

CITY OF ALBUQUERQUE



December 26, 2018

Joe Simons, RA
Simons Architecture
P.O. Box 67408
Albuquerque, NM 193

Re: Burger King
7900 Ladera NW
30-Day Temporary Certificate of Occupancy- Transportation Development
Transportation Development Final Inspection
Engineer's Stamp dated 3-23-18 (H09D024A)
Certification dated 12-19-18

Dear Mr. Simons,

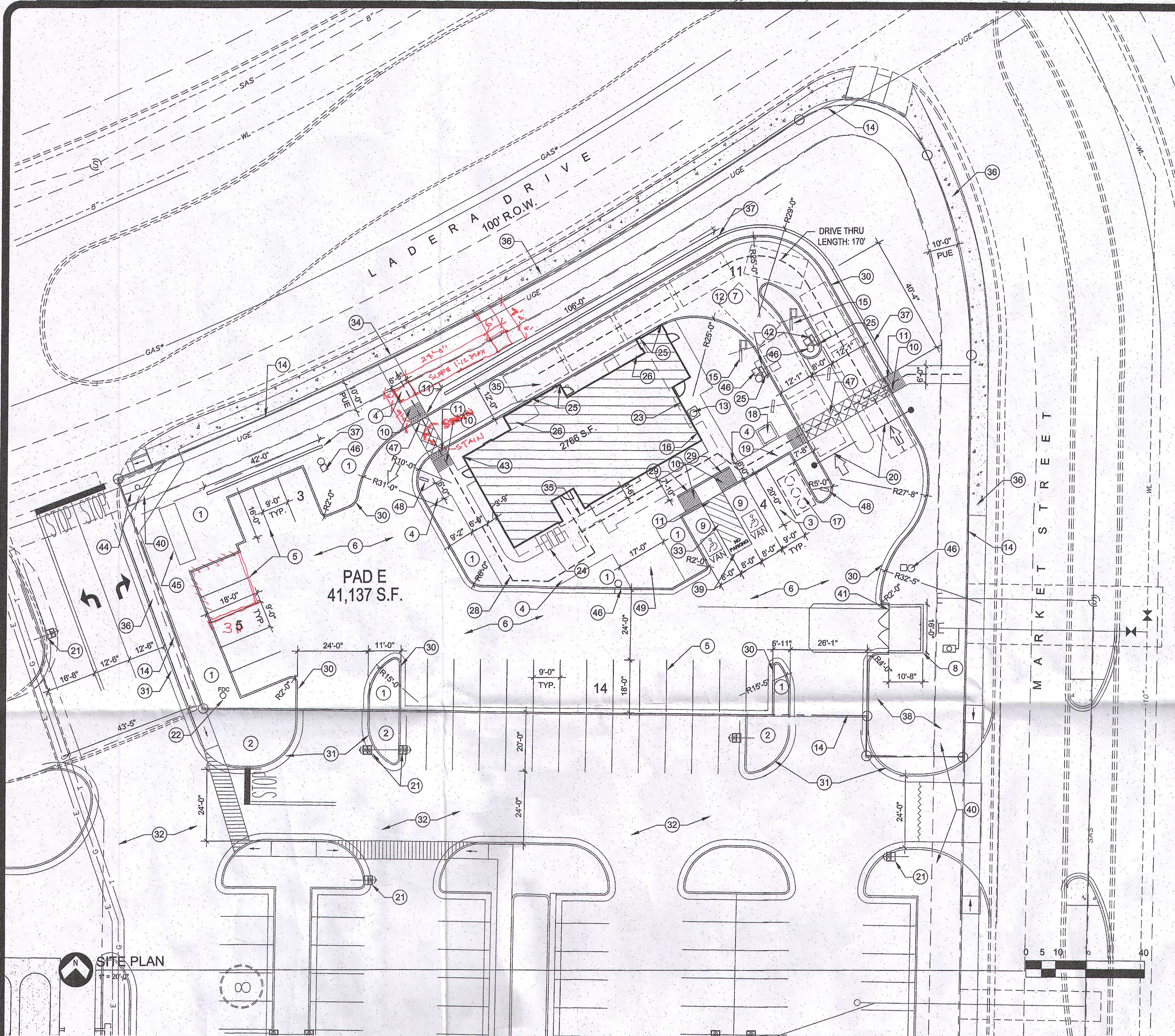
Based upon the information provided in your submittal received 12-19-18, Transportation Development has no objection to the issuance of a 30-day Temporary Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a 30-day Temporary Certificate of Occupancy to be issued by the Building and Safety Division.

1. When requesting final CO please submit approved administrative amendment.
2. Please remove garbage container from parking stalls.
3. Please remove rock pile in drive through lane.

Once corrections are complete resubmit acceptable package along with fully completed Drainage Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation. For digital submittal and minor comments and/or repairs, please submit photos to PLNDRS@cabq.gov prior to submittal. If you have any questions, please contact me at (505) 924-3981.

Sincerely,

Ernie Gomez
Plan Checker, Planning Dept.
Development Review Services



Site Plan Keynotes

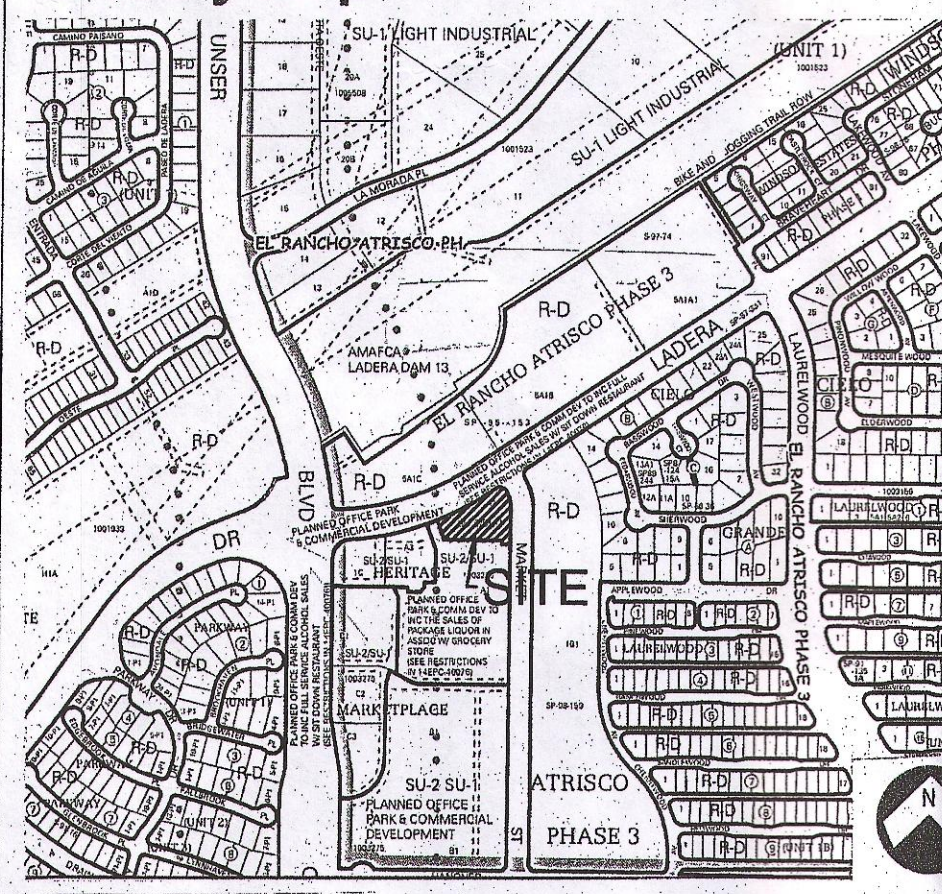
1. PROVIDE LANDSCAPE AREA, SEE LANDSCAPE DRAWINGS.
2. EXISTING LANDSCAPE AREA TO REMAIN.
3. PROVIDE BLACK CONCRETE PAVING (HATCHED AREA). SEE CIVIL DRAWINGS.
4. PROVIDE CONCRETE SIDEWALK, SEE CIVIL DRAWINGS.
5. PROVIDE PARKING STRIPING PER CITY STANDARDS, TYPICAL.
6. PROVIDE ASPHALT PAVING, SEE CIVIL DRAWINGS.
7. DRIVE-THRU QUEUING LANES(S).
8. 6'-0" CMU TRASH ENCLOSURE PER CITY STANDARDS, COLOR TO MATCH BUILDING, "HARVEST BROWN".
9. ACCESSIBLE PARKING PER ADAAG ACCESSIBLE GUIDELINES.
10. PROVIDE CONCRETE SIDEWALK RAMP TO MEET ADAAG ACCESSIBLE GUIDELINES.
11. PROVIDE DETACHABLE WARNING STRIPS PER ADAAG 4.29.5 PROVIDE TEK-WAY DOME BRICK "RED".
12. PROVIDE BLACK CONCRETE DRIVE-THRU PAVING (HATCHED AREA). SEE CIVIL DRAWINGS.
13. C2 TANK ON 40" SQUARE x 4" THICK CONCRETE PAD. PROVIDE 20 GA. METAL STUD ENCLOSURE WITH ACCESS DOOR AND FILL BOX. ROUTE LINES TO BAG-IN-BOX CARBONATORS; PROVIDE WARNING STICKERS AS REQUIRED.

14. PROPERTY LINE.
15. PROVIDE MENU/ORDER BOARD, SIGNAGE UNDER SEPARATE PERMIT.
16. EXTERIOR SERVICE ENTRANCE SECTION (SES).
17. PROVIDE UNDERGROUND GREASE INTERCEPTOR. SEE CIVIL AND PLUMBING DRAWINGS.
18. PROPOSED TRANSFORMER LOCATION, G.C. TO COORDINATE WITH DEVELOPER AND POWER COMPANY. PROVIDE CONCRETE PAD.
19. 2'-6" PARKING OVERHANG.
20. MAXIMUM HEIGHT CLEARANCE BAR, UNDER SEPARATE PERMIT. CONTRACTOR TO PROVIDE ELECTRICAL.
21. EXISTING POLE MOUNTED SITE LIGHT TO REMAIN. VERIFY LOCATION.
22. PROVIDE REMOTE FIRE DEPARTMENT CONNECTION (FDC) LOCATED WITHIN 200' OF FIRE HYDRANT WITH I.D. SIGNAGE. FDC SHALL BE LOCATED AND ARRANGED SO THAT THE HOSE CAN BE READILY ATTACHED. LANDSCAPING WILL BE MAINTAINED TO PROVIDE VIABILITY AND HAVE AN UNOBSTRUCTED ACCESS. SEE CIVIL DRAWINGS.
23. PROPOSED GAS METER LOCATION, G.C. TO COORDINATE INSTALLATION WITH PROVIDE ELECTRICAL.
24. NEW BIKE RACK TO MATCH CENTER; 6 SPACES.
25. PROVIDE 6" Ø CONCRETE FILLED PIPE BOLLARD.
26. PROVIDE ROOF DRAIN CONCRETE DRAINAGE SWALE.

27. NOT USED.
28. ACCESSIBLE ROUTE TO PUBLIC WAY PER CITY AND ADAAG STANDARDS.
29. PROVIDE ACCESSIBLE PARKING SIGN, PER CITY STANDARDS - 66-7-352.4 C NMSA 1978 REFER TO DETAIL 6, SHEET A1.3.
30. PROVIDE 6" CONCRETE CURB, TYPICAL, SEE CIVIL DRAWINGS.
31. EXISTING CURB TO REMAIN. IF DAMAGED DURING CONSTRUCTION REPLACE / REPAIR PAINT AS REQUIRED.
32. EXISTING MASTER SITE ASPHALT PAVING TO REMAIN, TYPICAL.
33. ACCESSIBLE PAINTED ROUTE STRIPING PER CITY STANDARDS.
34. CONNECT TO EXISTING SIDEWALK, VERIFY LOCATION.
35. DASHED LINE INDICATES CANOPY OVERHANG, TYPICAL.
36. EXISTING SIDEWALK TO REMAIN.
37. 42" HIGH CMU PARKING SCREEN WALL. COLOR TO MATCH BUILDING STANDARDS.
38. RETENTION AREA.
39. "NO PARKING" PAVEMENT SIGNAGE PLACED AT REAR OF STALL PER 66-14.16 NMSA 1978 LETTERS TO BE 1'-0" HEIGHT AND 2" IN WIDTH, CONTRASTING IN COLOR.
40. 10' X 20' CLEAR SITE TRIANGLE AT DRIVEWAYS.
41. CONCRETE PAD TO TRASH ENCLOSURE.

42. DRIVE-THRU SPEAKER POST.
43. BUILDING LAYOUT POINT.
44. LOCATION OF EXISTING TRAFFIC SIGN.
45. EXISTING MONUMENT SIGN TO REMAIN.
46. PROPOSED AREA LIGHTING, REFER TO ELECTRICAL PLANS FOR FURTHER INFORMATION.
47. PEDESTRIAN CROSSING AT DRIVE AISLE TO BE DECORATIVE STAMPED ASPHALT RED EARTH TONE IN COLOR, CONTRASTING FROM THE ADJACENT PAVEMENT REF. CIVIL DRAWINGS.
48. DIRECTIONAL SIGNAGE, SHOWN FOR REFERENCE ONLY. ALL SIGNAGE UNDER SEPARATE PERMIT. CONTRACTOR TO PROVIDE ELECTRICAL.
49. 200 S.F. PATIO AREA PER HERITAGE MARKETPLACE DESIGN STANDARDS.

Vicinity Map



ZONE ATLAS H09/H10

PROJECT NUMBER: 1003275

APPLICATION NUMBER: 16 EPC - 40088

THIS PLAN IS CONSISTENT WITH THE SPECIFIC SITE DEVELOPMENT PLAN APPROVED BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC) DATED 2/9/2017 AND THE FINDINGS AND CONDITIONS IN THE OFFICIAL NOTIFICATION OF DECISION ARE SATISFIED.

IS AND INFRASTRUCTURE LIST REQUIRED? () YES (X) NO IF YES, THEN A SET OF APPROVED DRC PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

TRAFFIC ENGINEER, TRANSPORTATION DIVISION

WATER UTILITY DEVELOPMENT

PARKS & RECREATION DEPARTMENT

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BURGER KING

7900 LADERA DRIVE NW ALBUQUERQUE, NM 87120

Owner

TOM MCCOLLUM
CONTACT: TOM MCCOLLUM
11000 BERMUDA DUNES NE
ALBUQUERQUE, NM
PHONE: 505-881-7474
tmgmtmm@aol.com

Architect

SIMONS ARCHITECTURE PC
CONTACT: JOE SIMONS
P.O. BOX 67408
ALBUQUERQUE, NM
PHONE: 505-480-4796
joe@simonsarchitecture.com

About this project...

THIS PROJECT IS FOR A NEW 2,766 S.F. BURGER KING RESTAURANT. THE NEW BUILDING WILL INCLUDE A DRIVE THRU WITH A DOUBLE ORDER LANE.

City of Albuquerque Building Codes

THIS PROJECT SHALL ADHERE TO THE FOLLOWING CODES:

2009 NEW MEXICO COMMERCIAL BUILDING CODE
2009 NEW MEXICO EARTHEN BUILDING MATERIALS CODE
2014 NEW MEXICO ELECTRICAL CODE
2009 STATE OF NEW MEXICO ENERGY CONSERVATION CODE
2014 NEW MEXICO ELECTRICAL CODE
2012 NEW MEXICO MECHANICAL CODE
2012 NEW MEXICO PLUMBING CODE
2015 UNIFORM ADMINISTRATION CODE
CITY OF ALBUQUERQUE AMENDMENTS TO THE NEW MEXICO BUILDING CODE

Legal Description

TR A2 PLAT OF TRACTS A-1 THRU A-3 AND C-1 THRU C-3, HERITAGE MARKETPLACE (BEING A REPLAT OF TRACTS A AND C)

Project Information

ADDRESS: 7900 LADERA DRIVE NW ALBUQUERQUE NM 87120
PARCEL: 100 905 954 109 740 103
EXISTING ZONING: SU-2 / SU-1
PROPOSED ZONING: SU-1
SITE AREA GROSS: 49,172 S.F. (1.06 AC.)
SITE AREA NET = 41,137 S.F. (0.94 AC.)
COVERAGE (%): 7.8%
OCCUPANCY TYPE: A-2 RESTAURANT, NON-SEPARATED
CONSTRUCTION TYPE: V-8
FIRE SPRINKLERS: NO
FIRE ALARM: YES
ALLOWABLE AREA: PER IBC TABLE 503 - 8,000 S.F. / FLOOR
AREA INCREASE: NONE REQUIRED
TOTAL BUILDING AREA: 2,766 S.F.
ALLOWABLE HEIGHT: 26 FEET
PROPOSED HEIGHT: 23 FEET
LANDSCAPING PROVIDED: 14,422 S.F.
LANDSCAPE CALCULATION: 41,137 S.F. - 2,766 S.F. = 38,371 S.F. X 15% = 5,755.65 S.F. (15%)

OCCUPANT LOAD:		
DINING:	FIXED SEATING	= 42
KITCHEN:	895 S.F. / 200	= 5
STANDING:	93 S.F. / 5	= 19
STORAGE:	350 S.F. / 300	= 2
88		

EXITS REQUIRED: 2
EXITS PROVIDED: 3

Parking Calculations

FOR THIS PROJECT:

PARKING REQUIRED:		
RESTAURANT	42 / 4 =	11
TOTAL		11
PARKING PROVIDED:		
STANDARD SPACES ON-SITE:	19	
COMPACT SPACES ON-SITE:	3	
ACCESSIBLE SPACES ON-SITE:	2	
TOTAL	24 SPACES	

ACCESSIBLE PARKING REQUIRED: 2 SPACES
ACCESSIBLE PARKING PROVIDED: 2 SPACES
BICYCLE PARKING REQUIRED: 6 SPACES
BICYCLE PARKING PROVIDED: 6 SPACES



BURGER KING CORP./FRANCHISEE
STREET ADDRESS
CITY, STATE, ZIP
PHONE:

Joseph F. Simons Jr., AIA
nm lic 002890
p.o. box 67408
albuq. n.m. 87120-4796
joe@simonsarchitecture.com

SIMONS ARCHITECTURE



PROJECT # 05-057
R00-40 20/20
BURGER KING RESTAURANT
LADERA AND MARKET
ALBUQUERQUE, NM

A1.1



PO Box 67408
ALBUQUERQUE, NM 87193-7408
JFS @ SIMONSARCHITECTURE.COM

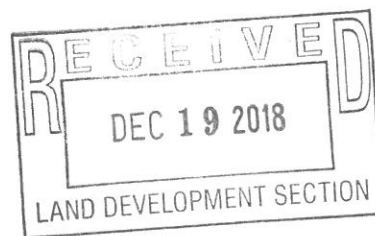
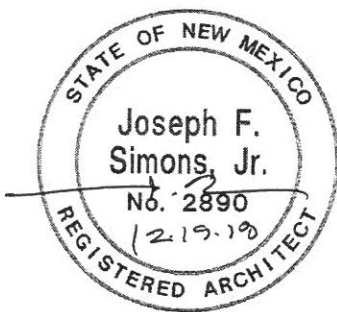
505.480.4796 VOICE

TRAFFIC CERTIFICATION

I, JOE SIMONS JR., NMRA 002890, OF THE FIRM SIMONS ARCHITECTURE PC, HEREBY CERTIFY THAT THIS PROJECT IS IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE DRB, AA OR TCL APPROVED PLAN DATED 12.14.17 AT THE ADDRESS 7900 LADERA BLVD. NW, ALBUQUERQUE, NM AND PERMIT NUMBER IS 2018-05412. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY JOE SIMONS JR., OF THE FIRM SIMONS ARCHITECTURE. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 12/19/18 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR CERTIFICATE OF OCCUPANCY (PERMANENT). ANY ALTERATIONS TO THE APPROVED TCL IS NOTED IN RED ON THE ATTACHED PLAN AND IS NOTED AS FOLLOWS:

PARKING SPACES REDUCE BY TWO
PEDESTRIAN ACCESS ALTERED AS REDLINED
SITE PLAN AA IN PROCESS AND PRELIMINARY APPROVED BY RUSSEL BRITO

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.



Signature of Engineer or Architect

Date



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 11/2018)

Project Title: BURGER KING Building Permit #: 2018-05412 Hydrology File #: H09.0024A

DRB#: 17DRB-70377 EPC#: 16EPC-40082 Work Order#: _____

Legal Description: TR. A2 TRACTS A-1 THRU A-3 & C-1 THRU C-3

City Address: 1900 LADERA NW HERITAGE MARKETPLACE

Applicant: SIMONS ARCHITECTURE PC Contact: JOE SIMONS

Address: P.O. BOX 67408 ALB. 87193

Phone#: 480-4796 Fax#: _____ E-mail: joe@simonsarchitecture.com

Owner: P.J. DEVELOPMENT Contact: DAVE JOSEPH

Address: _____

Phone#: 263-6965 Fax#: _____ E-mail: dave@pjdev.net

TYPE OF SUBMITTAL: _____ PLAT (____ # OF LOTS) _____ RESIDENCE _____ DRB SITE _____ ADMIN SITE

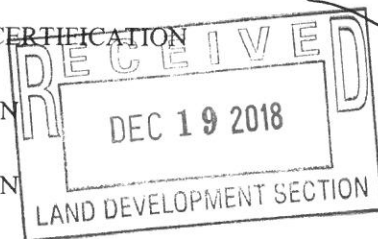
IS THIS A RESUBMITTAL?: _____ Yes ☒ No

DEPARTMENT: ☒ TRAFFIC/ TRANSPORTATION _____ HYDROLOGY/ DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

- ☐ ENGINEER/ARCHITECT CERTIFICATION
- ☐ PAD CERTIFICATION
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ DRAINAGE MASTER PLAN
- ☐ DRAINAGE REPORT
- ☐ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- ☐ ELEVATION CERTIFICATE
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ TRAFFIC IMPACT STUDY (TIS)
- ☐ OTHER (SPECIFY) _____
- ☐ PRE-DESIGN MEETING?



TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ BUILDING PERMIT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ SITE PLAN FOR SUB'D APPROVAL
- ☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ SO-19 APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ GRADING/ PAD CERTIFICATION
- ☐ WORK ORDER APPROVAL
- ☐ CLOMR/LOMR
- ☐ FLOODPLAIN DEVELOPMENT PERMIT
- ☐ OTHER (SPECIFY) _____

DATE SUBMITTED: 12.19.18 By: J. SIMONS

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____

City of Albuquerque Planning Department
One Stop Shop – Development and Building Services

12/19/2018 Issued By: E08375 364377

Permit Number: 2018 060 695 **Category Code 970**

Application Number: 18REV-60695, Review: Drain Plan-Lomr-Traffic Impact

Address:

Location Description: BURGERKING

Project Number: null

Applicant
SIMONS ARCHITECTURE

Agent / Contact
SIMONS ARCHITECTURE

PO BOX 67408
ALBUQUERQUE NM 87193
505-480-4796
joe@simonsarchitecture.com

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ALBUQUERQUE NM 87193
505-480-4796
JOE@SIMONSARCHITECTURE.COM

Application Fees

REV Actions	\$110.00
TOTAL:	\$110.00

City of Albuquerque Treasury
Date: 12/19/2018 Office: ANNEX
State ID: Cashier: E39083
Batch: 9897 Trans #: 15
Permit: 2018060695
Receipt Num 00539448
Payment Total: \$110.00
0909 REV Actions
VISA Tendered : \$110.00
\$110.00