

CITY OF ALBUQUERQUE

Hydrology Section Planning Department
David S. Campbell, Director



Timothy M. Keller, Mayor

January 14, 2019

Asa Nilsson-Weber, P.E.
Isaacson & Arfman, PA
128 Monroe St NE
Albuquerque, NM 87108

Re: Stormcloud Unit 4A - Lots 101-103
Request for Engineer Pad Certification – Accepted
Engineer's Stamp dated: 1-22-18 (H09D022A)
Certification dated: 1-3-19

Dear Ms. Nilsson-Weber,

Based upon the information provided in your submittal received 1/8/2019, the above referenced Certification is acceptable for building permit.

If you have any questions, you can contact me at 924-3986 or e-mail at jhughes@cabq.gov.

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

Sincerely,

James D. Hughes P.E.
Principal Engineer, Planning Dept.
Development Review Services



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: Stormcloud Subdivision Unit 4A **Building Permit #:** _____ **Hydrology File #:** H09/D022A
DRB#: 1005029 **EPC#:** _____ **Work Order#:** 691585
Legal Description: Stormcloud Subdivision, Units 4A
City Address: _____

Applicant: Isaacson & Arfman, PA **Contact:** Åsa Nilsson-Weber
Address: 128 Monroe Street NE - Albuquerque, NM 87108
Phone#: (505) 268-8828 **Fax#:** _____ **E-mail:** asaw@iacivil.com

Other Contact: Pulte Homes **Contact:** Kevin Patton
Address: 7601 Jefferson Street NE, Suite 320 - Albuquerque, NM 87109
Phone#: (505) 341-8591 **Fax#:** _____ **E-mail:** kevin.patton@pultegroup.com

TYPE OF DEVELOPMENT: ☒ PLAT ☐ RESIDENCE ☐ DRB SITE ☐ ADMIN SITE
3 LOTS

Check all that Apply:

DEPARTMENT:

☐ HYDROLOGY/ DRAINAGE
☐ TRAFFIC/ TRANSPORTATION

TYPE OF SUBMITTAL:

☒ ENGINEER/ARCHITECT CERTIFICATION
☒ PAD CERTIFICATION
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ DRAINAGE REPORT
☐ DRAINAGE MASTER PLAN
☐ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
☐ ELEVATION CERTIFICATE
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ STREET LIGHT LAYOUT
☐ OTHER (SPECIFY) _____
☐ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT: UNIT 4A

☒ BUILDING PERMIT APPROVAL **LOTS 101-103**
☐ CERTIFICATE OF OCCUPANCY

☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL

☒ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR
☐ FLOODPLAIN DEVELOPMENT PERMIT
☐ OTHER (SPECIFY) _____

IS THIS A RESUBMITTAL?: ☐ Yes ☒ No

DATE SUBMITTED: January 8, 2019 **By:** Åsa Nilsson-Weber

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____

BOUNDARY CURVE TABLE						
CURVE	LENGTH	RADIUS	TANGENT	CHORD	CHORD BEARING	DELTA
C5	208.45'	762.00'	104.88'	207.80'	S35°45'41"W	15°40'25"
C6	197.52'	920.00'	99.14'	197.14'	S21°46'26"W	12°18'05"
C7	84.44'	1032.00'	42.24'	84.41'	S13°16'45"W	4°41'16"



PROJECT NOTES:

EXST LEGAL: TRACT C, BULK PLAT FOR STORMCLOUD SUBDIVISION

BENCHMARK: ACS MONUMENT 4-H9
ELEVATION: 5209.315 (NAVD 1988)

AREA: 21.5 AC.±

ENGINEER: ASA NILSSON-WEBER
ISAACSON & ARFMAN, P.A.

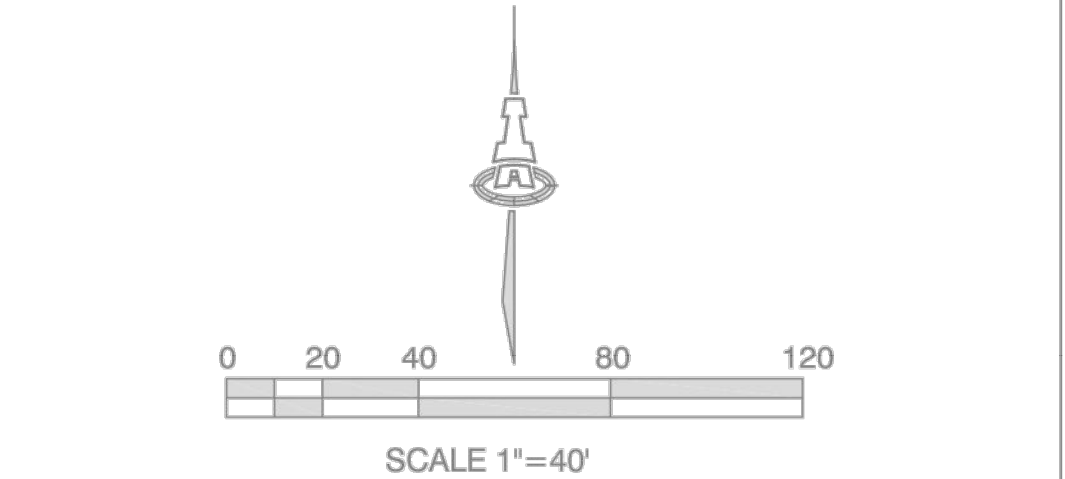
SURVEYOR: RUSTY HUGG
SURVTEK, INC.

FLOOD PLAIN: THE SITE LIES WITHIN ZONE "X",
ZONE "AO" AND ZONE "AE"
PER FIRM MAP 35001C0326G.

NOTES:

- STREET GRADES ARE AT FLOWLINE.
- SEE SHEETS 4&5 FOR RETAINING WALL GRADES AND SECTIONS.

LEGEND	
	EXISTING CONTOUR
	PROPOSED CONTOUR
	PROPOSED ELEVATION
	PROPOSED ELEV. AT TIERRA PINTADA R/W
	PAD GRADE ELEVATION
	STANDARD (STD) CURB & GUTTER
	MOUNTABLE (MTBL) CURB & GUTTER
	STORM DRAIN W/ MANHOLE
	STORM DRAIN INLET
	PROPOSED RETAINING WALL (DESIGN BY OTHERS)
	RECOMMENDED DRIVEWAY LOCATION



ISAACSON & ARFMAN, P.A.
Consulting Engineering Associates
128 Monroe Street N.E.
Albuquerque, New Mexico 87108
Ph. 505-268-8828 www.iacnvll.com

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STORMCLOUD SUBDIVISION
UNIT 4B & LOTS 101-103, UNIT 4A
PULTE HOMES

GRADING AND DRAINAGE PLAN NW

Date:	No. 1. Revision:	Date:	Job No.
01-2018	1. ADDED RETAINING WALL SECTIONS	2/20/18	2174
Drawn By:	ON SHEETS 4 & 5		SHEET
ANW/THOR			1
Ckd By:			OF 5
ANW			

UNIT 4A & MIREHAVEN ARROYO-FINAL DRAINAGE CERTIFICATION
I, Asa Nilsson-Weber, NMPE 17631 of the firm Isaacson & Arfman, P.A., hereby certify that the project has been graded and will drain in substantial compliance with and in accordance with the design intent of the approved Grading & Drainage Plan and Retaining Wall Plan dated November 7, 2016 and January 22, 2018 (Lots 101-103). The record information edited onto the original design document has been obtained by Russ Hugg, NMFS, 9750, of the firm Surv-Tek, Inc. I further certify that I or someone under my direct supervision visited the project site on January 3, 2019, and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief except as noted below:

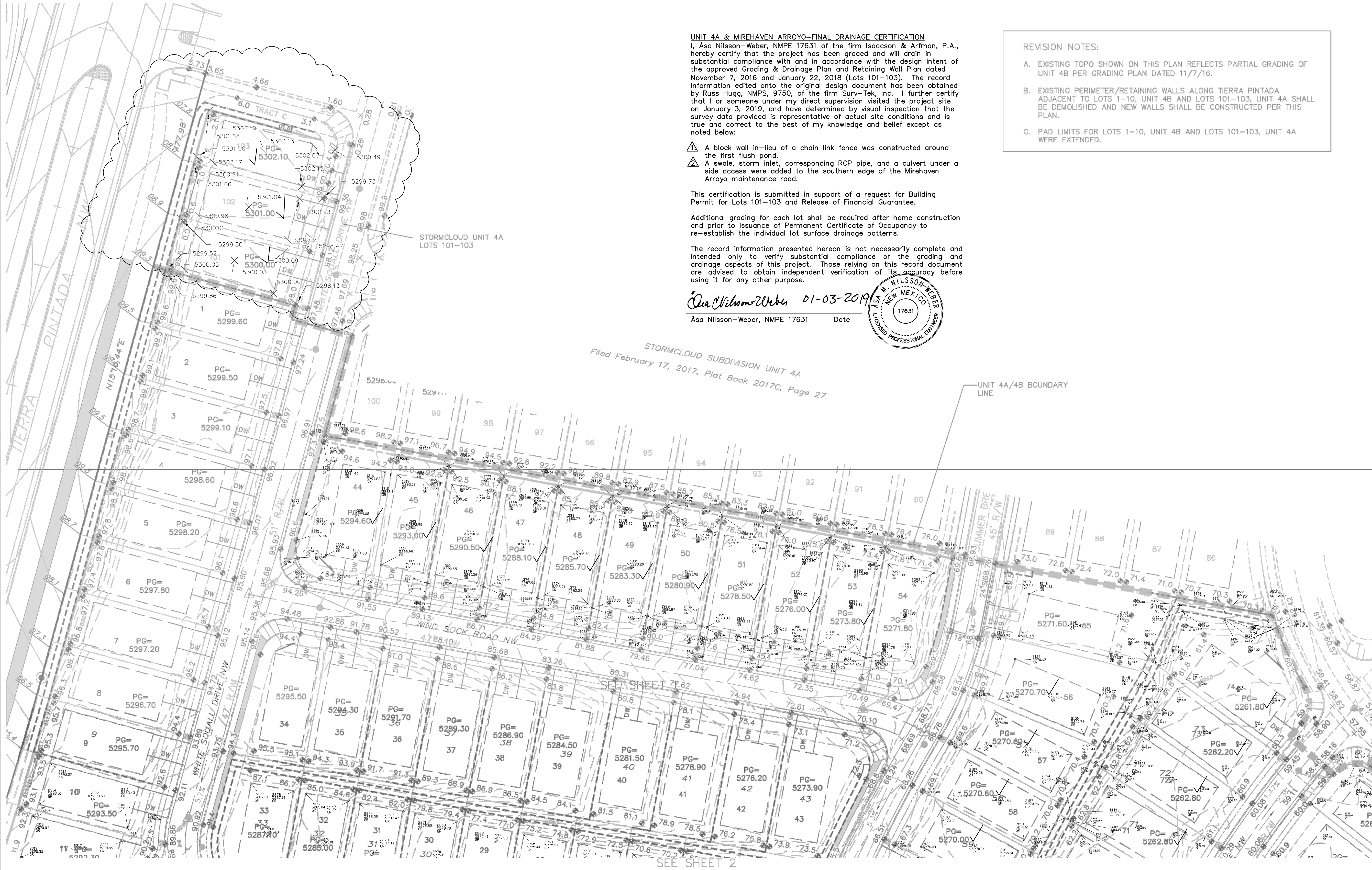
- A block wall in-lieu of a chain link fence was constructed around the first flush pond.
- A swale, storm inlet, corresponding RCP pipe, and a culvert under a side access were added to the southern edge of the Mirehaven Arroyo maintenance road.

This certification is submitted in support of a request for Building Permit for Lots 101-103 and Release of Financial Guarantee.

Additional grading for each lot shall be required after home construction and prior to issuance of Permanent Certificate of Occupancy to re-establish the individual lot surface drainage patterns.

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the grading and drainage aspects of this project. Those relying on this record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

Asa Nilsson-Weber 01-03-2019
Asa Nilsson-Weber, NMPE 17631 Date



UNIT 4A & MIREHAVEN ARROYO-FINAL DRAINAGE CERTIFICATION
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- △ A block wall in-lieu of a chain link fence was constructed around the first flush pond.
△ A swale, storm inlet, corresponding RCP pipe, and a culvert under a side access were added to the southern edge of the Mirehaven Arroyo maintenance road.

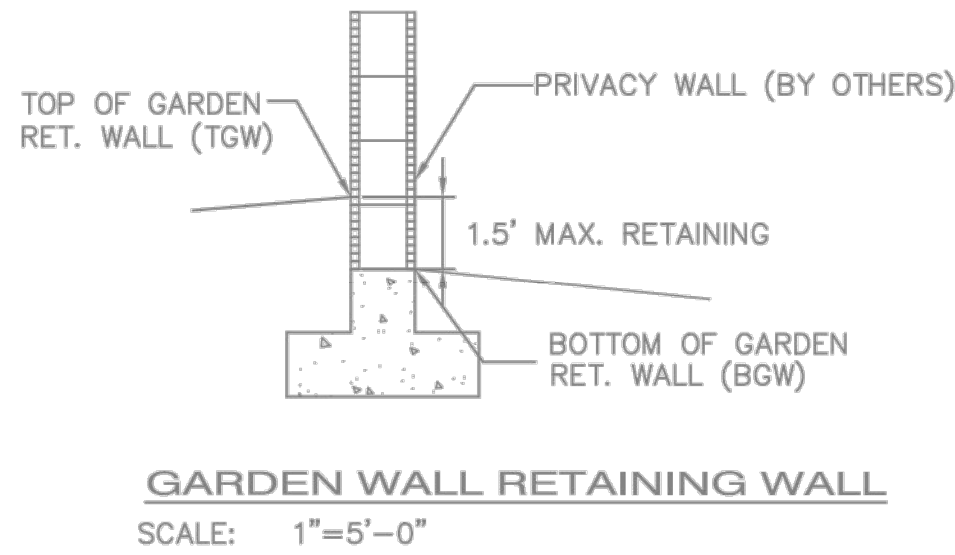
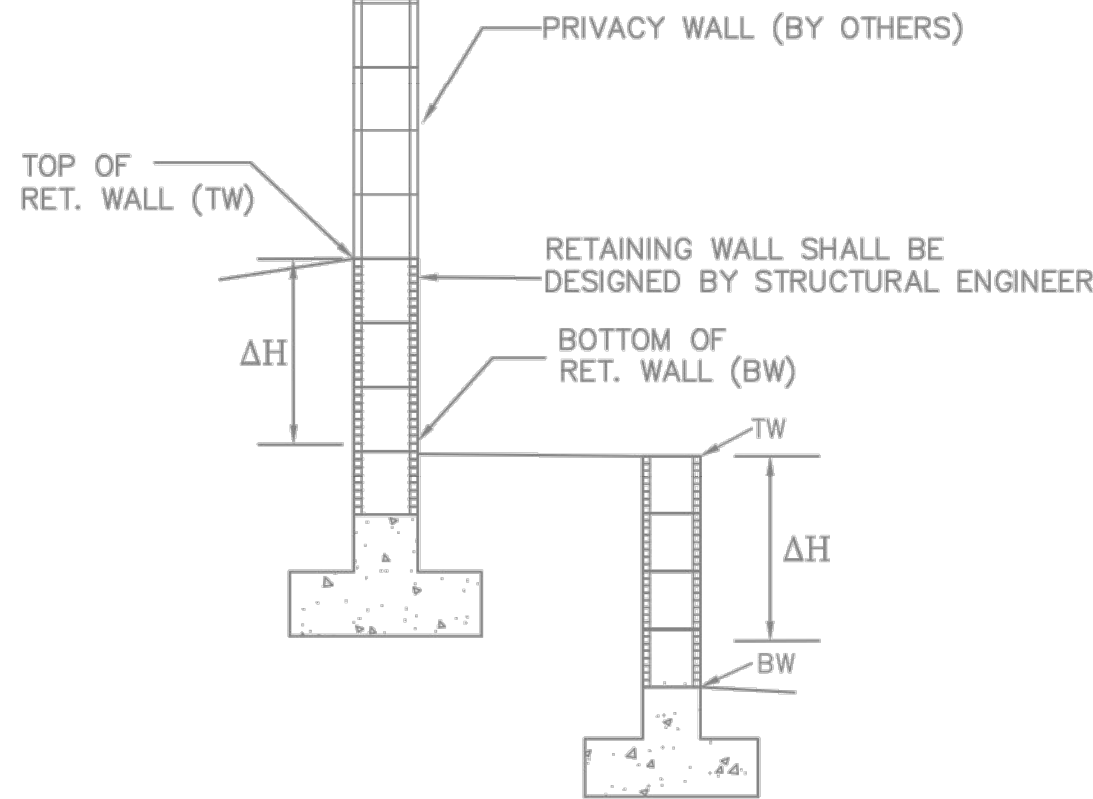
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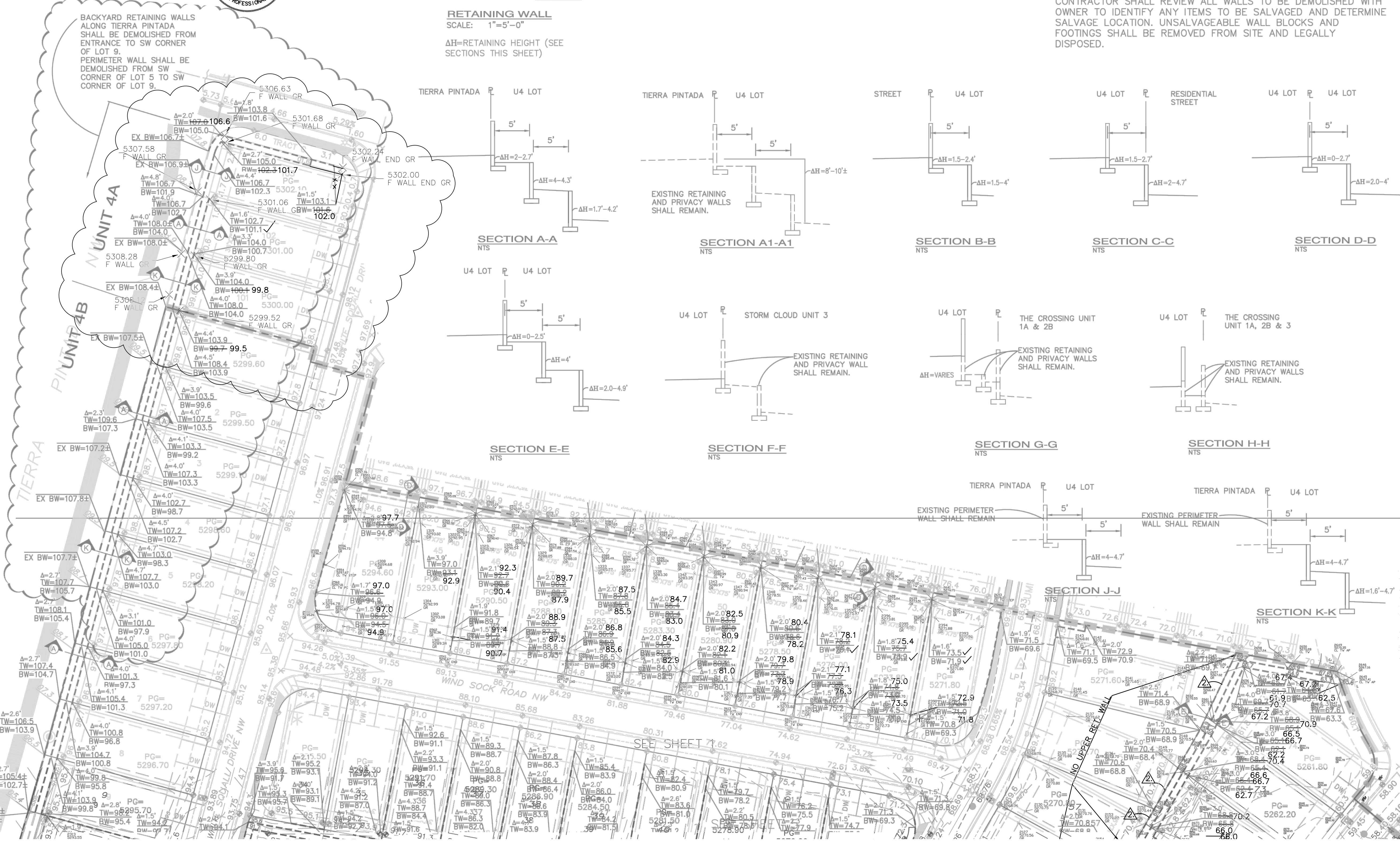
Asa Nilsson-Weber, 01-03-2019

Asa Nilsson-Weber, NMPE 17631 Date



RETAINING WALL
SCALE: 1"=5'-0"

ΔH=RETAINING HEIGHT (SEE SECTIONS THIS SHEET)



WALL DEMOLITION NOTES

PERIMETER/RETAINING WALLS ALONG TIERRA PINTADA SHALL BE DEMOLISHED WHERE NOTED ON PLANS.

PATCH & REPAIR EXISTING ADJOINING WALLS TO REMAIN.

THE CONTRACTOR SHALL VERIFY ALL CONDITIONS WITHIN THE CONTRACT LIMITS AND NOTIFY THE ENGINEER IN WRITING OF ANY DEVIATION FROM CONTRACT DOCUMENTS NECESSITATED BY FIELD CONDITIONS OR ITEMS NOT COVERED.

ALL DEMOLITION SHALL BE PERFORMED IN A SAFE AND ACCEPTABLE MANNER TO ALL AUTHORITIES HAVING JURISDICTION AND THE OWNER.

THOROUGHLY CLEAN ADJACENT AREAS OF DEBRIS CAUSED BY DEMOLITION WORK.

PRIOR TO ANY DEMOLITION, THE CONTRACTOR SHALL COORDINATE BRACING AND MAINTAIN THE STRUCTURAL INTEGRITY OF THE WALLS TO REMAIN.

THE CONTRACTOR SHALL PROVIDE ALL TEMPORARY BRACING, SHORING, SCAFFOLDING, ETC., WHICH ARE NECESSARY TO PREVENT COLLAPSE, SUBSIDENCE, DEFLECTION OR ANY OTHER TYPE OF DAMAGE.

CONTRACTOR SHALL REVIEW ALL WALLS TO BE DEMOLISHED WITH OWNER TO IDENTIFY ANY ITEMS TO BE SALVAGED AND DETERMINE SALVAGE LOCATION. UNSALVAGEABLE WALL BLOCKS AND FOOTINGS SHALL BE REMOVED FROM SITE AND LEGALLY DISPOSED.

GENERAL WALL NOTES:

1. RETAINING WALLS SHALL BE DESIGNED BY OTHERS.

LEGEND

- EXISTING RETAINING WALL TO REMAIN
- PROPOSED RETAINING WALL
- PROPOSED GARDEN RETAINING WALL (MAX. 1.5' RETAINING)
- TW= PROPOSED TOP/BOTTOM OF RETAINING WALL
- TGW= PROPOSED TOP/BOTTOM OF GARDEN RETAINING WALL
- Δ=2.7' PROPOSED RETAINING WALL HEIGHT

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1821 CG-102-REV 4B.dwg Mar 09,2018

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STORMCLOUD SUBDIVISION UNIT 4B & LOTS 101-103, UNIT 4A PULTE HOMES

RETAINING WALL PLAN NW

Date: 01-03-2018	No. 1 Revision: REVISED RET. WALL GRADES AND LIMITS OF PERIMETER WALL DEMOLITION.	Date: 3/9/18	Job No. 2174
Drawn By: ANW/THOR	ADDED SECTIONS J-J & K-K ON SHT 4.		SHEET 4
ANW			OF 5