

# CITY OF ALBUQUERQUE

Planning Department  
David Campbell, Director



Mayor Timothy M. Keller

December 24, 2018

Richard Dourte, P.E.  
RHD Engineering, LLC.  
4305 Purple Sage Ave. NW  
Albuquerque, NM 87120

RE: **Heritage Marketplace Tract A2 (Burger King)**  
**7900 Ladera Dr NW**  
**Request for Certificate of Occupancy – Temporary**  
**Hydrology Inspection - Approved**  
**Revised Grading Plan Stamp Date 12/18/18 (File: H09D024A)**  
**Certification Dated: 12/22/18**

Dear Mr. Dourte:

PO Box 1293

Based on the submittal received on 12/24/18, this certification is approved in support of Temporary Certificate of Occupancy by Hydrology.

Albuquerque

Prior to Permanent Certificate of Occupancy (For Information):

NM 87103

1. All pond appurtenances (sidewalk culverts, slope protection, landscaping, equalizer pipes, etc.) need to be completed.
2. The sidewalk culverts must be inspected and approved by storm drain maintenance (Jason Rodriguez, jtrodriguez@cabq.gov or 857-8607).
3. The Drainage Covenant must be recorded with Bernalillo County and a copy included with the drainage certification.

www.cabq.gov

If you have any questions, please contact me at 924-3695 or dpeterson@cabq.gov.

Sincerely,

Dana Peterson, P.E.  
Senior Engineer, Planning Dept.  
Development Review Services

C: Email      Fox, Debi; Tena, Victoria; Sandoval, Darlene; Costilla, Michelle



# City of Albuquerque

Planning Department  
Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

**Project Title:** Burger King Restruant Building Permit #: \_\_\_\_\_ Hydrology File #: H09D24A

DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ Work Order#: \_\_\_\_\_

Legal Description: Tract a2, Heritage Market Place Sub'd

City Address: 7900 Ladera drive NW

**Applicant:** RHD Engineering, LLC Contact: Richard Dourte

Address: 4305 Purple Sage Ave. NW, Alb. NM, 87120

Phone#: 505.288.1621 Fax#: \_\_\_\_\_ E-mail: rhengineering@outlook.com

**Other Contact:** Joe Simons Architecture Contact: Joe Simons

Address: PO Box 67408, Albuquerque NM, 87193-7406

Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: joe@simonsarchitecture.com

**TYPE OF DEVELOPMENT:** \_\_\_\_\_ PLAT (# of lots) \_\_\_\_\_ RESIDENCE \_\_\_\_\_ DRB SITE ☒ ADMIN SITE

IS THIS A RESUBMITTAL? \_\_\_\_\_ Yes ☒ No

**DEPARTMENT** \_\_\_\_\_ TRANSPORTATION ☒ HYDROLOGY/DRAINAGE

Check all that Apply:

**TYPE OF SUBMITTAL:**

- ☒ ENGINEER/ARCHITECT CERTIFICATION  
☐ PAD CERTIFICATION  
☐ CONCEPTUAL G & D PLAN  
☐ GRADING PLAN  
☐ DRAINAGE REPORT  
☐ DRAINAGE MASTER PLAN  
☐ FLOODPLAIN DEVELOPMENT PERMIT APPLIC  
☐ ELEVATION CERTIFICATE  
☐ CLOMR/LOMR  
☐ TRAFFIC CIRCULATION LAYOUT (TCL)  
☐ TRAFFIC IMPACT STUDY (TIS)  
☐ STREET LIGHT LAYOUT  
☐ OTHER (SPECIFY) \_\_\_\_\_  
☐ PRE-DESIGN MEETING?

**TYPE OF APPROVAL/ACCEPTANCE SOUGHT:**

- ☐ BUILDING PERMIT APPROVAL  
☒ CERTIFICATE OF OCCUPANCY (Temp)  
☐ PRELIMINARY PLAT APPROVAL  
☐ SITE PLAN FOR SUB'D APPROVAL  
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL  
☐ FINAL PLAT APPROVAL  
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE  
☐ FOUNDATION PERMIT APPROVAL  
☐ GRADING PERMIT APPROVAL  
☐ SO-19 APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ GRADING/ PAD CERTIFICATION  
☐ WORK ORDER APPROVAL  
☐ CLOMR/LOMR  
☐ FLOODPLAIN DEVELOPMENT PERMIT  
☐ OTHER (SPECIFY) \_\_\_\_\_

DATE SUBMITTED: 12/24/18 By: Richard Dourte

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_

FEE PAID: \_\_\_\_\_



CAUTION:  
EXISTING UTILITIES ARE NOT SHOWN.  
IT SHALL BE THE SOLE RESPONSIBILITY  
OF THE CONTRACTOR TO CONDUCT ALL  
NECESSARY FIELD INVESTIGATIONS PRIOR  
TO ANY EXCAVATION TO DETERMINE THE  
ACTUAL LOCATION OF UTILITIES & OTHER  
IMPROVEMENTS.

DRAINAGE NARRATIVE:

1. THIS SITE IS NOT LOCATED WITHIN A FLOOD PLAIN. REFER  
TO THE FEMA EXCERPT THIS SHEET.

2. THIS SITE IS LOCATED WITHIN A MASTER PLAN DRAINAGE  
AREA. IT IS IDENTIFIED AS BASIN A4 WITHIN THE HERITAGE  
MARKET PLACE MASTER PLAN(H09-D024). BASIN A4 (PER  
THE AHYMO OUTPUT PAGE 5) ALLOTS 3.84 CFS FOR THIS  
PROPERTY (100YR, 6HR). THIS SITE GENERATES 3.58CF  
(100YR, 6HR) AS SHOWN ON SHEET 2. THUS THIS SITE  
COMPLIES WITH THE MASTER DRAINAGE PLAN.

3. THE REQUIRED FIRST FLUSH RETENTION IS 965CF. THE  
FIRST FLUSH POND VOLUME IS 1038CF, THUS ADEQUATE  
VOLUME IS RETAINED.

4. LANDSCAPED AREA = 38%  
IMPERVIOUS AREA = 62%

5. THE VOLUME OF WATER GENERATED BY THIS SITE FOR  
THE 100YR 6HR RAIN FALL EVENT IS 5449.6 CF. THE  
PONDING CAPACITY FOR THIS SITE IS 4523CF+1010CF=5533CF,  
THUS ADEQUATE VOLUME IS PROVIDED FOR THIS RAIN FALL  
EVENT. THE EMERGENCY OVERFLOW IS THE SIDEWALK  
SIDEWALK CULVERT LOCATED AT THE SE CORNER OF THE SITE.

DRAINAGE NARRATIVE FOR AA:

1. AN UNDER GROUND ELECTRICAL  
VAULT WAS UNCOVERED, THIS  
CREATED A NEED TO REMOVE A  
COUPLE OF PARKING SPOTS AND  
RAISE AREA.  
2. THE INSTALLATION OF A PNM  
TRANSFORMER AT THE SE CORNER OF  
THE SITE, THUS THE SE POND AND  
THE OVERFLOW SDWK CULVERT  
NEEDED TO MOVE TO THE NORTH, AS  
SHOWN. THE NEW POND VOLUME IS  
1240CF AND THE ORIGINAL POND  
VOLUME 1010CF. A NEW CHANNEL IS  
NEEDED FROM THE PARKING LOT  
OUTFALL TO THE NEW POND.

DRAINAGE CERTIFICATION WITH SURVEY WORK BY PROFESSIONAL SURVEYOR

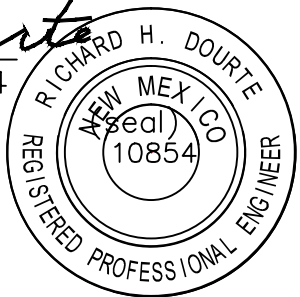
I, Richard Dourte, NMPE 10854 OF THE FIRM RHD Engineering, LLC HEREBY CERTIFY  
THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH  
THE DESIGN INTENT OF THE APPROVED PLAN DATED 12/18/18. THE RECORD INFORMATION  
EDITED ONTO THE ORIGINAL DESIGN DOCUMENTATION HAS BEEN OBTAINED BY David Acosta,  
NMPS 21082 OF THE FIRM Construction Survey Technologies, Inc. I FURTHER CERTIFY THAT  
I HAVE PERSONALLY VISITED THE PROJECT SITE ON 12/22/18 AND HAVE DETERMINED BY  
VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE  
CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.  
THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF THE REQUEST FOR Building C.O.  
(DESCRIBE ANY EXCEPTIONS AND /OR QUALIFICATIONS HERE IN A SEPARATE PARAGRAPH.)

- As-built grades are in red, flow lines elevations were shot, curb height 0.5'±.
- Please note the AA information.
- All pond appurtenances (sdwk culvert, slope protection landscaping, equalizer pipes, etc.) shall be in place prior to building CO being issued.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED  
ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF  
THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENTATION ARE ADVISED TO OBTAIN  
INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

Richard Dourte  
Richard Dourte, NMPE 10854

12/22/18  
Date

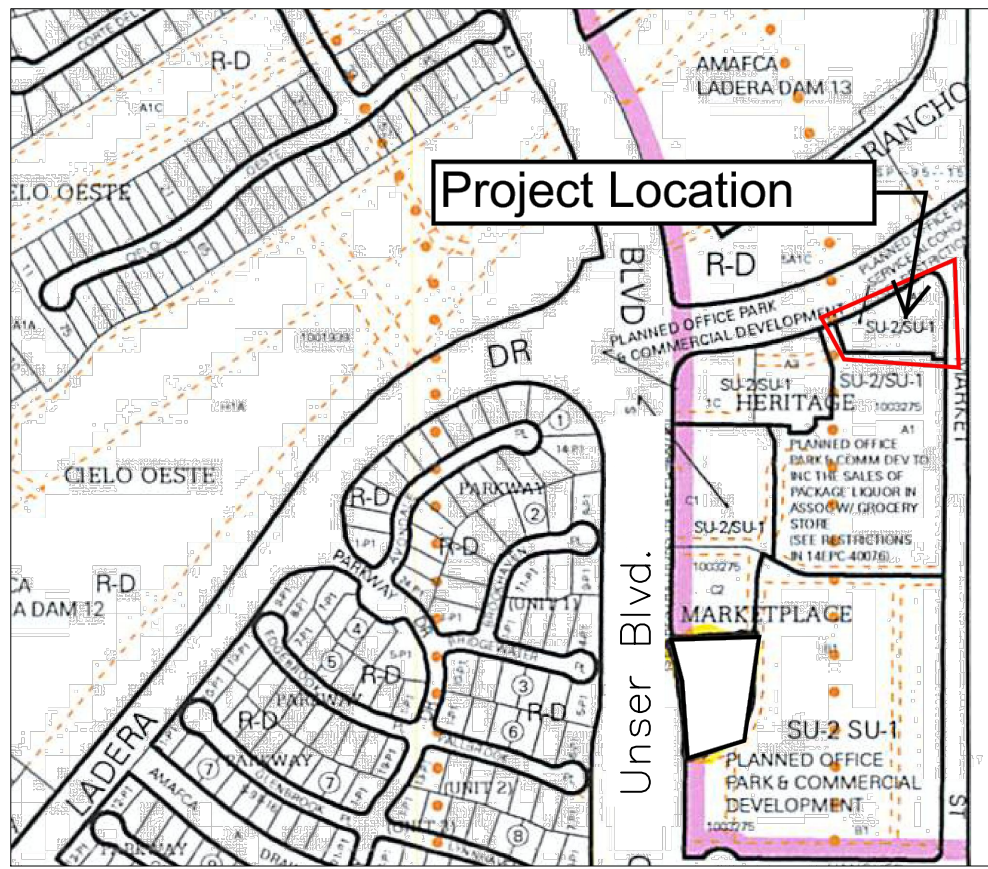
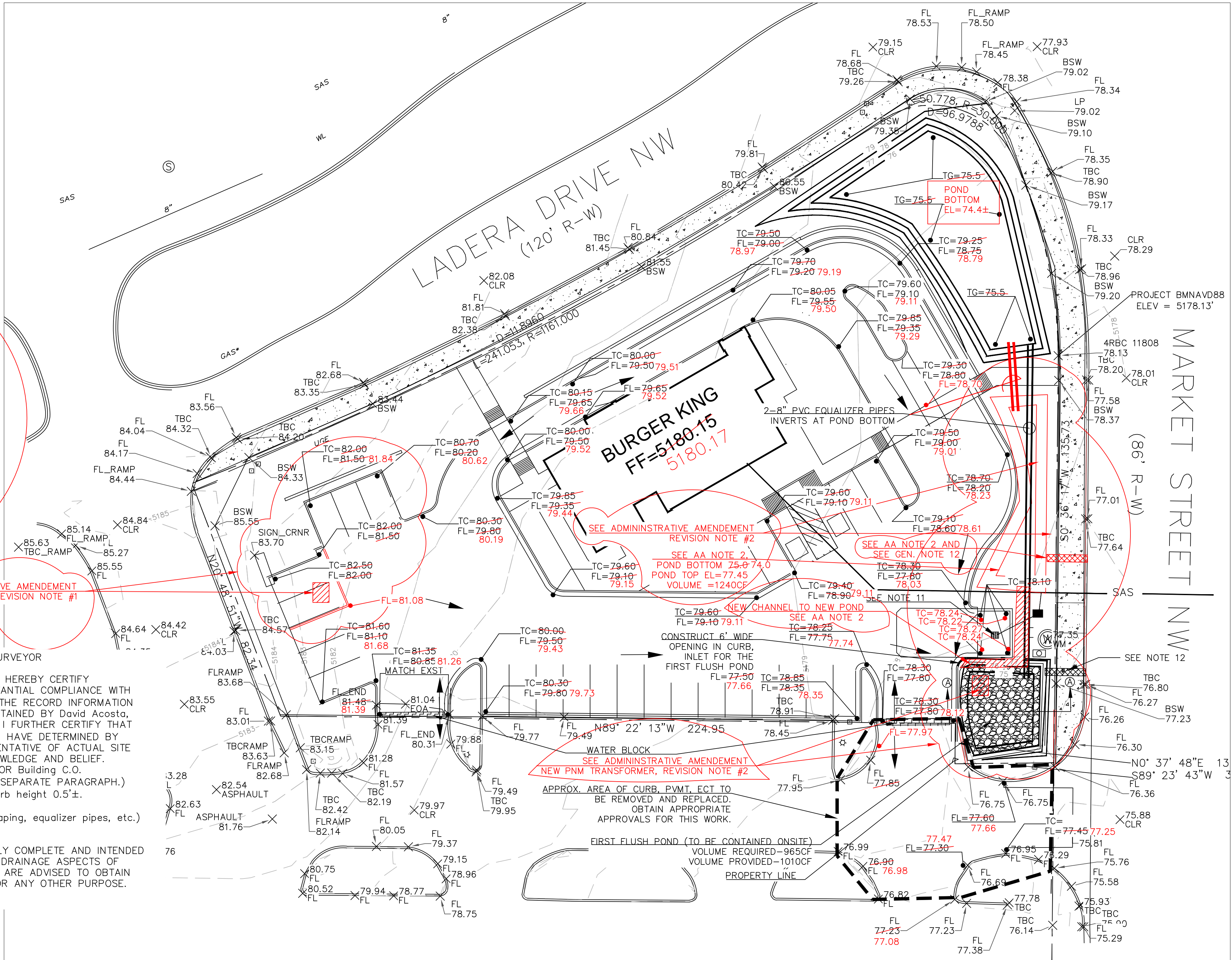
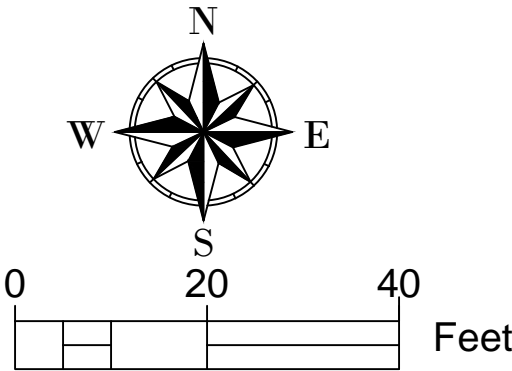


GENERAL NOTES:

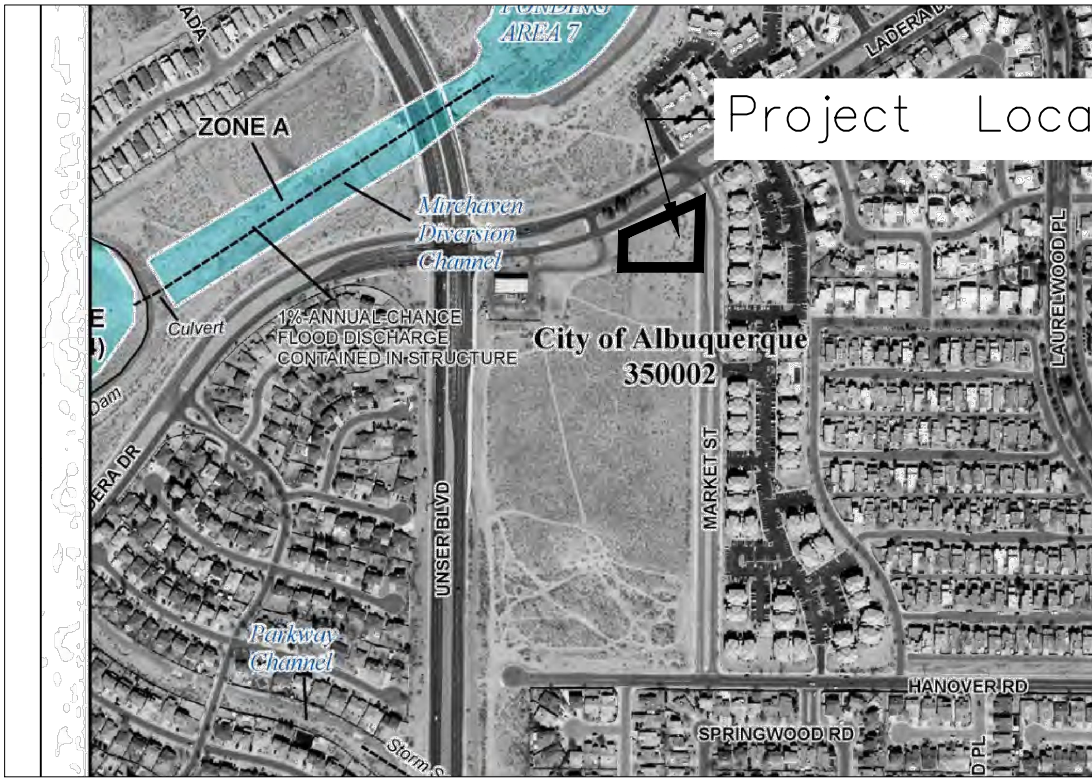
- THIS SITE IS NOT LOCATED IN A FEMA FLOOD HAZARD ZONE ( REFER  
TO THE FIRM MAP 35001C0326J.( EXCERPT ATTACHED).
- RHD ENGINEERING, LLC RECOMMENDS THAT THE OWNER OBTAIN A GEOTECHNICAL  
REPORT PRIOR TO DESIGN OF BUILDING FOOTING/FOUNDATION.
- MODIFICATIONS OR ADJUSTMENTS TO EXISTING DRAINAGE STRUCTURES/EROSION  
MITIGATION IMPROVEMENTS SHALL BE DONE IN THE SAME MANNER AS THE ORIGINAL  
IMPROVEMENT.
- ALL SWPPP REQUIREMENTS SHALL BE ADHERED TO.
- ALL WORK ON THIS PLAN SHALL BE DONE IN ACCORDANCE WITH CITY OF ALBUQUERQUE  
STANDARDS. ALL APPLICABLE PERMITS SHALL BE OBTAINED PRIOR TO WORK COMMENCING.
- ALL WORK IN THE RIGHT-OF-WAY SHALL BE DONE IN ACCORDANCE WITH CITY OF  
ALBUQUERQUE STANDARDS.
- THE SURVEY INFORMATION WAS PROVIDED BY CONSTRUCTION SURVEY TECHNOLOGIES,  
INC.
- FOR SITE DIMENSIONS, BUILDING AND INFRASTRUCTURE LOCATION REFER TO THE SITE  
PLAN.
- BUILD 2'X2' INLET WITH GRATE (EL=78.00) AND CONNECT TO GREASE TRAP THEN TO SAS  
SEWER SERVICE LINE, IN ACCORDANCE WITH APPLICABLE ABCVUA AND CITY OF  
ALBUQUERQUE CODES, STANDARDS AND REQUIREMENTS.
- CONSTRUCT 1-2' SIDEWALK CULVERT PER STD DWG. 2236 (SO-19 REQUIRED, SEE NOTES  
ON SHEET 2) INV. IN = 77.45, INV. OUT = 76.32± MATCH EXST. FL  
EXTEND STEEL COVER PLATE 1' PAST PROPERTY LINE, TACK WELD TIE DOWN BOLTS.

EROSION CONTROL NOTES:

- CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE  
PERMIT PRIOR TO BEGINNING WORK.
- CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING  
CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS  
INTO EXISTING RIGHT-OF-WAY.
- REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT  
ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE  
RESPONSIBILITY OF THE CONTRACTOR.
- ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND  
WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.



VICINITY MAP: H-09-Z



FIRM MAP: 35001C0326J

LEGAL DESCRIPTION:

TRACT A2, HERITAGE MARKET PLACE SUBDIVISION  
CITY OF ALBUQUERQUE  
BERNALILLO COUNTY, NEW MEXICO

NOTES:

- ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE  
NOTED.
- RETAIN THE FIRST .46' OF STORM RUNOFF FROM ENTIRE DEVELOPMENT TO CONFORM TO  
THE WATER QUALITY REQUIREMENTS

LEGEND

TC=46.00 FL=46.00	PROPOSED SPOT ELEVATION
FL=44.00	EXISTING SPOT ELEVATION
-----5601-----	EXISTING CONTOUR
-----5600-----	EXISTING INDEX CONTOUR
-----5601-----	PROPOSED CONTOUR
-----5600-----	PROPOSED INDEX CONTOUR
---	LOT LINE
---	CENTERLINE
---	RIGHT-OF-WAY
---	PROPOSED RETAINING WALL
---	PROPOSED ROCK FACE WALL
---	PROPOSED CURB AND GUTTER SEE DETAIL SHEET 2
---	PROPOSED EDGE OF CONCRETE
---	PROPOSED FLOW DIRECTION
---	EXISTING WALL
---	PROPOSED BASIN BOUNDARY

I HAVE PERSONALLY INSPECTED THE PROPERTY ON 12-06-17. NO  
EARTHWORK HAS BEEN PERFORMED AND THE SITE IS CONSISTENT WITH THE  
TOPO SHOWN.

Richard Dourte  
Richard Dourte P.E. #10854

ENGINEER'S SEAL	Title: BURGER KING 7900 LADERA DRIVE NW GRADING AND DRAINAGE PLAN REVISED APPROVED PLAN FOR ADMINISTRATIVE AMEND	DRAWN BY DATE
	RHD Engineering, LLC 4305 Purple Sage Ave. NW ALBUQUERQUE, NM 87120 (505) 288-1621	SHEET # 1 of 2
3/08/18 12/18/18	Richard Dourte P.E. #10854	JOB #



Project: Burger King on Ladera/Market Street near Unser  
Drainage Calculations - Zone 1

Depth (inches) at 100yr Storm					
Zone	P60	P360	P1440	P4days	P10days
1	1.87	2.20	2.66	3.12	3.67
2	2.01	2.35	2.75	3.30	3.95
3	2.14	2.60	3.10	3.95	4.90
4	2.23	2.90	3.65	4.70	5.95

Excess Precipitation, E(inches) - 6 HR Treatment				
Zone	A	B	C	D
1	0.44	0.67	0.99	1.97
2	0.53	0.78	1.13	2.12
3	0.66	0.92	1.29	2.36
4	0.80	1.08	1.46	2.64

Peak Discharge (CFS/ACRE) 100 YR Treatment				
Zone	A	B	C	D
1	1.29	2.03	2.87	4.37
2	1.56	2.28	3.14	4.70
3	1.87	2.60	3.45	5.02
4	2.20	2.92	3.73	5.25

*****EXISTING CONDITIONS*****		
Area	SQ. FT	Acres
A=	0	0.000
B=	0	0.000
C=	41137	0.944
D=	0	0.000
Total	41137	0.944
Weighted E=		0.990

Design Flows (CFS)			
Area	SQ. FT	Acres	Peak Discharge (100 YR)
A=	0	0.000	0.00
B=	0	0.000	0.00
C=	41137	0.944	2.71
D=	0	0.000	0.00
Total (CFS)			2.71

	V360	V1440	V4days	V10days
Cubic feet	3393.8	3393.8	3393.8	3393.8
Acre-ft	0.08	0.08	0.08	0.08

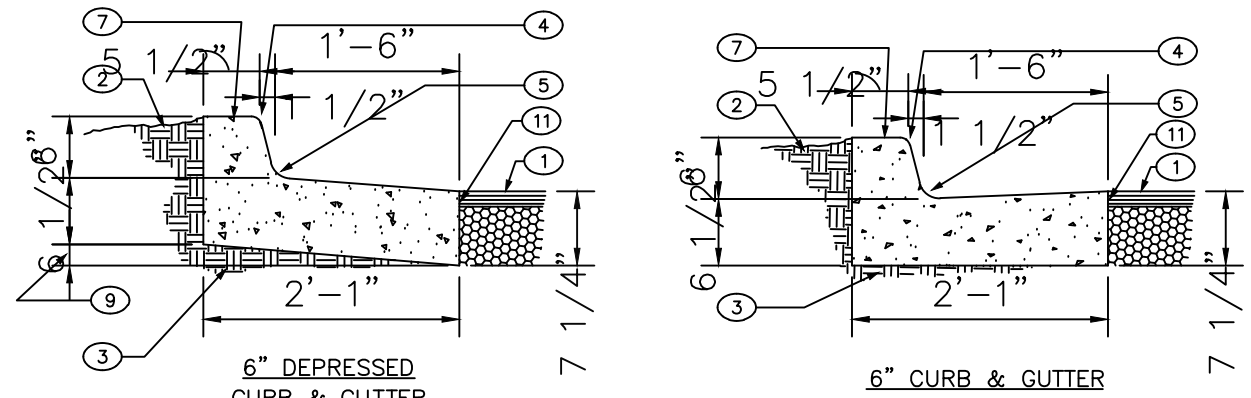
*****PROPOSED CONDITIONS*****		
Area	SQ. FT	Acres
A=	0	0.000
B=	0	0.000
C=	15964	0.366
D=	25173	0.578
Total	41137	0.944
Weighted E=		1.590

Design Flows (CFS)			
Area	SQ. FT	Acres	Peak Discharge (100 YR)
A=	0	0.000	0.00
B=	0	0.000	0.00
C=	15964	0.366	1.05
D=	25173	0.578	2.53
Total (CFS)			3.58

	V360	V1440	V4days	V10days
Cubic feet	5449.6	6414.6	7379.5	8533.3
Acre-ft	0.13	0.15	0.17	0.20

The 100 year peak flows for this developed site is 3.6 CFS and the existing flows are 2.7 CFS for an increase of 0.9 CFS. The 100 year 6 hr volume increase is 5450-3394 = 2056CF.

First Flush Ponding Requirement =  $A_D \cdot 0.46 \text{ in}/12\text{in}/\text{ft} = 965 \text{ CF}$



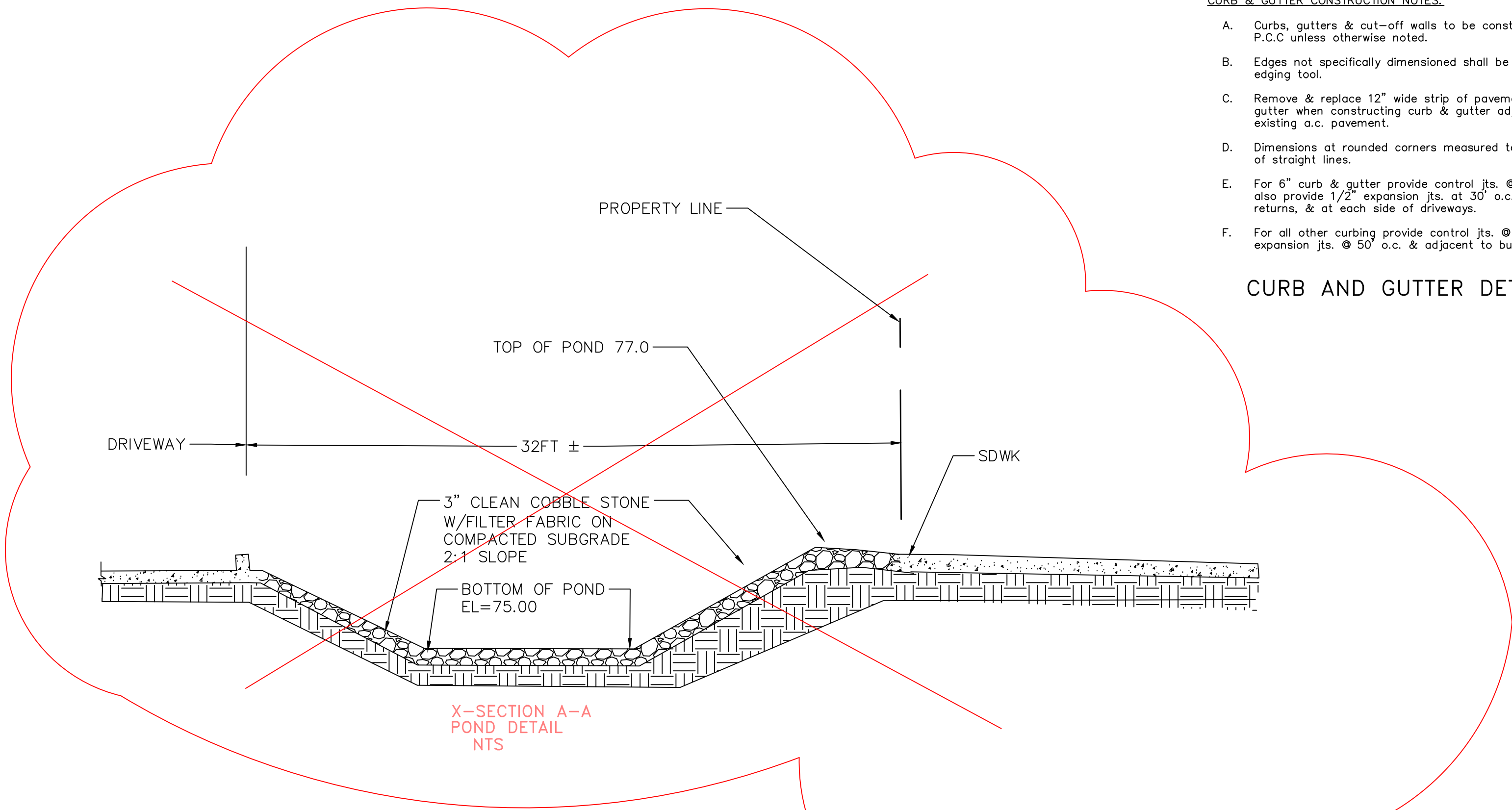
KEYED NOTES:

1. Pavement section per drawings and specs.
2. Finished grade.
3. Prepared subgrade.
4. 3/4" radius.
5. 1 1/2" radius.
6. Not used.
7. Concrete curb.
8. Not used.
9. Varies, depress as needed.
10. Not used.
11. Tack coat.

CURB & GUTTER CONSTRUCTION NOTES:

- A. Curbs, gutters & cut-off walls to be constructed of 3500 psi P.C.C unless otherwise noted.
- B. Edges not specifically dimensioned shall be edged with a 3/8" edging tool.
- C. Remove & replace 12" wide strip of pavement beyond lip of gutter when constructing curb & gutter adjacent to existing a.c. pavement.
- D. Dimensions at rounded corners measured to intersection of straight lines.
- E. For 6" curb & gutter provide control jts. @ 6' o.c. max, also provide 1/2" expansion jts. at 30' o.c. max, at curb returns, & at each side of driveways.
- F. For all other curbing provide control jts. @ 10' o.c., provide expansion jts. @ 50' o.c. & adjacent to buildings and walls.

CURB AND GUTTER DETAILS



S.O.19 : NOTICE TO CONTRACTORS

1	AN EXCAVATION / CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN THE CITY RIGHT-OF -WAY.
2	ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED FOR HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION AS REVISED THRU UPDATE #8.
3	TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM (CALL 811) FOR LOCATION OF EXISTING UTILITIES.
4	PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIBY THE ENGINEER SO THAT THE CONFLICT CAN BE RESLOVED WITH A MINIMUM AMOUNT OF DELAY.
5	BACKFILL SOMPACTON SHALL BE ACCORDING TO TRAFFIC / STREET USE.
6	MAINTENANCE OF THESE FACILITIES SHALL BE TE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7	WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.
8	THE WORK IN THE CITY ROW MUST BE INSPECTED AND ACCEPTED. THE CONTRACTOR MUST CONTACT JASON RODRIQUEZ AT 235-8016 AND CONSTRUCTION COORDINATION AT 924-3416 TO SCHEDULE INSPECTIONS.

SEE ADMININSTRATIVE AMENDEMENT  
REVISION NOTE #1

	ENGINEER'S SEAL	Title: BURGER KING 7900 LADERA DRIVE NW	DRAWN BY
			DATE
		DETAILS	Sheets
		Richard Dourte P.E. #10854	SHEET # 2 of 2
		<i>RHD Engineering, LLC</i> 4305 Purple Sage Ave. NW ALBUQUERQUE, NM 87120 (505) 288-1621	JOB # XXXX