

CITY OF ALBUQUERQUE



March 19, 2018

Richard Dourte, P.E.
RHD Engineering, LLC.
4305 Purple Sage Ave. NW
Albuquerque, NM 87120

RE: **Heritage Marketplace Tract A2 (Burger King)**
7900 Ladera Dr NW
Grading and Drainage Plan
Engineer's Stamp Date 03/08/18 (File: H09D024A)

Dear Mr. Dourte:

Based on the information provided in your submittal received 3/8/18, the Grading and Drainage Plan is approved for Site Plan Building Permit, Grading Permit, Building Permit and SO-19 Permit.

Please ensure this Grading Plan and the updated Landscaping Plan are included in the Site Plan For Building Permit, prior to final signatures.

Prior to Certificate of Occupancy:

1. The Drainage Covenant must be recorded with Bernalillo County and a copy included with the drainage certification.
2. Payment of Fee-in-Lieu will be required for any ponding areas not constructed and certified.

If you have any questions, please contact me at 924-3695 or dpeterson@cabq.gov.

Sincerely,

Dana Peterson, P.E.
Senior Engineer, Planning Dept.
Development Review Services



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 11/2016)

Project Title: Burger King **Building Permit #:** _____ **Hydrology File #:** H09D024A
DRB#: 100375 **EPC#:** 17DRB-70164 **Work Order#:** _____
Legal Description: TRACT A2, HERITAGE MARKET PLACE SUBDIVISION
City Address: 7900 LADERA DRIVE NW

Applicant: RHD Engineering, LLC **Contact:** Richard Dourte
Address: 4305 Purple Sage Ave. NW
Phone#: 505-288-1621 **Fax#:** _____ **E-mail:** rhdengineering@outlook.com
Other Contact: PJ Developments, Inc **Contact:** Pat Joseph
Address: _____
Phone#: _____ **Fax#:** _____ **E-mail:** pat@pjdev.com

Check all that Apply:

DEPARTMENT:

- HYDROLOGY/ DRAINAGE
- TRAFFIC/ TRANSPORTATION

TYPE OF SUBMITTAL:

- ENGINEER/ARCHITECT CERTIFICATION
- CONCEPTUAL G & D PLAN
- GRADING PLAN
- DRAINAGE MASTER PLAN
- DRAINAGE REPORT
- CLOMR/LOMR
- TRAFFIC CIRCULATION LAYOUT (TCL)
- TRAFFIC IMPACT STUDY (TIS)
- OTHER (SPECIFY) _____
- PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- BUILDING PERMIT APPROVAL
- CERTIFICATE OF OCCUPANCY
- PRELIMINARY PLAT APPROVAL
- SITE PLAN FOR SUB'D APPROVAL
- SITE PLAN FOR BLDG. PERMIT APPROVAL
- FINAL PLAT APPROVAL
- SIA/ RELEASE OF FINANCIAL GUARANTEE
- FOUNDATION PERMIT APPROVAL
- GRADING PERMIT APPROVAL
- SO-19 APPROVAL
- PAVING PERMIT APPROVAL
- GRADING/ PAD CERTIFICATION
- WORK ORDER APPROVAL
- CLOMR/LOMR
- OTHER (SPECIFY) _____

IS THIS A RESUBMITTAL?: Yes No

DATE SUBMITTED: March 9, 2018 By: Richard Dourte

COA STAFF: _____

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____

March 9, 2018

Mr. Dana Peterson, PE
Senior Engineer, Planning Department
Development Review Services
600 Second Street
City of Albuquerque, NM 87102

RE: Heritage Market Place, Tract A2 (Burger King) (H09D024A)

Dear Mr. Peterson,

Please find attached the drainage and grading plan for building permit for the site referenced above. Also note that there was a pond added at the northeast corner of this site. It was determined by the client that it would be desirable to contain the 100yr-6hr storm water volume onsite. Other than the addition of the new pond, the two equalizer pipes, and the emergency overflow now goes to Market Street, the drainage concept is the same as the approved "Conceptual Grading and Drainage Plan" stamp dated 12-27-17.

Also attached is an excerpt of an email from Walmart that approves this drainage plan.

Please note that the landscaping area has increased due to better information from the landscape architect.

With respect to your comments dated Jan 22, 2018 (attached):

1. The "conceptual" marking has been removed.
2. The Private Facility Drainage Covenant will be provided as a requirement for Building Permit with the exhibit "A" on a 8.5" x 11" paper that shows the as-built condition.

Thank you again for your time on this matter.

If you have any questions, please feel free to call me at 288-1621.

Sincerely,



Richard Dourte, PE
RHD Engineering, LLC

From: Steve Lenz [mailto:Steve@fronteradevelopment.com]
Sent: Thursday, March 8, 2018 1:08 PM
To: cp@consensusplanning.com
Cc: Richard Dourte <rhengineering@outlook.com>; Tom McCollum (tmgmtmmm@aol.com) <tmgmtmmm@aol.com>; pat@pjdev.net; Silmons Architecture #! <joe@silmonsarchitecture.com>
Subject: FW: BK Drainage plan on Ladera

See below from Wal-Mart – the plan is approved from their end. I will send onto the property owner and we will engage our attorney to draft the TCE and any other documents underlying Lessee requires. I'm thinking we will use an attorney that already has Walmart approved TCE forms and start there. Should be only a couple of days to draft these.

In the meantime, I will send the approved plan and email chain from Wal-Mart to the property owner and their attorney, and see if we can get an email acknowledging their approval pending proper documenting of TCE, etc.

Thank you,

Steve Lenz
Frontera Development, LLC
2850 E. Camelback Rd, Ste. #180
Phoenix, AZ 85016
480-315-9612 (Direct)
602-677-1317 (Mobile)
www.fronteradevelopment.com

From: Darryl Spinks [mailto:darryl.spinks@walmart.com]
Sent: Thursday, March 08, 2018 1:01 PM
To: Steve Lenz; Nash Varadarajan
Subject: RE: BK Drainage plan on Ladera

Steve, this is approved. Let's wrap this up.

From: Steve Lenz [mailto:Steve@fronteradevelopment.com]
Sent: Thursday, March 08, 2018 11:43 AM
To: Nash Varadarajan <Nash.Varadarajan@walmart.com>
Cc: Darryl Spinks <darryl.spinks@walmart.com>
Subject: EXT: FW: BK Drainage plan on Ladera

Nash:

I believe that Burger King has successfully navigated a solution with the city hydrologist. See notes below, essentially they have the city's approval to have any emergency overflow of the pond exit east (by means of a covered culvert across the sidewalk area) onto Market Street instead of overflowing onto the Wal-Mart property, which completely eliminates any flow onto the Wal-Mart tract.

Please take a look and let me know if this meets your approval.

Thank you,

Steve Lenz
Frontera Development, LLC
2850 E. Camelback Rd, Ste. #180
Phoenix, AZ 85016
480-315-9612 (Direct)
602-677-1317 (Mobile)
www.fronteradevelopment.com

CITY OF ALBUQUERQUE



January 22, 2018

Richard Dourte, P.E.
RHD Engineering, LLC.
4305 Purple Sage Ave. NW
Albuquerque, NM 87120

RE: **Heritage Marketplace Tract A2 (Burger King)**
7900 Ladera Dr NW
Grading and Drainage Plan
Engineer's Stamp Date 12/27/17 (File: H09D024A)

Dear Mr. Dourte:

Based on the information provided in your submittal received 12/27/17, the Grading and Drainage Plan is approved for Site Plan Building Permit with the condition that written permission from the adjoining property owner (Walmart) for work on their property be received prior to DRB approval of the Site Plan.

Prior to Building Permit:

1. A detailed grading and drainage plan, with the "conceptual" markings removed will be required for Building Permit.
2. A Private Facility Drainage Covenant is required for the stormwater quality pond. The original notarized form, exhibit A (legible on 8.5x11 paper), and recording fee (\$25, payable to City of Albuquerque) must be turned into DRC (4th, Plaza del Sol) for routing. Please contact Charlotte LaBadie (clabadie@cabq.gov, 924-3996) or Madeline Carruthers (mtafoya@cabq.gov, 924-3997) regarding the routing and recording process for covenants.
3. Additional comments may be provided at Building Permit, based on the outcome of the above remarks and level of detail shown on plans.

Prior to Certificate of Occupancy:

4. The Private Facility Drainage Covenant must be recorded with Bernalillo County and a copy included with the drainage certification.
5. Payment of Fee-in-Lieu will be required for any ponding areas not constructed and certified.

If you have any questions, please contact me at 924-3695 or dpeterson@cabq.gov.

Sincerely,

Dana Peterson, P.E.
Senior Engineer, Planning Dept.
Development Review Services

Orig: Drainage file

GENERAL NOTES:

- THIS SITE IS NOT LOCATED IN A FEMA FLOOD HAZARD ZONE (REFER TO THE FIRM MAP 35001C0326J, (EXCERPT ATTACHED).
- RHD ENGINEERING, LLC RECOMMENDS THAT THE OWNER OBTAIN A GEOTECHNICAL REPORT PRIOR TO DESIGN OF BUILDING FOOTING/FOUNDATION.
- MODIFICATIONS OR ADJUSTMENTS TO EXISTING DRAINAGE STRUCTURES/EROSION MITIGATION IMPROVEMENTS SHALL BE DONE IN THE SAME MANNER AS THE ORIGINAL IMPROVEMENT.
- ALL SWPPP REQUIREMENTS SHALL BE ADHERED TO.
- ALL WORK ON THIS PLAN SHALL BE DONE IN ACCORDANCE WITH CITY OF ALBUQUERQUE STANDARDS. ALL APPLICABLE PERMITS SHALL BE OBTAINED PRIOR TO WORK COMMENCING.
- ALL WORK IN THE RIGHT-OF-WAY SHALL BE DONE IN ACCORDANCE WITH CITY OF ALBUQUERQUE STANDARDS.
- THE SURVEY INFORMATION WAS PROVIDED BY CONSTRUCTION SURVEY TECHNOLOGIES, INC.
- FOR SITE DIMENSIONS, BUILDING AND INFRASTRUCTURE LOCATION REFER TO THE SITE PLAN.
- BUILD 2'X2' INLET WITH GRATE (FL=78.00) AND CONNECT TO GREASE TRAP THEN TO SAS SEWER SERVICE LINE, IN ACCORDANCE WITH APPLICABLE ABCVUA AND CITY OF ALBUQUERQUE CODES, STANDARDS AND REQUIREMENTS.
- CONSTRUCT 1-2' SIDEWALK CULVERT PER STD DWG. 2236 (SO-19 REQUIRED, SEE NOTES ON SHEET 2) INV. IN = 77.45, INV. OUT = 76.32; MATCH EXST. FL EXTEND STEEL COVER PLATE 1' PAST PROPERTY LINE, TACK WELD TIE DOWN BOLTS.

EROSION CONTROL NOTES:

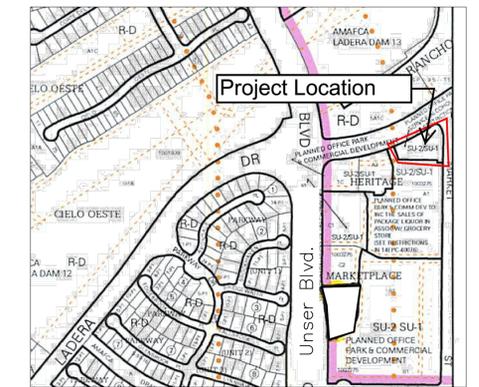
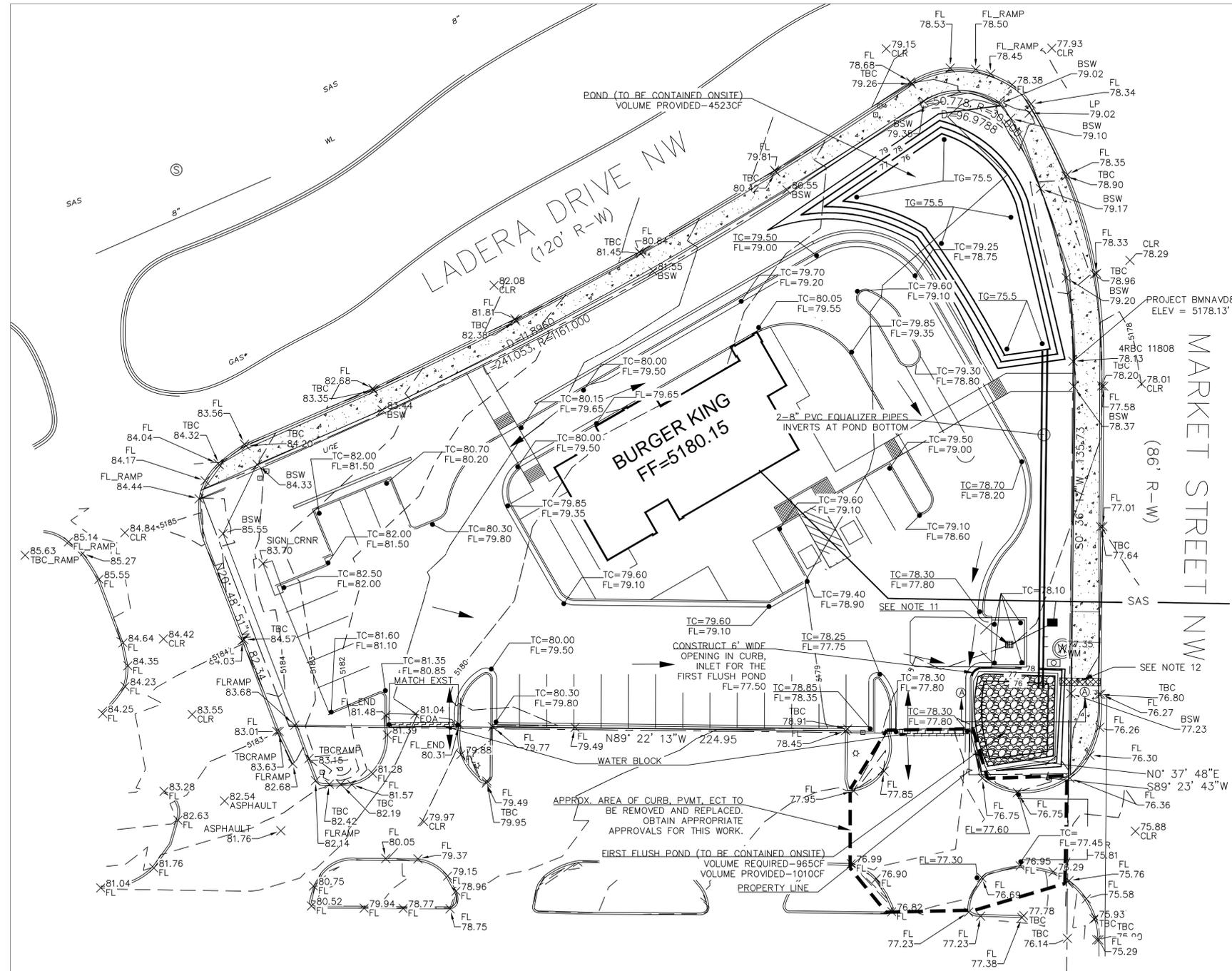
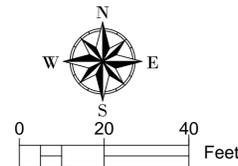
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
- CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
- REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.

CAUTION:

EXISTING UTILITIES ARE NOT SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES & OTHER IMPROVEMENTS.

DRAINAGE NARRATIVE:

- THIS SITE IS NOT LOCATED WITHIN A FLOOD PLAIN. REFER TO THE FEMA EXCERPT THIS SHEET.
- THIS SITE IS LOCATED WITHIN A MASTER PLAN DRAINAGE AREA. IT IS IDENTIFIED AS BASIN A4 WITHIN THE HERITAGE MARKET PLACE MASTER PLAN(H09-D024). BASIN A4 (PER THE AHYMO OUTPUT PAGE 5) ALLOTS 3.84 OFS FOR THIS PROPERTY (100YR, 6HR). THIS SITE GENERATES 3.58CF (100YR, 6HR) AS SHOWN ON SHEET 2. THUS THIS SITE COMPLIES WITH THE MASTER DRAINAGE PLAN.
- THE REQUIRED FIRST FLUSH RETENTION IS 965CF. THE FIRST FLUSH POND VOLUME IS 1038CF, THUS ADEQUATE VOLUME IS RETAINED.
- LANDSCAPED AREA = 38%
IMPERVIOUS AREA = 62%
- THE VOLUME OF WATER GENERATED BY THIS SITE FOR THE 100YR 6HR RAIN FALL EVENT IS 5449.6 CF. THE PONDING CAPACITY FOR THIS SITE IS 4523CF+1010CF=5533CF, THUS ADEQUATE VOLUME IS PROVIDED FOR THIS RAIN FALL EVENT. THE EMERGENCY OVERFLOW IS THE SIDEWALK SIDEWALK CULVERT LOCATED AT THE SE CORNER OF THE SITE.



VICINITY MAP: H-09-7



FIRM MAP: 35001C0326J

LEGAL DESCRIPTION:

TRACT A2, HERITAGE MARKET PLACE SUBDIVISION
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO

NOTES:

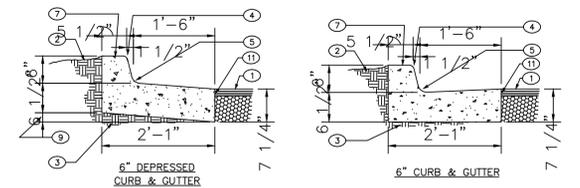
- ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.
- RETAIN THE FIRST 46' OF STORM RUNOFF FROM ENTIRE DEVELOPMENT TO CONFORM TO THE WATER QUALITY REQUIREMENTS

LEGEND

TC=46.00	PROPOSED SPOT ELEVATION
FL=46.00	EXISTING SPOT ELEVATION
---	EXISTING CONTOUR
---	EXISTING INDEX CONTOUR
---	PROPOSED CONTOUR
---	PROPOSED INDEX CONTOUR
---	LOT LINE
---	CENTERLINE
---	RIGHT-OF-WAY
---	PROPOSED RETAINING WALL
---	PROPOSED ROCK FACE WALL
---	PROPOSED CURB AND GUTTER SEE DETAIL SHEET 2
---	PROPOSED EDGE OF CONCRETE
---	PROPOSED FLOW DIRECTION
---	EXISTING WALL
---	PROPOSED BASIN BOUNDARY

I HAVE PERSONALLY INSPECTED THE PROPERTY ON 12-06-17. NO EARTHWORK HAS BEEN PERFORMED AND THE SITE IS CONSISTENT WITH THE TOPO SHOWN.
Richard Dourte
Richard Dourte P.E. #10854

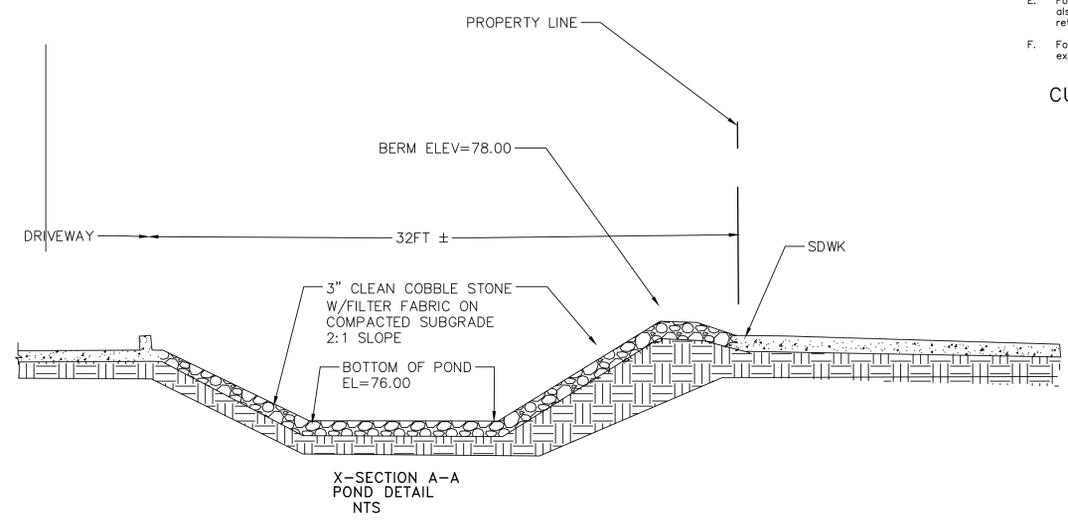
	ENGINEER'S SEAL Title: BURGER KING 7900 LADERA DRIVE NW GRADING AND DRAINAGE PLAN	DRAWN BY DATE
	3/08/18	SHEET # 1 of 2
Richard Dourte P.E. #10854	RHD Engineering, LLC 4305 Purple Sage Ave. NW ALBUQUERQUE, NM 87120 (505) 288-1621	JOB #



- KEYED NOTES:
1. Pavement section per drawings and specs.
 2. Finished grade.
 3. Prepared subgrade.
 4. 3/4" radius.
 5. 1 1/2" radius.
 6. Not used.
 7. Concrete curb.
 8. Not used.
 9. Varies, depress as needed.
 10. Not used.
 11. Tack coat.

- CURB & GUTTER CONSTRUCTION NOTES:
- A. Curbs, gutters & cut-off walls to be constructed of 3500 psi P.C.C unless otherwise noted.
 - B. Edges not specifically dimensioned shall be edged with a 3/8" edging tool.
 - C. Remove & replace 12" wide strip of pavement beyond lip of gutter when constructing curb & gutter adjacent to existing o.c. pavement.
 - D. Dimensions at rounded corners measured to intersection of straight lines.
 - E. For 6" curb & gutter provide control jts. @ 6' o.c. max, also provide 1/2" expansion jts. at 30' o.c. max, at curb returns, & at each side of driveways.
 - F. For all other curbing provide control jts. @ 10' o.c., provide expansion jts. @ 50' o.c. & adjacent to buildings and walls.

CURB AND GUTTER DETAILS



S.O.19 : NOTICE TO CONTRACTORS

1. AN EXCAVATION / CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN THE CITY RIGHT-OF-WAY.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED FOR HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION AS REVISED THRU UPDATE #8.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM (CALL 811) FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL SOMPACTATION SHALL BE ACCORDING TO TRAFFIC / STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE TE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.
8. THE WORK IN THE CITY ROW MUST BE INSPECTED AND ACCEPTED, THE CONTRACTOR MUST CONTACT JASON RODRIGUEZ AT 235-8016 AND CONSTRUCTION COORDINATION AT 924-3416 TO SCHEDULE INSPECTIONS.

Project: Burger King on Ladera/Market Street near Unser
Drainage Calculations - Zone 1

Depth (inches) at 100yr Storm					
Zone	P ₆₀	P ₃₆₀	P ₁₄₄₀	P _{4days}	P _{10days}
1	1.87	2.20	2.66	3.12	3.67
2	2.01	2.35	2.75	3.30	3.95
3	2.14	2.60	3.10	3.95	4.90
4	2.23	2.90	3.65	4.70	5.95

Excess Precipitation, E(inches) - 6 HR				
Zone	Treatment			
	A	B	C	D
1	0.44	0.67	0.99	1.97
2	0.53	0.78	1.13	2.12
3	0.66	0.92	1.29	2.36
4	0.80	1.08	1.46	2.64

Weighted E = ((E_A*A_A)+(E_B*A_B)+(E_C*A_C)+(E_D*A_D)/(A_A+A_B+A_C+A_D)
V₃₆₀=(Weighted E *P₃₆₀)/12 in/ft
V₁₄₄₀= V₃₆₀+A_D*(P₁₄₄₀-P₃₆₀)/12in/ft
V_{4days}=V₃₆₀+A_D*(P_{4days}-P₃₆₀)/12in/ft
V_{10days}=V₃₆₀+A_D*(P_{10days}-P₃₆₀)/12in/ft

Peak Discharge (CFS/ACRE) 100 YR				
Zone	Treatment			
	A	B	C	D
1	1.29	2.03	2.87	4.37
2	1.56	2.28	3.14	4.70
3	1.87	2.60	3.45	5.02
4	2.20	2.92	3.73	5.25

*****EXISTING CONDITIONS*****

Area	SQ. FT	Acres
A=	0	0.000
B=	0	0.000
C=	41137	0.944
D=	0	0.000
Total	41137	0.944
Weighted E=		0.990

Design Flows (CFS)			
Area	SQ. FT	Acres	Peak Discharge (100 YR)
A=	0	0.000	0.00
B=	0	0.000	0.00
C=	41137	0.944	2.71
D=	0	0.000	0.00
Total (CFS)			2.71

	V ₃₆₀	V ₁₄₄₀	V _{4days}	V _{10days}
Cubic feet	3393.8	3393.8	3393.8	3393.8
Acre-ft	0.08	0.08	0.08	0.08

*****PROPOSED CONDITIONS*****

Area	SQ. FT	Acres
A=	0	0.000
B=	0	0.000
C=	15964	0.366
D=	25173	0.578
Total	41137	0.944
Weighted E=		1.590

Design Flows (CFS)			
Area	SQ. FT	Acres	Peak Discharge (100 YR)
A=	0	0.000	0.00
B=	0	0.000	0.00
C=	15964	0.366	1.05
D=	25173	0.578	2.53
Total (CFS)			3.58

	V ₃₆₀	V ₁₄₄₀	V _{4days}	V _{10days}
Cubic feet	5449.6	6414.6	7379.5	8533.3
Acre-ft	0.13	0.15	0.17	0.20

The 100 year peak flows for this developed site is 3.6 CFS and the existing flows are 2.7 CFS for an increase of 0.9 CFS. The 100 year 6 hr volume increase is 5450-3394 = 2056CF.

First Flush Ponding Requirement = A_D *0.46 in/12in/ft = 965 CF

	Title: BURGER KING 7900 LADERA DRIVE NW	DRAWN BY DATE
	DETAILS	SHEET # 2 of 2
Richard Dourte P.E. #10854	R.H.D Engineering, LLC 4305 Purple Sage Ave. NW ALBUQUERQUE, NM 87120 (505) 288-1621	JOB # XXXX