

CITY OF ALBUQUERQUE



March 6, 2017

Fred C. Arfman, P.E.
Isaacson & Arfman, P.A.
128 Monroe St NE
Albuquerque, New Mexico 87108

**RE: Unser & Vista Oriente Paving
Grading and Drainage Plan
Engineers Stamp Date 2/15/17 (H10D006A3)**

Dear Mr. Arfman,

Based upon the information provided in your submittal received 3/3/17, this plan is approved for Grading Permit and Paving Permit.

Please attach a copy of this approved plan to the construction sets in the permitting process prior to sign-off by Hydrology.

Once the project is complete, send the hydrology department a PDF copy of the As-built plan for our records.

PO Box 1293

If you have any questions, please contact me at 924-3999 or Rudy Rael at 924-3977.

Albuquerque

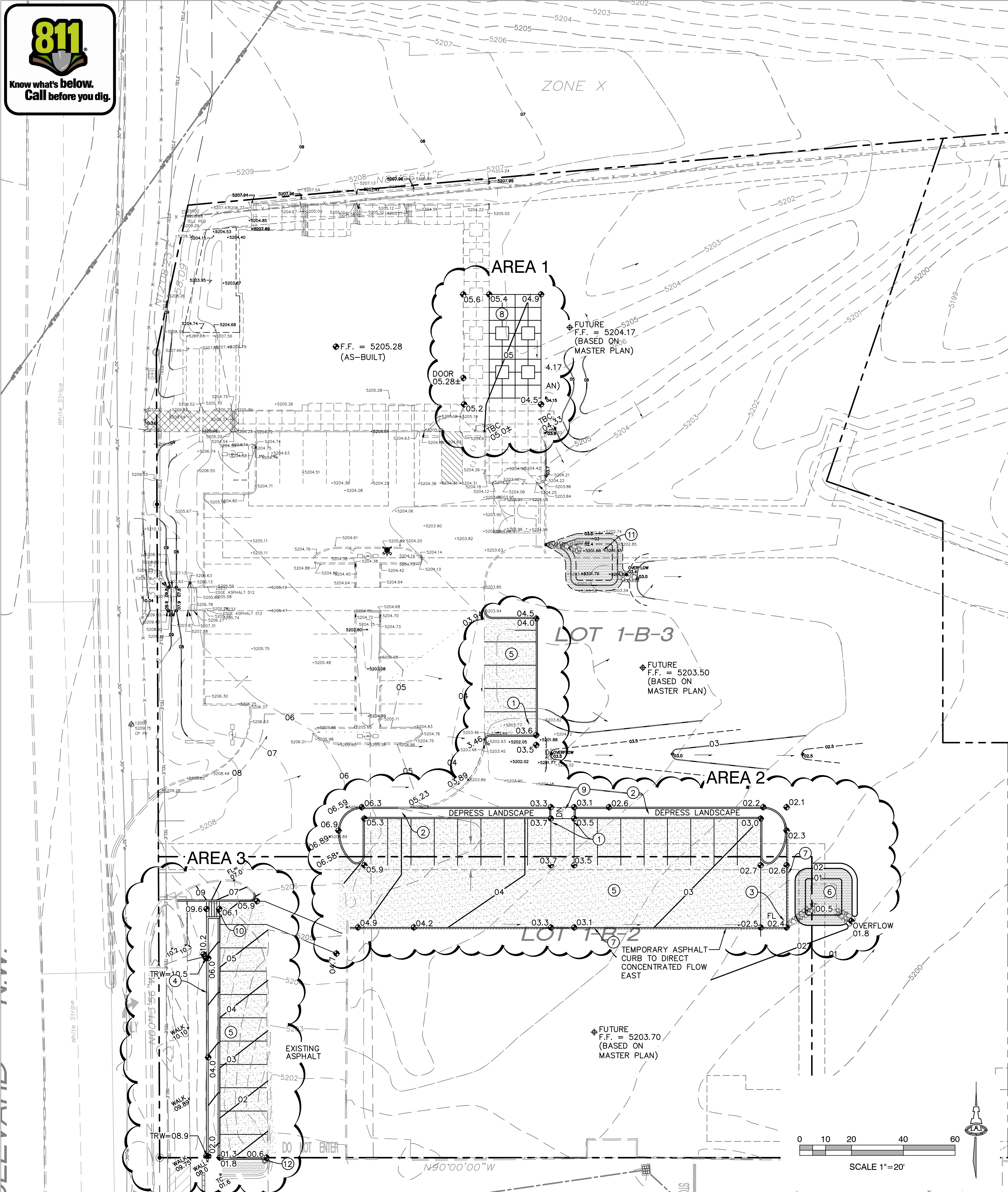
Sincerely,

New Mexico 87103


Shahab Biazar, P.E.
City Engineer, Albuquerque
Planning Department

www.cabq.gov

RR/SB
C: File



DRAINAGE CONCEPT

THIS SITE WILL DRAIN EAST TO THE ADJACENT PROPERTY PER THE UNSER AND VISTA ORIENTE GRADING AND DRAINAGE PLAN (APPROVED AS PART OF THE LADERA INDUSTRIAL CENTER SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (H9/D6A) APPROVED 4/30/2008.

EXISTING MUTUAL CROSS LOT DRAINAGE EASEMENT FOR THE BENEFIT OF LOTS 1-B-1 THRU 1-B-4 GRANTED BY PLAT FILED JANUARY 26, 2012, SAID EASEMENT SHALL RUN OVER, UNDER AND ACROSS THE COMMON AREAS (MEANING THOSE AREAS OF LOT NOT OCCUPIED BY A BUILDING FROM TIME TO TIME AND AT ANY APPLICABLE TIME). MAINTENANCE OF SAID EASEMENT SHALL BE THE RESPONSIBILITY OF THE RESPECTIVE LOT OWNERS AS TO THE PORTION CONTAINED WITHIN THEIR RESPECTIVE LOT.

STORMWATER CONTROL MEASURES ARE REQUIRED TO PROVIDE MANAGEMENT OF 'FIRST FLUSH' (DEFINED AS THE 90TH PERCENTILE STORM EVENT OR 0.34 OF STORMWATER WHICH DISCHARGES DIRECTLY TO A PUBLIC STORM DRAINAGE SYSTEM).

THE NORTH PLAZA - AREA 1 - DRAINS THROUGH AN EXISTING FIRST FLUSH BASIN (TEMPORARY).

THE CENTRAL PARKING - AREA 2 (7,900 SF NEW PAVEMENT) -DRAINS THROUGH A PROPOSED TEMPORARY FIRST FLUSH BASIN. REQ'D 224 CF (300 CF PROVIDED).

THE SOUTHWEST PARKING - AREA 3 - (1,900 SF NEW PAVEMENT) DISCHARGES TO THE SOUTH. A 12" WIDE CURB OPENING WILL PERMIT A PORTION OF FIRST FLUSH STORMWATER TO ENTER INTO DEPRESSED LANDSCAPING. REQ'D 54 CF.

THE FIRST FLUSH PONDING VOLUME IS BASED ON 0.34" * TYPE 'D' AREA: 0.34/12 * ____ SF = ____ CF

AS THE PROPERTY CONTINUES TO DEVELOP, PERMANENT FIRST FLUSH IMPROVEMENTS WILL BE CONSTRUCTED IN LANDSCAPE ISLANDS AS AVAILABLE.

OVERFLOW FROM THESE FIRST FLUSH PONDS WILL CONTINUE EAST PER THE APPROVED MASTER DRAINAGE AND GRADING PLAN.

PROJECT DATA

PROPERTY : THE SITE IS A PARTIALLY DEVELOPED (UTILITIES ONLY) COMMERCIAL PROPERTY LOCATED WITHIN C.O.A. VICINITY MAP H-9. THE SITE IS BOUND TO THE NORTH BY THE LADERA DIVERSION CHANNEL, TO THE EAST AND SOUTH BY PARTIALLY DEVELOPED COMMERCIAL, AND TO THE WEST BY UNSER BLVD.

PROPOSED IMPROVEMENTS : THE PROPOSED IMPROVEMENTS INCLUDE CONSTRUCTION OF A OUTDOOR SEATING AREA AND ASPHALT PAVED PARKING AREAS (THREE LOCATIONS).

LEGAL : A PORTION OF LOT 1-B-3, LADERA INDUSTRIAL CENTER, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.

UPC # : 100905946336210204

ADDRESS : UNSER BLVD NW ALBUQUERQUE NM 87120

BENCHMARK : VERTICAL DATUM SHOWN HEREON WAS DERIVED FROM THE ALBUQUERQUE CONTROL SURVEY MONUMENT "4-H9" HAVING A PUBLISHED ELEVATION OF 5209.315 FEET (NAVD 88).

OFF-SITE : NO OFF-SITE DRAINAGE AFFECTS THIS PROPERTY.

FLOOD HAZARD : THIS PROPERTY APPEARS TO LIE WITHIN "ZONE X" (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD PLAIN), WITH "ZONE A" (NO BASE FLOOD ELEVATIONS DETERMINED) ADJACENT TO THE NORTHERLY BOUNDARY ALONG THE LADERA DIVERSION CHANNEL, AS SHOWN ON NATIONAL FLOOD INSURANCE PROGRAM FLOOD INSURANCE RATE MAP NUMBER 35001C0326G, MAP REVISED SEPTEMBER 26, 2008.

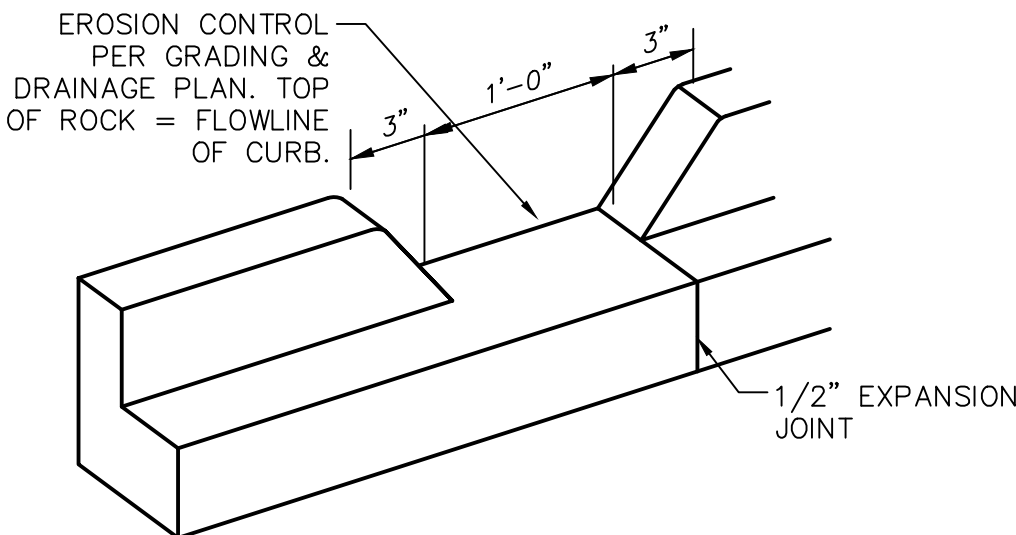
ENGINEER : FRED C. ARFMAN, P.E., NMPE 7322
ISAACSON & ARFMAN, PA
128 MONROE NE, 87111
TELEPHONE: (505) 268-8828

SURVEYOR : RUSS P. HUGG, NMPS 9750
SURV-TEK CONSULTING SURVEYORS
9384 VALLEY VIEW DRIVE, 87114
TELEPHONE: (505) 897-3366

LEGEND

- PROPOSED SPOT ELEVATION
- PROPOSED CONTOUR (1" INTERVAL)
- PROPOSED CONTOUR (0.5" INTERVAL)
- PROPOSED STORM DRAIN
- FLOW ARROW
- FIRST FLUSH RETENTION POND
- EROSION CONTROL
- PROPOSED SITE RETAINING WALL

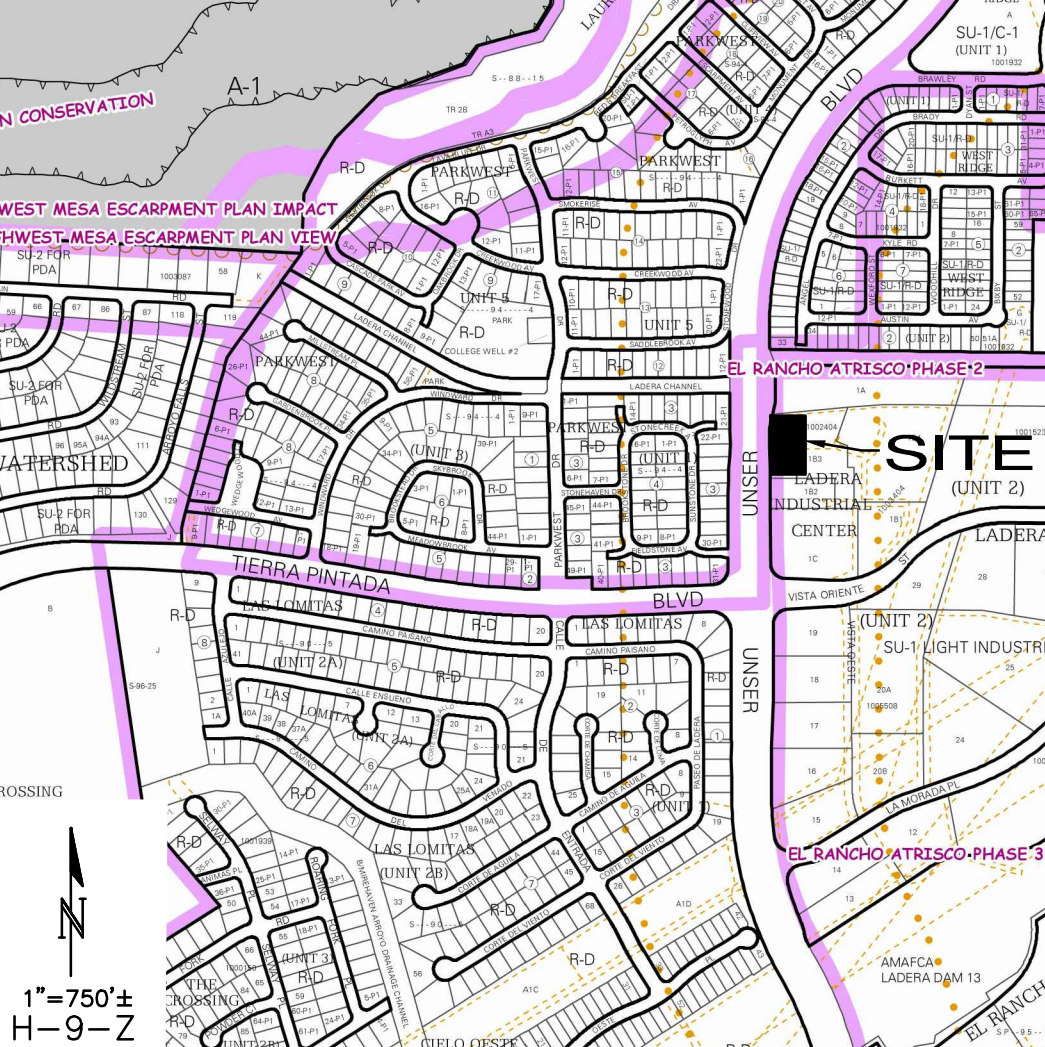
CURB OPENING



GENERAL NOTES

- EDGES NOT SPECIFICALLY DIMENSIONED SHALL BE SHAPED WITH A 3/8" EDGING TOOL.

VICINITY MAP

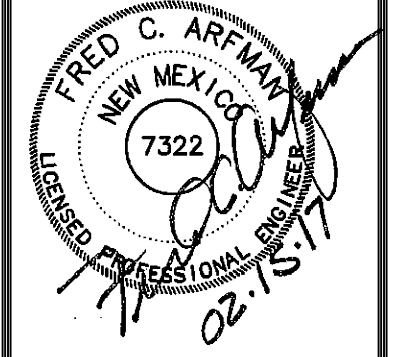
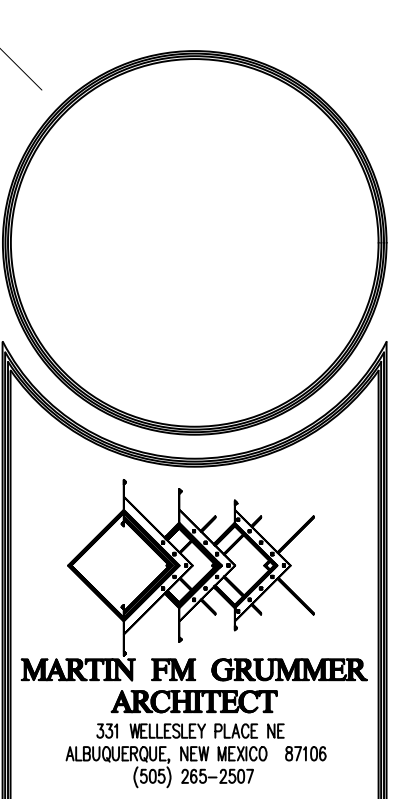
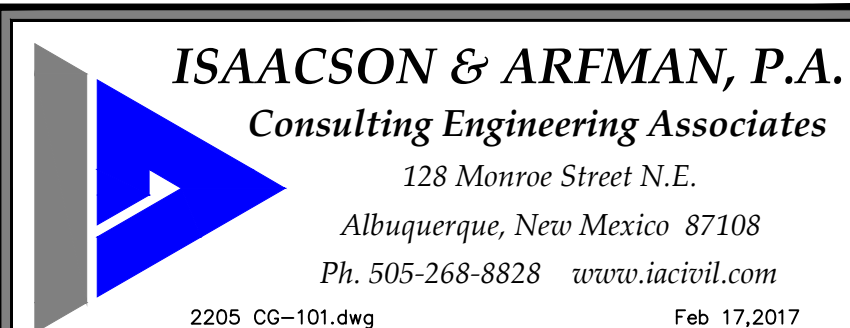


KEYED NOTES

- SPOT ELEVATIONS WITHIN PAVED AREAS REFLECT TOP OF ASPHALT ELEVATION. ADD 0.5' FOR ADJACENT TOP OF CURB / TOP OF WALK ELEVATIONS (TYPICAL UNLESS NOTED).
- NOTE: PROPOSED GRADES SHOWN ADHERE TO THE APPROVED MASTER GRADING PLAN.
- CONSTRUCT DEPRESSED LANDSCAPING WITHIN PARKING ISLAND TO COLLECT STORMWATER.
- PROVIDE 2.0' WIDE OPENING IN TEMPORARY ASPHALT CURB TO PASS CONCENTRATED FLOW. INSTALL ROCK EROSION PROTECTION (2'X2'). TOP OF ROCK = PAVEMENT FLOWLINE. SEE CG-501 FOR DETAIL.
- CONSTRUCT RETAINING WALL TO ACHIEVE GRADE DIFFERENCE SHOWN. HG (HIGH SIDE GRADE) AND LG (LOW SIDE GRADE) SHOWN ON PLAN. SEE ARCHITECTURAL FOR ADDITIONAL INFORMATION. STRUCTURAL DESIGN BY OTHERS.
- CONSTRUCT PAVING AT ELEVATIONS SHOWN. SEE ARCHITECTURAL FOR PAVEMENT MATERIAL, JOINT INFORMATION, SECTIONS, PARKING LAYOUT, DIMENSIONS, STRIPING, ETC.
- HATCHED AREA REPRESENTS EXTENTS OF TEMPORARY 'FIRST FLUSH' RETENTION PONDING. CONSTRUCT TO ELEVATIONS SHOWN.
- CONSTRUCT TEMPORARY ASPHALT CURB TO DIRECT DEVELOPED FLOW TO CURB OPENING.
- CONSTRUCT NEW CONCRETE PLAZA AT ELEVATIONS SHOWN. PROVIDE SMOOTH TRANSITION TO EXISTING.
- CONSTRUCT ADA COMPLIANT CONCRETE RAMP @ 1:12 MAX. TO ACHIEVE GRADE DIFFERENCE SHOWN.
- CONSTRUCT STEPS TO ACHIEVE GRADE DIFFERENCE SHOWN. SEE ARCHITECTURAL FOR DETAILS.
- EXISTING TEMPORARY FIRST FLUSH BASIN.
- PROVIDE 12" WIDE CURB CUT TO PASS FIRST FLUSH INTO LANDSCAPING.

GENERAL NOTES

- ALL WORK DETAILED ON THESE PLANS AND PERFORMED UNDER THIS CONTRACT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT GEOTECHNICAL REPORT. WHERE APPLICABLE, CITY OF ALBUQUERQUE STANDARDS APPLY.
- THE CONTRACTOR SHALL ABIDE BY ALL STATE, LOCAL, AND FEDERAL LAWS, CODES, RULES AND REGULATIONS WHICH APPLY TO THE CONSTRUCTION OF THESE IMPROVEMENTS, INCLUDING EPA AND ADA REQUIREMENTS.
- ALL SUBGRADE, OVEREXCAVATION, BACKFILL, AND FILL SHALL BE PLACED AND / OR COMPACTED PER THE GEOTECHNICAL REPORT AND CITY OF ALBUQUERQUE SPECIFICATIONS.
- COORDINATE WORK WITH ARCHITECTURAL SITE AND DEMO PLAN.
- CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR SITE SAFETY.
- FOR ALL ACCESSIBLE ROUTES, MAXIMUM ALLOWABLE CROSS SLOPE IS 2.0% AND MAXIMUM LONGITUDINAL SLOPE WITHOUT RAMP IS 5.0%.
- ALL TRASH, DEBRIS, & SURFACE VEGETATION SHALL BE CLEARED AND LEGALLY DISPOSED OF OFFSITE.
- PROPOSED SPOT AND CONTOUR ELEVATIONS SHOWN REPRESENT TOP OF FINISH MATERIAL (I.E. TOP OF CONCRETE, TOP OF CONCRETE BUILDING PAD, TOP OF PAVEMENT MATERIAL, TOP OF LANDSCAPING MATERIAL, ETC.). CONTRACTOR SHALL GRADE, COMPACT SUBGRADE AND DETERMINE EARTHWORK ESTIMATES BASED ON ELEVATIONS SHOWN MINUS FINISH MATERIAL THICKNESSES.
- EXISTING UTILITY LINES ARE SHOWN IN AN APPROXIMATE MANNER ONLY AND MAY BE INCOMPLETE OR OBSOLETE. SUCH LINES MAY OR MAY NOT EXIST WHERE SHOWN, OR NOT SHOWN. CONTRACTOR SHALL CONTACT NM-811 FOR UTILITY LINE SPOTS TWO WORKING DAYS PRIOR TO CONDUCTING SITE FIELD WORK. CONTRACTOR SHALL FIELD VERIFY AND LOCATE ALL UTILITIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF NECESSARY DRY UTILITY ADJUSTMENTS.
- A CITY-APPROVED EROSION AND SEDIMENT CONTROL (ESC) PERMIT MUST BE INCLUDED WITH THE CONTRACTOR'S SUBMITTAL FOR A ROUGH GRADING, GRADING, PAVING, BUILDING, OR WORK ORDER PERMIT. ESC PLAN BY OTHERS.
- ADJUST ANY RIMS OF EXISTING UTILITY FEATURES AS NECESSARY TO MATCH NEW GRADES. UTILITIES IN PAVED AREAS SHALL BE HS-25 TRAFFIC RATED.
- WHERE GRADES BETWEEN NEW AND EXISTING ARE SHOWN AS 'MATCH' OR '±', TRANSITIONS SHALL BE SMOOTH.



UNSER & VISTA ORIENTE
2220 UNSER BLVD NW
SHELL BUILDING
ALBUQUERQUE, NM 87114
GRADING & DRAINAGE PLAN NORTH

DATE: 15 FEB 2017
DRAWN BY: BJB
CHECKED BY: FCA
VERIFIED BY:

REVISIONS

NO.	DESCRIPTION

SHEET NO:
CG-101