

CITY OF ALBUQUERQUE

Planning Department
David Campbell, Director



Mayor Timothy M. Keller

February 1, 2019

Fred C. Arfman, P.E.
Isaacson & Arfman, P.A.
128 Monroe St. N.E
Albuquerque, NM, 87108

**RE: Ladera Crossing Self Storage
7901 Ladera Drive NW
Temporary C.O. - Accepted
Engineer's Certification Dated 01/29/19
Engineer's Stamp Date: 02/15/18
Hydrology File: H09D028**

Dear Mr. Arfman:

Based on the Certification received 01/29/2019 and site visit on 01/31/19, this certification is approved in support of Temporary Release of Occupancy by Hydrology. The following comment needs to be addressed prior to acceptance for Permanent C.O. of the above referenced project:

1. Please provide the required off-site temporary pond as noted on the approved Grading and Drainage Plan.
2. Please add a swale from the stormwater quality pond to the sidewalk culvert so overflow drainage can be directed to the culvert. See attached photo.



Please resubmit for a request for permanent release of Certificate of Occupancy once these two items have been fixed.

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If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gov .

Sincerely,

Renée C. Brissette

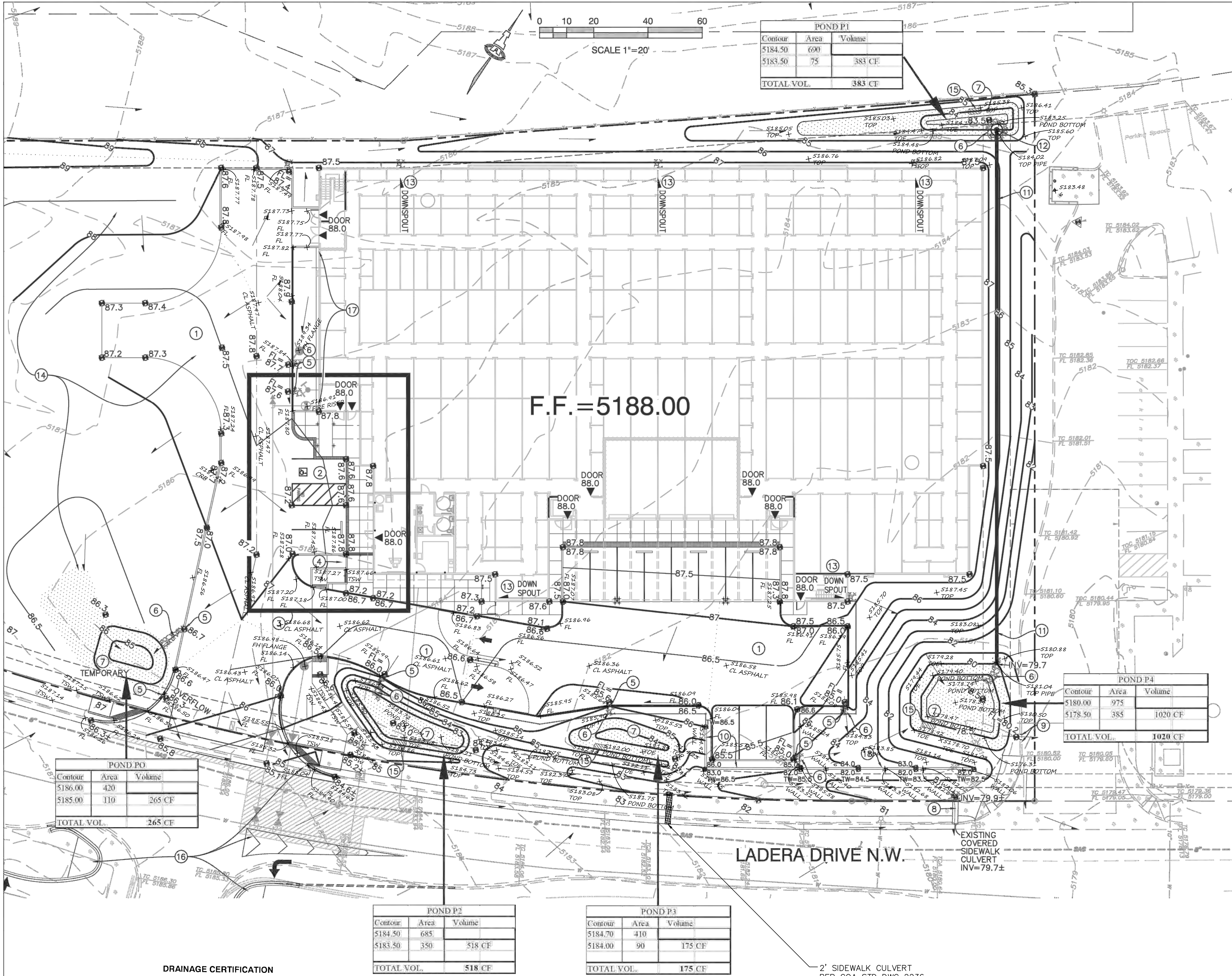
Renée C. Brissette, P.E. CFM
Senior Engineer, Hydrology
Planning Department

PO Box 1293

Albuquerque

NM 87103

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PROJECT DATA

PROPERTY: THE SITE IS AN UNDEVELOPED COMMERCIAL PROPERTY WITHIN C.O.A. VICINITY MAP H-9. THE SITE IS BOUND TO THE WEST BY UNDEVELOPED COMMERCIAL PROPERTY, TO THE EAST BY DEVELOPED MULTI-FAMILY, TO THE NORTH BY AMAFCA REGIONAL PONDS AND TO THE SOUTH BY LADERA DRIVE.

SITE AREA: 1.6 ACRES.

PROPOSED IMPROVEMENTS: THE PROPOSED IMPROVEMENTS INCLUDE A MULTI-STORY SELF STORAGE FACILITY WITH ASSOCIATED PAVED PARKING, PEDESTRIAN WALKS, DRAINAGE IMPROVEMENTS AND LANDSCAPING.

LEGAL: EAST PORTION OF TRACT 5-A-1C1, EL RANCHO ATRISCO PHASE III CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.

BENCHMARK: VERTICAL DATUM IS BASED UPON THE ALBUQUERQUE CONTROL SURVEY BENCHMARK "3-H10", ELEVATION = 5196.15 (NAVD 1988)

OFF-SITE: A PORTION OF OPEN SPACE TO THE NORTH WILL CONTINUE TO DRAIN INTO THIS PROPERTY. THIS FLOW IS ADDED TO ON-SITE BASIN 1 AND WILL BE ROUTED THROUGH THE PROPOSED STORM DRAIN AND DISCHARGED TO LADERA DRIVE TO FOLLOW THE HISTORIC FLOWPATH. IN ADDITION, OWNER IS AWARE THAT THERE IS AN EMERGENCY SPILLWAY FROM AMAFCA'S LADERA DAM SYSTEM WHICH WOULD DIRECT STORMWATER INTO TRACTS 5-A-1C1 AND 5-A-1C2.

FLOOD HAZARD: THE SUBJECT PROPERTY APPEARS TO LIE WITHIN ZONE "X" (AREAS DETERMINED TO BE OUTSIDE 0.2% ANNUAL CHANCE FLOODPLAIN) IN ACCORDANCE WITH THE NATIONAL FLOOD INSURANCE PROGRAM RATE MAP NO. 35001C0326 J, EFFECTIVE DATE 11-04-2016.

DRAINAGE PLAN CONCEPT: THIS SITE IS INCLUDED IN THE "LADERA DRIVE IMPROVEMENTS - GAVIN ROAD TO COORS BLVD - DRAINAGE ANALYSIS MEMO" BY PERSONS BRINCKERHOFF, DATED AUGUST 10, 2015. FLOW FROM THE ADJACENT PROPERTY TO THE WEST (INCLUDING THE WEST HALF OF THE SHARED ACCESS DRIVE) WILL BE DIRECTED TO AN OFF-SITE TEMPORARY FIRST FLUSH / SEDIMENT CONTROL POND. EXCESS WILL OVERFLOW AT THE WEST ENTRANCE DRIVE TO LADERA DRIVE.

THE PROPOSED IMPERVIOUS AREA WILL DRAIN TO FIRST FLUSH RETENTION PONDS AS REQUIRED. EXCESS WILL DISCHARGE TO LADERA DRIVE. TO FOLLOW HISTORIC FLOWPATHS.

FIRST FLUSH: STORMWATER CONTROL MEASURES ARE REQUIRED TO PROVIDE MANAGEMENT OF "FIRST FLUSH" DEFINED AS THE 90TH PERCENTILE STORM EVENT OR 0.34" [0.44" LESS 0.1" FOR INITIAL ABSTRACTION] OF STORMWATER WHICH DISCHARGES DIRECTLY TO A PUBLIC STORM DRAINAGE SYSTEM.

FIRST FLUSH RETENTION PONDS WILL BE CONSTRUCTED WITHIN THE LANDSCAPE AREAS AS SHOWN. STORM WATER FROM THE IMPERVIOUS AREAS SHALL BE DIRECTED TO THESE PONDS.

ENGINEER: FRED C. ARFMAN, NMPE 7322
ISAACSON & ARFMAN, PA
128 MONROE NE, 87111
TELEPHONE: (505) 268-8828

SURVEYOR: RUSS P. HUGG, NMPS NO. 9750
SURV-TEK, INC.
9384 VALLEY VIEW DR. NW, 87114
TELEPHONE: (505) 897-3366

EROSION CONTROL

THE PROPOSED LANDSCAPING OF THIS PROPERTY IS TO INCLUDE 3/4" TO 7/8" DECORATIVE GRAVEL OVER FILTER MATERIAL. LARGER DIAMETER EROSION CONTROL ROCK (3" AVG.) IS TO BE PROVIDED AT ROOF DISCHARGE POINTS AND AS NOTED PER KEYED NOTE #6. ENGINEER RECOMMENDS OWNER INSPECT PROPERTY YEARLY AND AFTER STORM EVENTS TO DETERMINE WHERE ADDITIONAL EROSION PROTECTION IS REQUIRED.

CONSTRUCTION STAKING

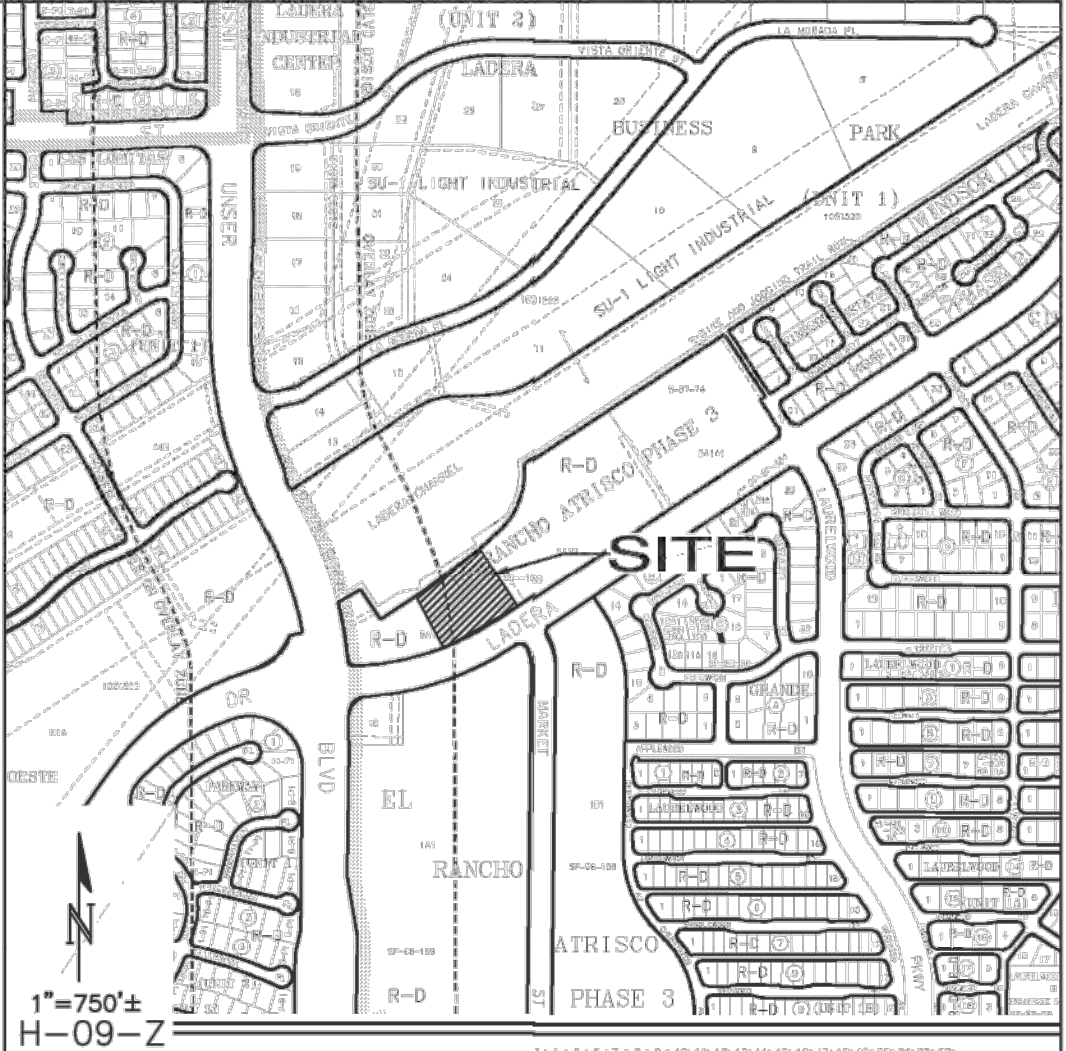
UPON WRITTEN REQUEST COORDINATED THROUGH THE PROJECT ARCHITECT, THE ELECTRONIC FILE OF THE GRADING AND DRAINAGE WILL BE PROVIDED TO THE CONTRACTOR FOR VERTICAL CONTROL. DO NOT USE THIS PLAN FOR PROJECT STAKING.

SITE CONSTRUCTION LAYOUT / STAKING SHALL BE COORDINATED WITH THE ARCHITECT USING THE ARCHITECT PROVIDED SITE PLAN.

LEGEND

- 5303.51 — — — — — EXISTING SPOT ELEVATION
- 5303.5 — — — — — EXISTING CONTOUR
- 02 — — — — — PROPOSED CONTOUR (1' INCREMENT)
- ◆ 02.3 PROPOSED SPOT ELEVATION
- TW, FL, INV TOP OF WALL, FLOWLINE, INVERT
- FLOW ARROW
- F.F.= FINISH FLOOR ELEVATION
- — — — — GRADE BREAK
- PROPOSED FIRST FLUSH RETENTION PONDING AREA
- PERCOLATION TRENCH
- LIMITS OF EROSION CONTROL

VICINITY MAP



KEYED NOTES

- CONSTRUCT PROPOSED PAVING / WALKS / CURB AND GUTTER TO ELEVATIONS SHOWN. SEE PAVING PLAN FOR PAVEMENT MATERIAL, EXTENTS, SECTIONS, PARKING LAYOUT, DIMENSIONS, STRIPING, ETC. PROVIDE SMOOTH TRANSITION TO EXISTING.
- CONSTRUCT HC PARKING AREA TO ADA STANDARDS. MAX. 2% SLOPE IN ANY DIRECTION.
- SEE ENLARGED ENTRY GRADES THIS SHEET FOR 0.1' CONTOUR INFORMATION TO CLARIFY GRADING CONCEPT.
- CONSTRUCT ADA COMPLIANT HANDICAP ACCESS RAMP AT ELEVATIONS SHOWN. MAX. 2% CROSS-SLOPE.
- PROVIDE 2.0' WIDE CURB OPENING AT FLOWLINE SHOWN. SEE CG5.1.
- INSTALL 6" THICK ROCK EROSION PROTECTION AT CURB OPENINGS AND TO LIMITS SHOWN. SEE CG5.1.
- DOT HATCHED AREA REPRESENTS EXTENTS OF 'FIRST FLUSH' RETENTION PONDING. CONSTRUCT TO ELEVATIONS SHOWN.
- EXISTING COVERED SIDEWALK CULVERT. CONTRACTOR TO CLEAN AND REMOVE ANY MATERIAL BLOCKING ACCESS TO FLOW.
- SAWCUT TWO 24" WIDE (BOTTOM WIDTH) OPENINGS IN EXISTING CONCRETE CURB.
- CONSTRUCT RETAINING WALL (MAXIMUM 3' RETAINING) TO ACHIEVE GRADE TRANSITIONS SHOWN. GRADES PROVIDED EACH SIDE REFLECT FINISH GRADES. SEE ARCHITECTURAL FOR INFORMATION RE: STRUCTURAL DESIGN, ADDITIONAL WALL HEIGHT, CONSTRUCTION DETAILS, WEEPHOLES, ETC.
- INSTALL 200 LF 15" ADS N-12WT STORM DRAIN PIPE AT INVERT ELEVATIONS SHOWN. SLOPE = 1.1%±
- INSTALL 18" ADS NYLOPLAST INLET WITH DOMED GRATE.
 - RIM = 5184.5
 - INV = 5182.0 (15"Ø)
 - SUMP = 5180.0
- ROOF DISCHARGE LOCATION. INSTALL 3'X3'X12" THICK ROCK EROSION PROTECTION AT OUTLET.
- GRADE AND CONSTRUCT WEST SIDE OF PAVED DRIVE TO ELEVATIONS SHOWN. (OUTSIDE OF PROPERTY LIMITS - WRITTEN AGREEMENT ON FILE).
- CONSTRUCT PERCOLATION TRENCH WITHIN EACH ON-SITE FIRST FLUSH POND. SEE SHEET CG5.1.
- CONSTRUCTION IN THE PUBLIC R.O.W. TO BE DONE BY PUBLIC WORK ORDER. GRADES PROVIDED ARE FOR GENERAL INFORMATION.
- CONSTRUCT 4" THICK X 18" WIDE CONCRETE MOW STRIP. TOP OF CONCRETE = 87.9 TYPICAL.
- CONSTRUCT GRADE TRANSITION (OWNER'S OPTION: BLOCK, BOULDERS, KEYSTONE) TO DIRECT DRAINAGE FROM ADJACENT PAVEMENT CURB OPENINGS IS DIRECTED TO POND P4.

DRAINAGE CERTIFICATION

I, Fred C. Arfman, NMPE 7322, of the firm Isaacson & Arfman, P.A., hereby certify that this project has been graded and will drain in substantial compliance with and in accordance with the design intent of the approved plan dated 02/15/18. The record information edited onto the original design document has been obtained by David P. Acosta, NMPS #21082, of the CSTI Surveying Inc. I further certify that I have personally visited the project site on 01-22-19 and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for Temporary Certificate of Occupancy.

Required additional information:

- grades around the ADA Parking Spaces and Ramps
- Finish Floor verification
- Side-slopes around portions of the building
- VERIFICATION OF WEST DESILTATION POND

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the grading and drainage aspects of this project. Those relying on this record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

Fred C. Arfman
Fred C. Arfman NMPE 7322



FRED C. ARFMAN
NEW MEXICO
7322
Professional Engineer
2/15/18

ISAACSON & ARFMAN, P.A.
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Ph. 505-268-8828 www.isaacson.com

2228 CG-101.dwg Feb 15, 2018

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LADERA CROSSING SELF-STORAGE LADERA DR. & UNSER BLVD. NW TITAL DEVELOPMENT

GRADING & DRAINAGE PLAN

Date: 02/15/18	No. Revision:	Date:	Job No. 2228
Drawn By: BJB			CG1.1
Ckd By: FCA			SH. OF