

CITY OF ALBUQUERQUE



July 26, 2017

Martin Grummer, R.A.
331 Wellesley PI NE
Albuquerque, NM 87106

Re: Vista Oriente, 2220 Unser Blvd NW BP#201706263
Request for Certificate of Occupancy
Transportation Development Final Inspection
Architect's Stamp dated 12-22-2016 (H10D006A3)
Certification dated 10-25-16

Dear Mr./Ms.,

Based upon the information provided in your submittal received 07-14-17, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

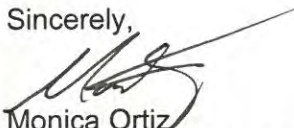
PO Box 1293

If you have any questions, please contact Monica Ortiz at (505) 924-3981.

Albuquerque

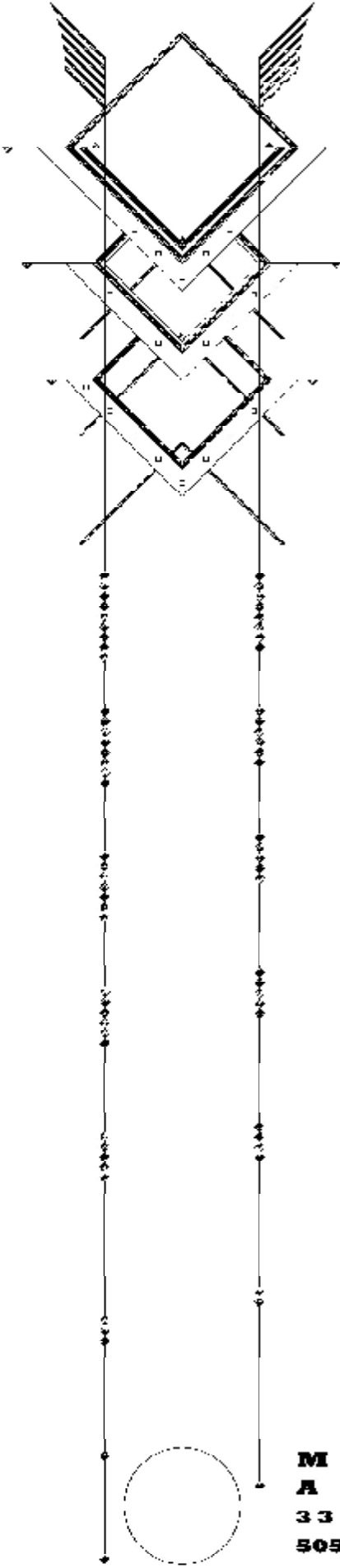
Sincerely,

New Mexico 87103


Monica Ortiz
Transportation Plan Checker
Development Review Services

www.cabq.gov

C: CO Clerk, File



TRAFFIC CERTIFICATION

I, MARTIN GRUMMER , NMRA 2044, OF THE FIRM MARTIN GRUMMER - ARCHITECT, HEREBY CERTIFY THAT THIS PROJECT IS IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 20 DEC 2016. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY MARTIN GRUMMER OF THE FIRM MARTIN GRUMMER - ARCHITECT. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 13 JULY 2017 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR CERTIFICATE OF COMPLETION.

PEDESTRIAN WALKWAY TO THE SOUTH WAS RELOCATED TO THE NORTH OF PARKING AREA. WE WILL COMPLETE CONCRETE WALK ACROSS DRIVE AREA ONCE WE HAVE THE FINAL SITE PLAN FOR THE FAST FOOD BUILDING TO THE EAST.

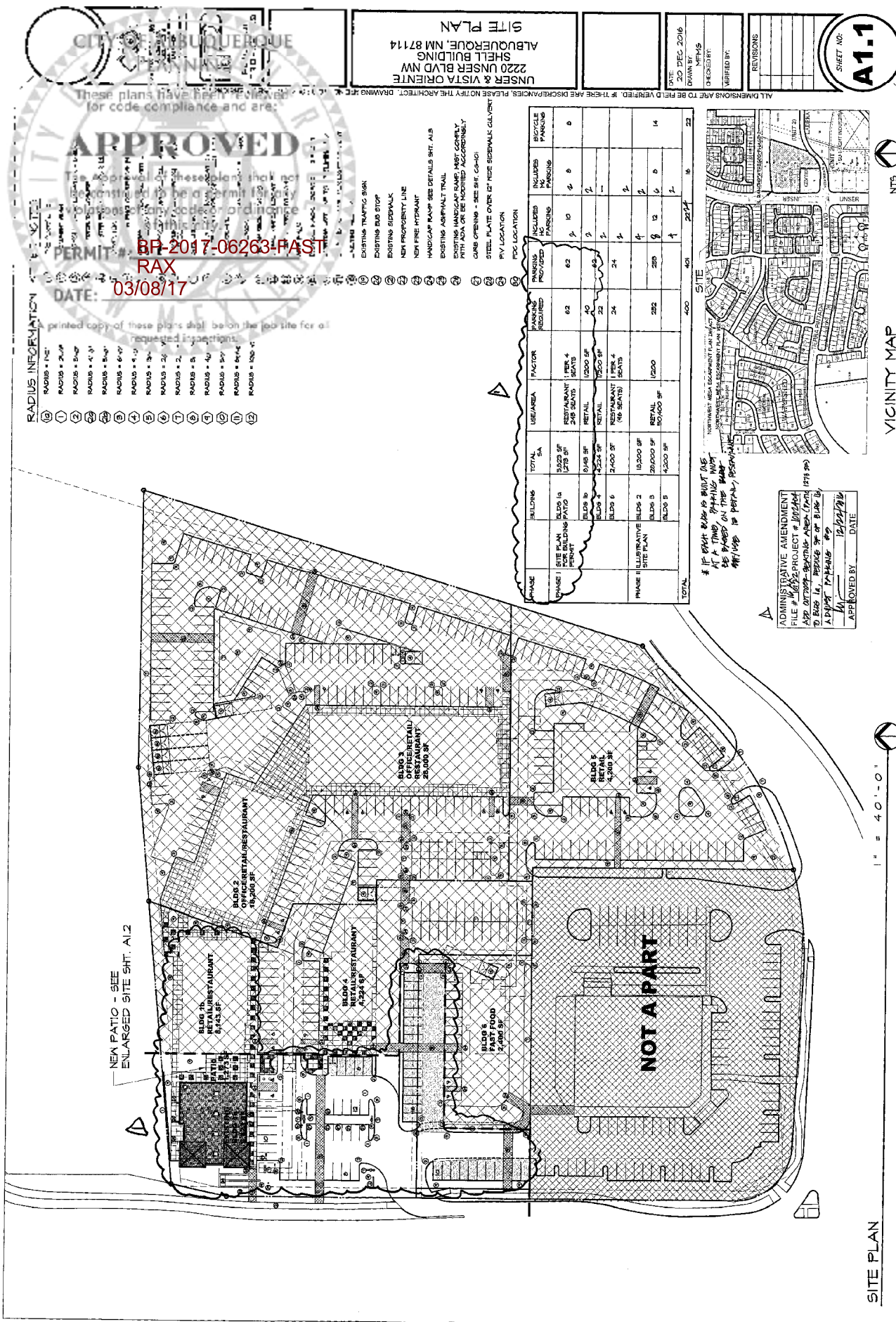
THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.



Martin FM Grummer

Date: 10/25/16

MARTIN FM GRUMMER
ARCHITECT
331 WELLESLEY PL NE ALBUQUERQUE, NM 87106
505-265-2507
mgrummer@centurylink.net



RADIUS INFORMATION

- ① RADIUS = 12"
- ② RADIUS = 24"
- ③ RADIUS = 36"
- ④ RADIUS = 48"
- ⑤ RADIUS = 60"
- ⑥ RADIUS = 72"
- ⑦ RADIUS = 84"
- ⑧ RADIUS = 96"
- ⑨ RADIUS = 108"
- ⑩ RADIUS = 120"
- ⑪ RADIUS = 132"
- ⑫ RADIUS = 144"

These plans have been reviewed for code compliance and are:

APPROVED

DATE: 03/08/17

BP-2017-06263-FAST RAX

printed copy of these plans shall be on the job site for all requested inspections.

- ⑬ EXISTING TRAFFIC SIGN
- ⑭ EXISTING BUS STOP
- ⑮ EXISTING SIDEWALK
- ⑯ NEW SIDEWALK
- ⑰ NEW FIRE HYDRANT
- ⑱ HANDICAP RAMP SEE DETAILS SHT. A1.5
- ⑲ EXISTING ASPHALT TRAIL
- ⑳ EXISTING HANDICAP RAMP MUST COMPLY WITH ADA OR BE MODIFIED ACCORDINGLY
- ㉑ GARDEN OPENING - SEE SHT. C-101
- ㉒ STEEL PLATE OVER 12" NIZE SIDEWALK CURB
- ㉓ PIV LOCATION

SITE PLAN

UNSER & VISTA ORIENTE
2220 UNSER BLVD NW
ALBUQUERQUE, NM 87114

PHASE	BUILDING	TOTAL SA	USE/AREA	FACTOR	PARKING PROVIDED	INCLUDED IN PARKING	BIKE/PARKING
PHASE 1: SITE PLAN FOR BUILDING PATIO	BUILDING 1A	5,225 SF	RESTAURANT 240 SEATS	PER 4 SEATS	62	13	6
	BUILDING 1B	5,148 SF	RETAIL	1,000 SF	40	3	2
	BUILDING 1C	4,224 SF	RETAIL	1,000 SF	22	1	1
	BUILDING 1D	2,400 SF	RESTAURANT (40 SEATS)	PER 4 SEATS	24	4	2
	BUILDING 1E	13,200 SF	RESTAURANT	PER 4 SEATS	282	13	6
PHASE 2: ILLUSTRATIVE SITE PLAN	BUILDING 2	28,000 SF	RETAIL	1,000 SF	282	13	6
	BUILDING 3	4,200 SF	RETAIL	1,000 SF	42	3	2
	BUILDING 4	4,200 SF	RETAIL	1,000 SF	42	3	2
TOTAL					400	40	22

IF BUILT AS AT A TIME, BUILDING NOT BE PLACED ON THE SAME APPLICABLE TO BUILT AS

ADMINISTRATIVE AMENDMENT
FILE # 10022 PROJECT # 10022
ADD OUTSIDE SEATING AREA (1000 SF) TO BUILDING 1A, REDUCE 30' OF BUILDING 1A DRIVEWAY PARKING 30'

APPROVED BY: [Signature]
DATE: 12/22/16

A1.1

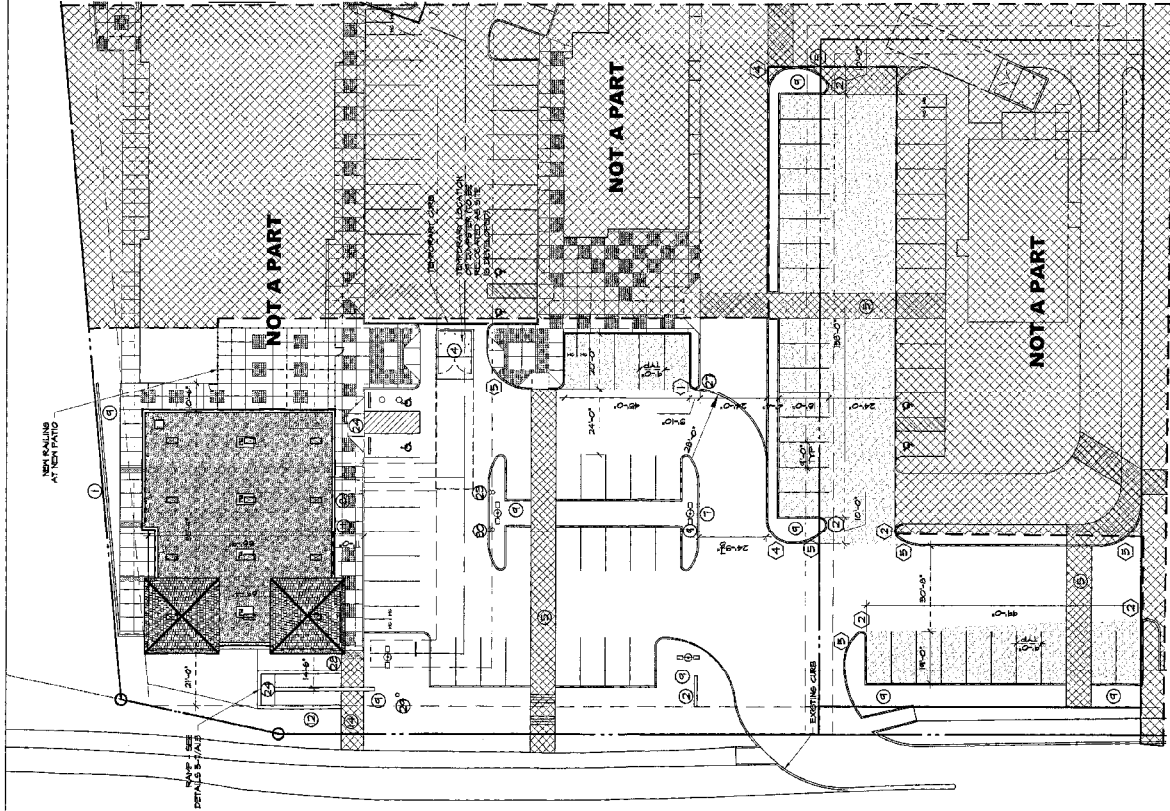
SHEET NO.

NTS

VICINITY MAP

1" = 40'-0"

SITE PLAN



ENLARGED SITE PLAN

1" = 20'-0"

RADIUS INFORMATION

- 1 RADIUS = 1'-0"
- 2 RADIUS = 2'-0"
- 3 RADIUS = 3'-0"
- 4 RADIUS = 4'-0"
- 5 RADIUS = 5'-0"
- 6 RADIUS = 6'-0"
- 7 RADIUS = 7'-0"
- 8 RADIUS = 8'-0"
- 9 RADIUS = 9'-0"
- 10 RADIUS = 10'-0"
- 11 RADIUS = 11'-0"
- 12 RADIUS = 12'-0"
- 13 RADIUS = 13'-0"
- 14 RADIUS = 14'-0"
- 15 RADIUS = 15'-0"
- 16 RADIUS = 16'-0"
- 17 RADIUS = 17'-0"
- 18 RADIUS = 18'-0"
- 19 RADIUS = 19'-0"
- 20 RADIUS = 20'-0"
- 21 RADIUS = 21'-0"
- 22 RADIUS = 22'-0"
- 23 RADIUS = 23'-0"
- 24 RADIUS = 24'-0"
- 25 RADIUS = 25'-0"
- 26 RADIUS = 26'-0"
- 27 RADIUS = 27'-0"
- 28 RADIUS = 28'-0"
- 29 RADIUS = 29'-0"
- 30 RADIUS = 30'-0"
- 31 RADIUS = 31'-0"
- 32 RADIUS = 32'-0"
- 33 RADIUS = 33'-0"
- 34 RADIUS = 34'-0"
- 35 RADIUS = 35'-0"
- 36 RADIUS = 36'-0"
- 37 RADIUS = 37'-0"
- 38 RADIUS = 38'-0"
- 39 RADIUS = 39'-0"
- 40 RADIUS = 40'-0"
- 41 RADIUS = 41'-0"
- 42 RADIUS = 42'-0"
- 43 RADIUS = 43'-0"
- 44 RADIUS = 44'-0"
- 45 RADIUS = 45'-0"
- 46 RADIUS = 46'-0"
- 47 RADIUS = 47'-0"
- 48 RADIUS = 48'-0"
- 49 RADIUS = 49'-0"
- 50 RADIUS = 50'-0"
- 51 RADIUS = 51'-0"
- 52 RADIUS = 52'-0"
- 53 RADIUS = 53'-0"
- 54 RADIUS = 54'-0"
- 55 RADIUS = 55'-0"
- 56 RADIUS = 56'-0"
- 57 RADIUS = 57'-0"
- 58 RADIUS = 58'-0"
- 59 RADIUS = 59'-0"
- 60 RADIUS = 60'-0"

A printed copy of these plans shall be on the job site for all requested inspections.

DATE: 03/08/17

BP-2017-06263-FAST
RAX

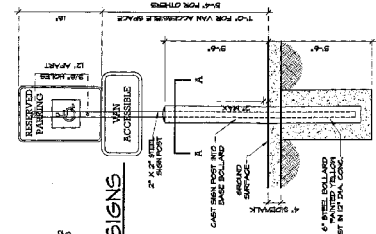
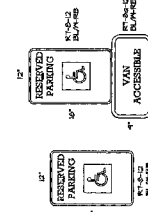
APPROVED

These plans have been reviewed for code compliance and are:

- 1. EXISTING TRAFFIC SIGN
- 2. EXISTING BUS STOP
- 3. EXISTING SIDEWALK
- 4. NEW PROPERTY LINE
- 5. NEW FIRE HYDRANT
- 6. HANDICAP RAMP SEE DETAILS
- 7. EXISTING ASPHALT TRAIL
- 8. EXISTING HANDICAP RAMP, MEET COMPLY WITH ADA OR BE MODIFIED ACCORDINGLY
- 9. CURB OPENING - SEE DET. C6-01
- 10. STEEL PLATE OVER 12" WIDE SIDEWALK CURB
- 11. PLY LOCATION
- 12. PDC LOCATION

UNSER & VISTA ORIENTE
2220 UNSER BLVD NW
SHELL BUILDING
ALBUQUERQUE, NM 87114
ENLARGED SITE PLAN

4 HANDICAP PARKING SIGNS



5 SECTION A-A
6 SIGN MOUNTING DETAIL

SHEET NO.
A1.2

DATE	20 DEC 2016
DRAWN BY	WPM
CHECKED BY	
VERIFIED BY	
REVISIONS	



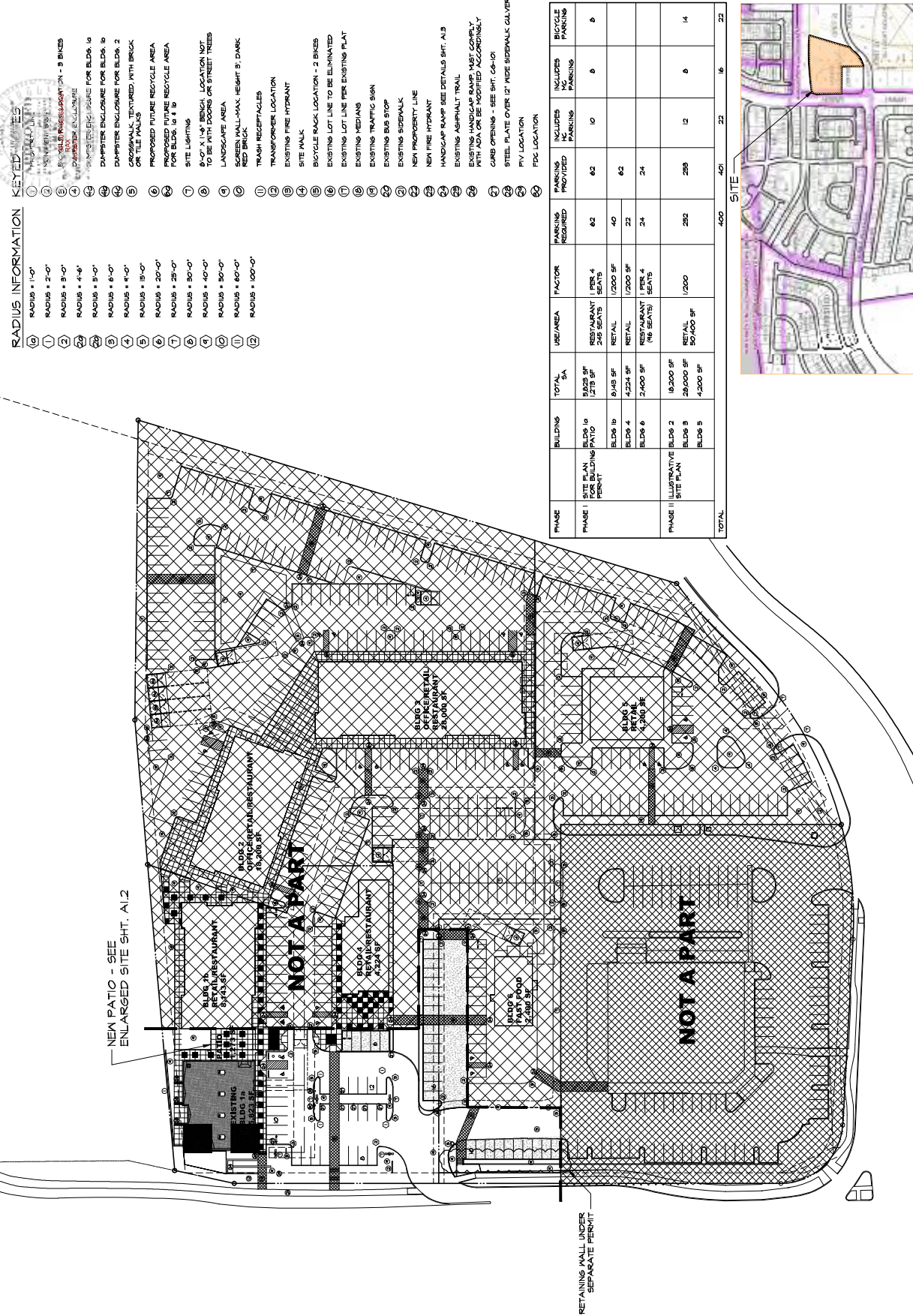
UNSER & VISTA ORIENTE
2220 UNSER BLVD NW
ALBUQUERQUE, NM 87114
SITE PLAN



DATE: 20 FEB 2017
DRAWN BY: PFM/MS
CHECKED BY:
VERIFIED BY:

REVISIONS

SHEET NO:
A1.1



- RADIUS INFORMATION**
- ① RADIUS = 1'-0"
 - ② RADIUS = 2'-0"
 - ③ RADIUS = 3'-0"
 - ④ RADIUS = 4'-0"
 - ⑤ RADIUS = 5'-0"
 - ⑥ RADIUS = 6'-0"
 - ⑦ RADIUS = 8'-0"
 - ⑧ RADIUS = 10'-0"
 - ⑨ RADIUS = 15'-0"
 - ⑩ RADIUS = 20'-0"
 - ⑪ RADIUS = 25'-0"
 - ⑫ RADIUS = 30'-0"
 - ⑬ RADIUS = 40'-0"
 - ⑭ RADIUS = 50'-0"
 - ⑮ RADIUS = 60'-0"
 - ⑯ RADIUS = 100'-0"

- KEY NOTES**
- ① ALL DIMENSIONS ARE TO BE FIELD VERIFIED. IF THERE ARE DISCREPANCIES, PLEASE NOTIFY THE ARCHITECT. DRAWINGS ARE NOT TO BE SCALED. USE DIMENSIONS FOR ACCURACY.
 - ② 1/2" X 1/4" BENCH LOCATION NOT TO BE WITH DOORS OR STREET TREES
 - ③ LANDSCAPE AREA
 - ④ SCREEN WALL - MAX. HEIGHT 5' DARK RED BRICK
 - ⑤ TRASH RECEPTACLES
 - ⑥ TRANSFORMER LOCATION
 - ⑦ EXISTING FIRE HYDRANT
 - ⑧ SITE PAVK
 - ⑨ BICYCLE RACK LOCATION - 2 BIKES
 - ⑩ EXISTING LOT LINE TO BE ELIMINATED
 - ⑪ EXISTING LOT LINE PER EXISTING PLAT
 - ⑫ EXISTING MEDIANS
 - ⑬ EXISTING TRAFFIC SIGN
 - ⑭ EXISTING BUS STOP
 - ⑮ EXISTING SIDEWALK
 - ⑯ NEW PROPERTY LINE
 - ⑰ NEW FIRE HYDRANT
 - ⑱ HANDICAP RAMP SEE DETAILS SHT. A1.3
 - ⑲ EXISTING ASPHALT TRAIL
 - ⑳ EXISTING HANDICAP RAMP MUST COMPLY WITH ADA OR BE NOTIFIED ACCORDINGLY
 - ㉑ GARD OPENINGS - SEE SHT. G4-101
 - ㉒ STEEL PLATE OVER 12" WIDE SIDEWALK GULCH
 - ㉓ PLY LOCATION
 - ㉔ FOG LOCATION

PHASE	BUILDING	TOTAL SA	USE/AREA	FACTOR	PARKING REQUIRED	PARKING PROVIDED	INCLUDES PARKING	BICYCLE PARKING
PHASE I SITE PLAN PERMIT	BUILDING 1A	9,028 SF	RESTAURANT 245 SEATS	PER 4	62	62	10	6
	BUILDING 1B	1,275 SF	RETAIL	1/200 SF	40	62		
	BUILDING 1C	9,145 SF	RETAIL	1/200 SF	22			
	BUILDING 1D	4,224 SF	RESTAURANT (16 SEATS)	PER 4	24	24		
PHASE II ILLUSTRATIVE SITE PLAN	BUILDING 2	18,000 SF	RETAIL	1/200	250	250	12	6
	BUILDING 3	28,000 SF						
	BUILDING 5	4,000 SF						
TOTAL					400	400	22	16



SITE PLAN

1" = 40'-0"

VICINITY MAP

NTS