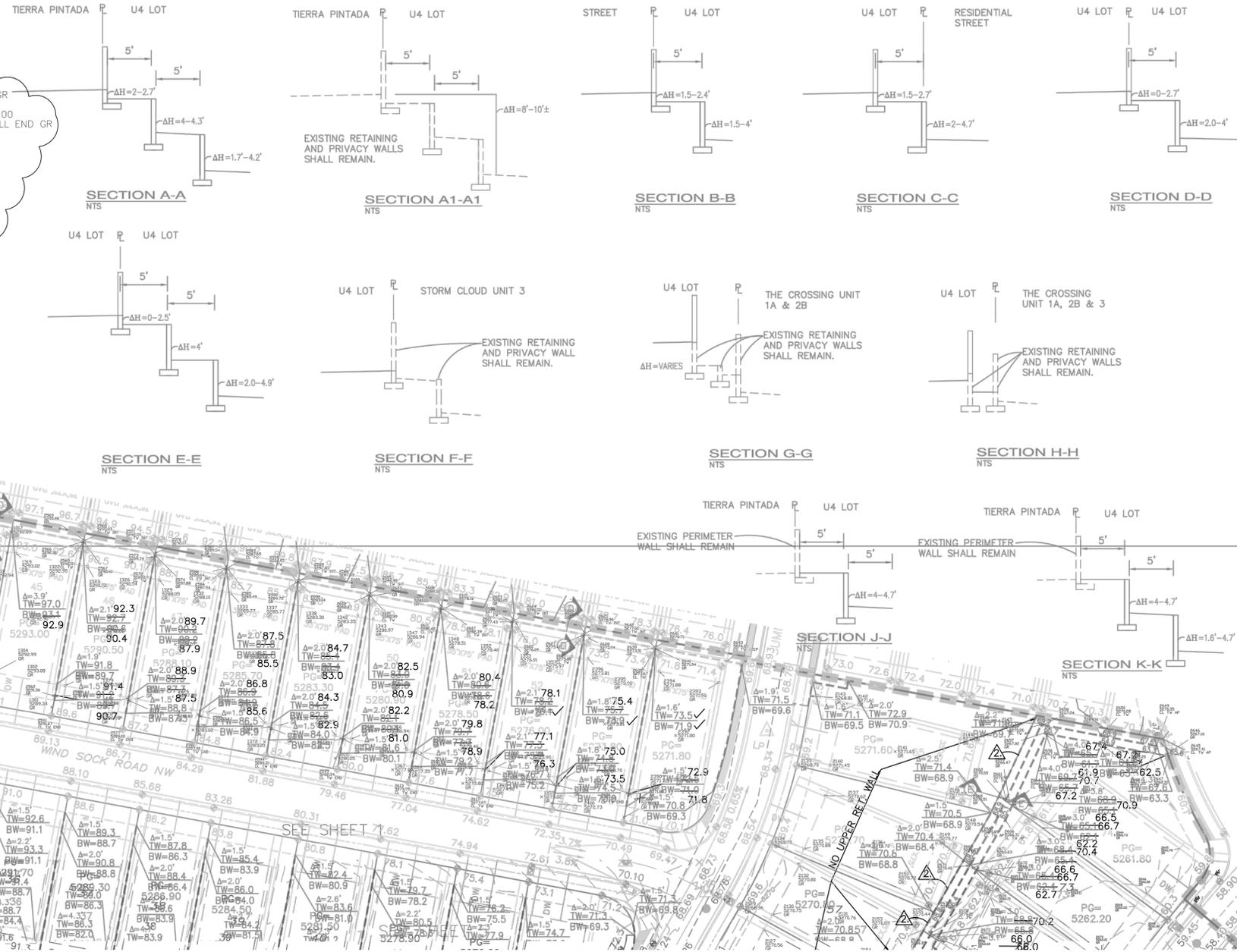
Asa Nilsson-Weber 01-03-2019

Asa Nilsson-Weber, NMPE 17631 Date



GARDEN WALL RETAINING WALL
SCALE: 1"=5'-0"

RETAINING WALL
SCALE: 1"=5'-0"
ΔH=RETAINING HEIGHT (SEE SECTIONS THIS SHEET)



WALL DEMOLITION NOTES

PERIMETER/RETAINING WALLS ALONG TIERRA PINTADA SHALL BE DEMOLISHED WHERE NOTED ON PLANS.

PATCH & REPAIR EXISTING ADJOINING WALLS TO REMAIN.

THE CONTRACTOR SHALL VERIFY ALL CONDITIONS WITHIN THE CONTRACT LIMITS AND NOTIFY THE ENGINEER IN WRITING OF ANY DEVIATION FROM CONTRACT DOCUMENTS NECESSITATED BY FIELD CONDITIONS OR ITEMS NOT COVERED.

ALL DEMOLITION SHALL BE PERFORMED IN A SAFE AND ACCEPTABLE MANNER TO ALL AUTHORITIES HAVING JURISDICTION AND THE OWNER.

THOROUGHLY CLEAN ADJACENT AREAS OF DEBRIS CAUSED BY DEMOLITION WORK.

PRIOR TO ANY DEMOLITION, THE CONTRACTOR SHALL COORDINATE BRACING AND MAINTAIN THE STRUCTURAL INTEGRITY OF THE WALLS TO REMAIN.

THE CONTRACTOR SHALL PROVIDE ALL TEMPORARY BRACING, SHORING, SCAFFOLDING, ETC., WHICH ARE NECESSARY TO PREVENT COLLAPSE, SUBSIDENCE, DEFLECTION OR ANY OTHER TYPE OF DAMAGE.

CONTRACTOR SHALL REVIEW ALL WALLS TO BE DEMOLISHED WITH OWNER TO IDENTIFY ANY ITEMS TO BE SALVAGED AND DETERMINE SALVAGE LOCATION. UNSALVAGEABLE WALL BLOCKS AND FOOTINGS SHALL BE REMOVED FROM SITE AND LEGALLY DISPOSED.

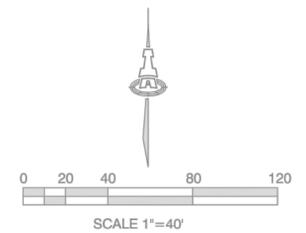


GENERAL WALL NOTES:

- RETAINING WALLS SHALL BE DESIGNED BY OTHERS.

LEGEND

- EXISTING RETAINING WALL TO REMAIN
- - - PROPOSED RETAINING WALL
- - - PROPOSED GARDEN RETAINING WALL (MAX. 1.5' RETAINING)
- TW= PROPOSED TOP/BOTTOM OF RETAINING WALL
- TGW= PROPOSED TOP/BOTTOM OF GARDEN RETAINING WALL
- Δ=2.7' PROPOSED RETAINING WALL HEIGHT



ISAACSON & ARFMAN, P.A.
 Consulting Engineering Associates
 128 Monroe Street N.E.
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 Ph. 505-268-8828 www.inaciv.com

| | | | |
|--|---|--------------|----------------|
| <p>STORMCLOUD SUBDIVISION UNIT 4B & LOTS 101-103, UNIT 4A PULTE HOMES</p> | | | |
| <p>RETAINING WALL PLAN NW</p> | | | |
| Date: 01-03-2018 | No. Revision: 1. REVISED RET. WALL GRADES AND LIMITS OF PERIMETER WALL DEMOLITION. ADDED SECTIONS J-J & K-K ON SHT 4. | Date: 3/9/18 | Job No. 2174 |
| Drawn By: ANW/THOR | | | SHEET 4 |
| ANW | | | OF 5 |