

# CITY OF ALBUQUERQUE



March 23, 2017

Asa Nilsson-Weber, P.E.  
Isaacson & Arfman, PA  
128 Monroe St NE  
Albuquerque, NM 87108

**Re: Storm Cloud Unit 4 Lots 1-3  
Request for Engineer Pad Certification - Accepted  
Engineer's Stamp dated: 11-7-16 (H09D022A)  
Certification dated: 3-21-17**

Dear Ms. Nilsson-Weber,


Based upon the information provided in your submittal received 3/21/2017, the above referenced Certification is acceptable for building permit.

If you have any questions, you can contact me at 924-3999 or Totten Elliott at 924-3982.

PO Box 1293

Sincerely,

Albuquerque

*for* 

New Mexico 87103

Shahab Biazar, P.E.  
City Engineer, Planning Dept.  
Development Review Services

[www.cabq.gov](http://www.cabq.gov)

TE/SB  
C: email



# TIERRA PINTADA PHASE I CITY PROJECT #650272

## CHANNEL, CULVERT & STREET IMPROVEMENTS (CITY PROJECT)

### DRAINAGE CERTIFICATION

I, Fred C. Arfman, NMPE 7322, of the firm Isaacson & Arfman, P.A., hereby certify that this project has been graded and will drain in substantial compliance with and in accordance with the design intent of the approved plan dated 11/07/16. All retaining walls as shown on the Retaining Wall Plan (NW) dated 11/07/16 are in place and constructed per plan. The record information edited onto the original design document has been obtained by Russ Hugg, of the firm Surv-Tek, Inc. I further certify that I have personally visited the project site on 03/20/17 and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for Building Permit.

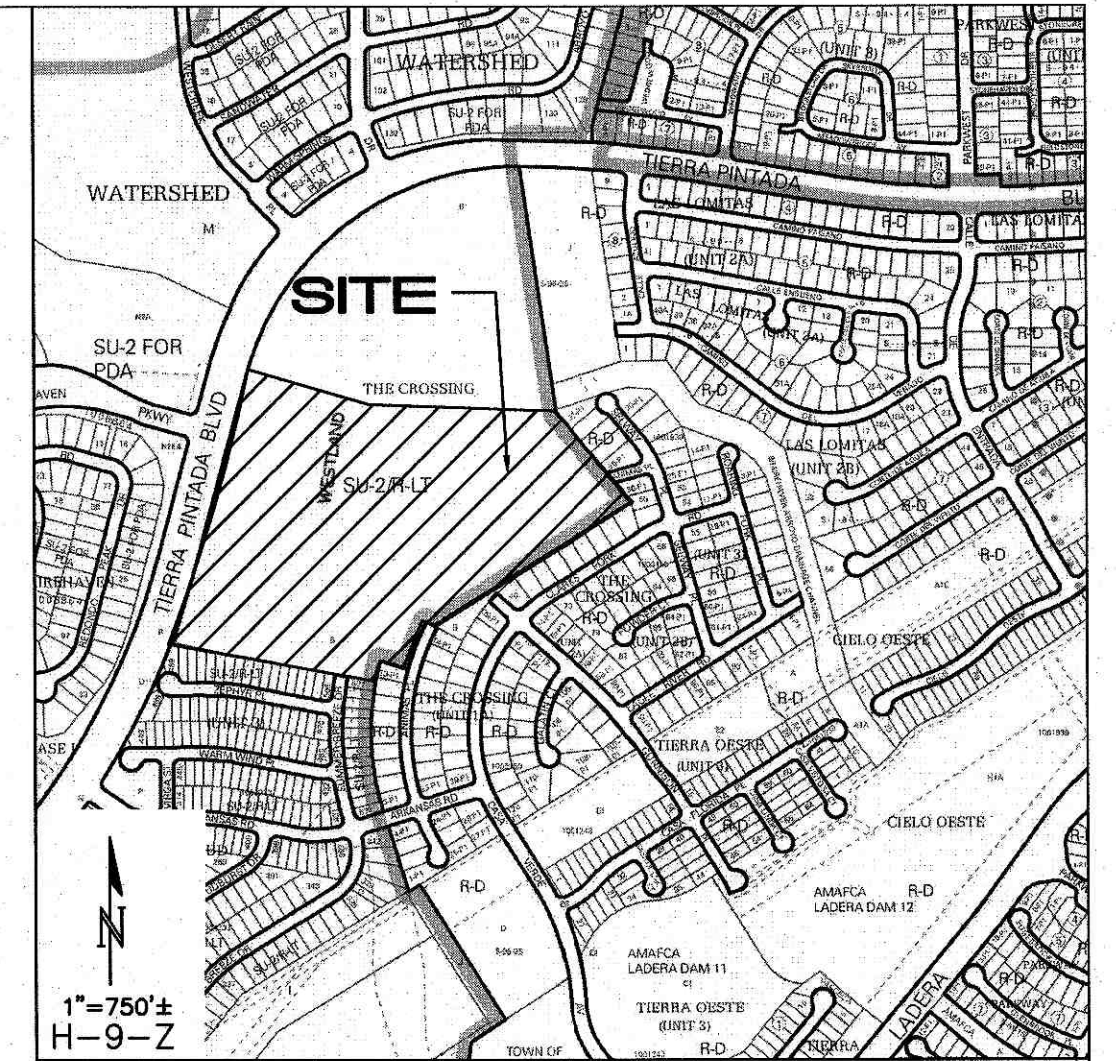
Additional individual lot grading for Lots 1-3 is required after home construction and prior to issuance of Perm CO to re-establish the individual lot surface drainage patterns.

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the grading and drainage aspects of this project. Those relying on this record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

*Fred C. Arfman*  
Fred C. Arfman NMPE 7322  
03.21.2017  
Date



CURVE	LENGTH	RADIUS	TANGENT	CHORD	CHORD BEARING	DELTA
C1	305.79'	3000.00'	153.03'	305.66'	N18°05'56"E	5°50'25"
C2	1444.55'	1100.00'	847.76'	1342.96'	N52°48'00"E	75°14'32"
C3	284.65'	4546.13'	142.37'	284.60'	S87°45'27"E	3°35'15"
C4	190.45'	762.00'	95.72'	189.95'	S50°44'51"W	14°19'12"
C5	208.45'	762.00'	104.88'	207.80'	S35°45'41"W	15°40'25"
C6	197.52'	920.00'	99.14'	197.14'	S21°46'26"W	12°18'05"
C7	84.44'	1032.00'	42.24'	84.41'	S13°16'45"W	4°41'16"



### PROJECT NOTES:

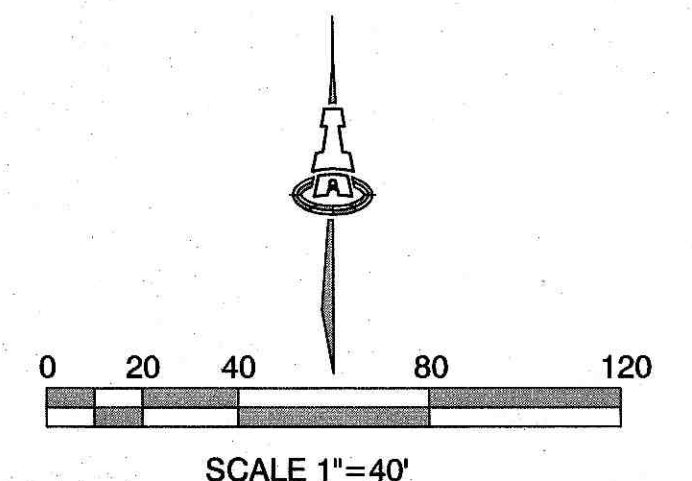
- EXST LEGAL: TRACTS B & J, THE CROSSINGS  
BENCHMARK: ACS MONUMENT 4-H9  
ELEVATION: 5209.315 (NAVD 1988)  
AREA: UNIT 4 AREA=31.03 AC.  
ENGINEER: ASA NILSSON-WEBER  
ISAACSON & ARFMAN, P.A.  
SURVEYOR: RUSTY HUGG  
SURVTEK, INC.  
FLOOD PLAIN: THE SITE LIES WITHIN ZONE "X",  
ZONE "AO" AND ZONE "AE"  
PER FIRM MAP 35001C0326G.

### NOTES:

- STREET GRADES ARE AT FLOWLINE.
- SEE SHEETS 5-8 FOR RETAINING WALL GRADES AND SECTIONS.
- SEE SHEET 9 FOR EXISTING WALLS TO BE DEMOLISHED AND EXISTING WALLS TO REMAIN

### LEGEND

- 5270 EXISTING CONTOUR
- 52 PROPOSED CONTOUR
- 78.3 PROPOSED ELEVATION
- 78.9 PROPOSED ELEV. AT TIERRA PINTADA R/W
- PG=5272.1 PAD GRADE ELEVATION
- STANDARD (STD) CURB & GUTTER
- MOUNTABLE (MTBL) CURB & GUTTER
- STORM DRAIN W/ MANHOLE
- STORM DRAIN INLET
- PROPOSED RETAINING WALL (DESIGN BY OTHERS)
- DW RECOMMENDED DRIVEWAY LOCATION



**ISAACSON & ARFMAN, P.A.**  
Consulting Engineering Associates  
128 Monroe Street N.E.  
Albuquerque, New Mexico 87108  
Ph. 505-268-8828 www.isaacson.com

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## STORMCLOUD SUBDIVISION UNITS 4A & 4B PULTE HOMES

## GRADING AND DRAINAGE PLAN NW

Date: 08-2016	No. Revision:	Date:	Job No. 2174
Drawn By: ANW/THOR			<b>SHEET 1</b>
Chk By: ANW			<b>OF 9</b>

SEE SHEET 2

SEE SHEET 3



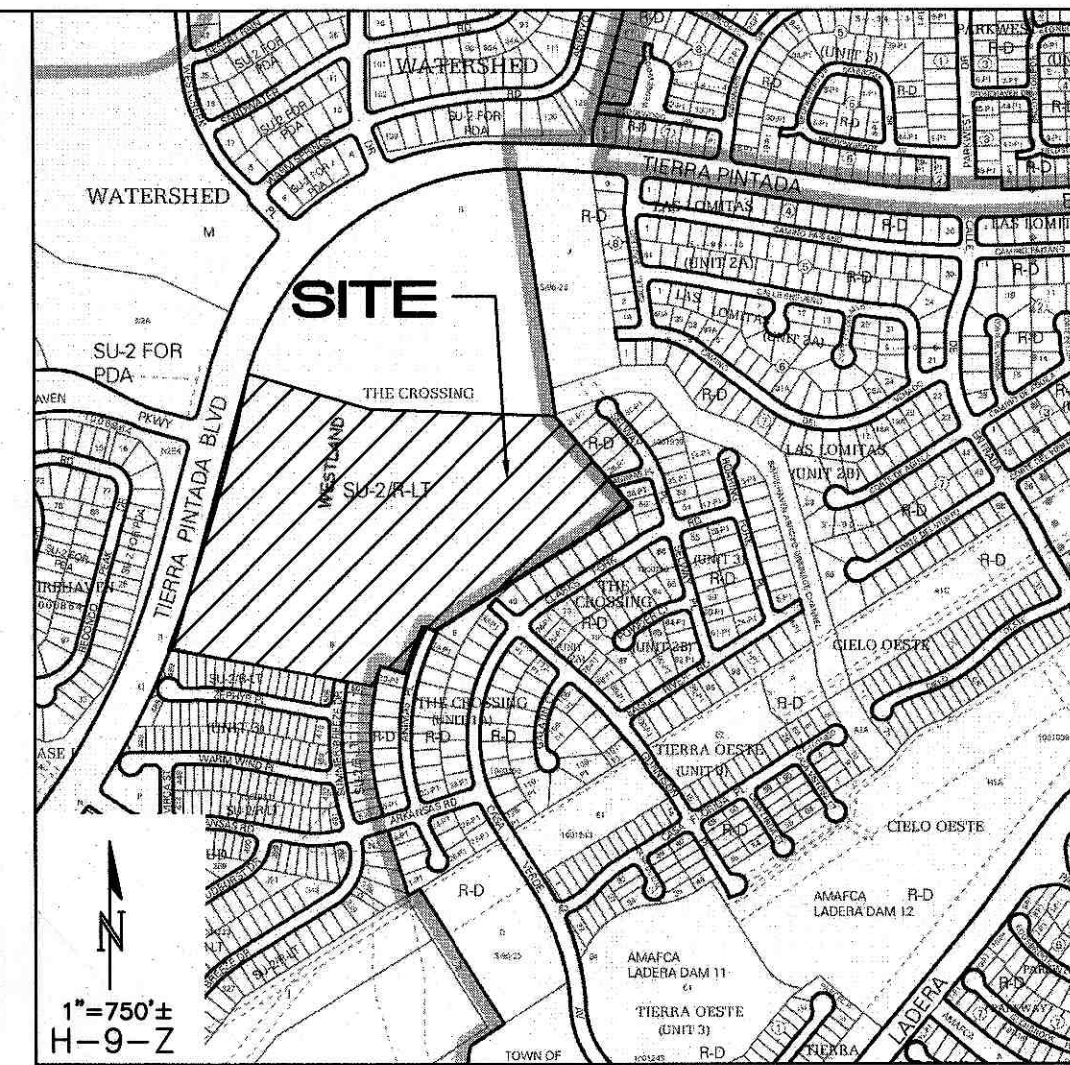
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*Fred C. Arfman*  
Fred C. Arfman NMPE 7322  
Date 03.21.2017



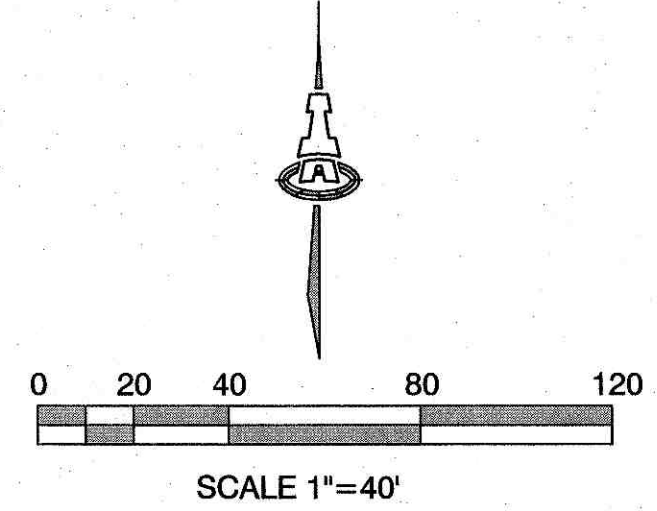
## GENERAL WALL NOTES:

- RETAINING WALL DESIGN BY OTHERS.
- ALL EXISTING RETAINING WALLS AND PERIMETER WALLS SHALL BE REMOVED, UNLESS OTHERWISE NOTED.
- SEE SHEET 8 FOR RETAINING WALL SECTIONS.
- SEE SHEET 9 FOR EXISTING WALLS TO BE DEMOLISHED AND EXISTING WALLS TO REMAIN.

## LEGEND

- EXISTING RETAINING WALL TO REMAIN
- PROPOSED RETAINING WALL
- PROPOSED GARDEN RETAINING WALL (MAX. 1.5' RETAINING)
- PROPOSED TOP/BOTTOM OF RETAINING WALL
- PROPOSED TOP/BOTTOM OF GARDEN RETAINING WALL
- PROPOSED RETAINING WALL HEIGHT

SEE SHEET 7



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## STORMCLOUD SUBDIVISION UNITS 4A & 4B PULTE HOMES

## RETAINING WALL PLAN NW

Date: 08-2016	No. Revision:	Date:	Job No. 2174
Drawn By: ANW/THOR			<b>SHEET 5</b>
Ckd By: ANW			<b>OF 9</b>

SEE SHEET 6





# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

**Project Title:** \_\_\_\_\_ **Building Permit #:** \_\_\_\_\_ **City Drainage #:** \_\_\_\_\_

**DRB#:** \_\_\_\_\_ **EPC#:** \_\_\_\_\_ **Work Order#:** \_\_\_\_\_

**Legal Description:** \_\_\_\_\_

**City Address:** \_\_\_\_\_

**Engineering Firm:** \_\_\_\_\_ **Contact:** \_\_\_\_\_

**Address:** \_\_\_\_\_

**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

**Owner:** \_\_\_\_\_ **Contact:** \_\_\_\_\_

**Address:** \_\_\_\_\_

**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

**Architect:** \_\_\_\_\_ **Contact:** \_\_\_\_\_

**Address:** \_\_\_\_\_

**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

**Other Contact:** \_\_\_\_\_ **Contact:** \_\_\_\_\_

**Address:** \_\_\_\_\_

**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

Check all that Apply:

**DEPARTMENT:**

- ☐ HYDROLOGY/ DRAINAGE  
☐ TRAFFIC/ TRANSPORTATION  
☐ MS4/ EROSION & SEDIMENT CONTROL

**TYPE OF SUBMITTAL:**

- ☐ ENGINEER/ ARCHITECT CERTIFICATION
- ☐ CONCEPTUAL G & D PLAN  
☐ GRADING PLAN  
☐ DRAINAGE MASTER PLAN  
☐ DRAINAGE REPORT  
☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)  
☐ TRAFFIC IMPACT STUDY (TIS)  
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☐ OTHER (SPECIFY) \_\_\_\_\_

**CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:**

- ☐ BUILDING PERMIT APPROVAL  
☐ CERTIFICATE OF OCCUPANCY
- ☐ PRELIMINARY PLAT APPROVAL  
☐ SITE PLAN FOR SUB'D APPROVAL  
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL  
☐ FINAL PLAT APPROVAL  
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE  
☐ FOUNDATION PERMIT APPROVAL  
☐ GRADING PERMIT APPROVAL  
☐ SO-19 APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ GRADING/ PAD CERTIFICATION  
☐ WORK ORDER APPROVAL  
☐ CLOMR/LOMR
- ☐ PRE-DESIGN MEETING  
☐ OTHER (SPECIFY) \_\_\_\_\_

IS THIS A RESUBMITTAL?: ☐ Yes ☐ No

**DATE SUBMITTED:** \_\_\_\_\_ **By:** \_\_\_\_\_

COA STAFF: \_\_\_\_\_ ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_