

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

October 7, 2025

Martin Grummer, R.A
Martin FM Grummer Architect
331 Wellesley PI NE
Albuquerque, NM 87106

Re: BLDG #4 Retail/ Restaurant 2220 Unser Blvd NW
Request for Certificate of Occupancy
Transportation Development Final Inspection
Architect's Stamp dated 07-24-24 (H10D006A7)
Certification dated 10-01-25
TRANS-2025-00287

Dear Mr. Gurrmer,

PO Box 1293

Based upon the information provided in your submittal received 10-03-25, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

Albuquerque

If you have any questions, please contact Ernest Armijo at (505) 924-3991 or at earmijo@cabq.gov

NM 87103

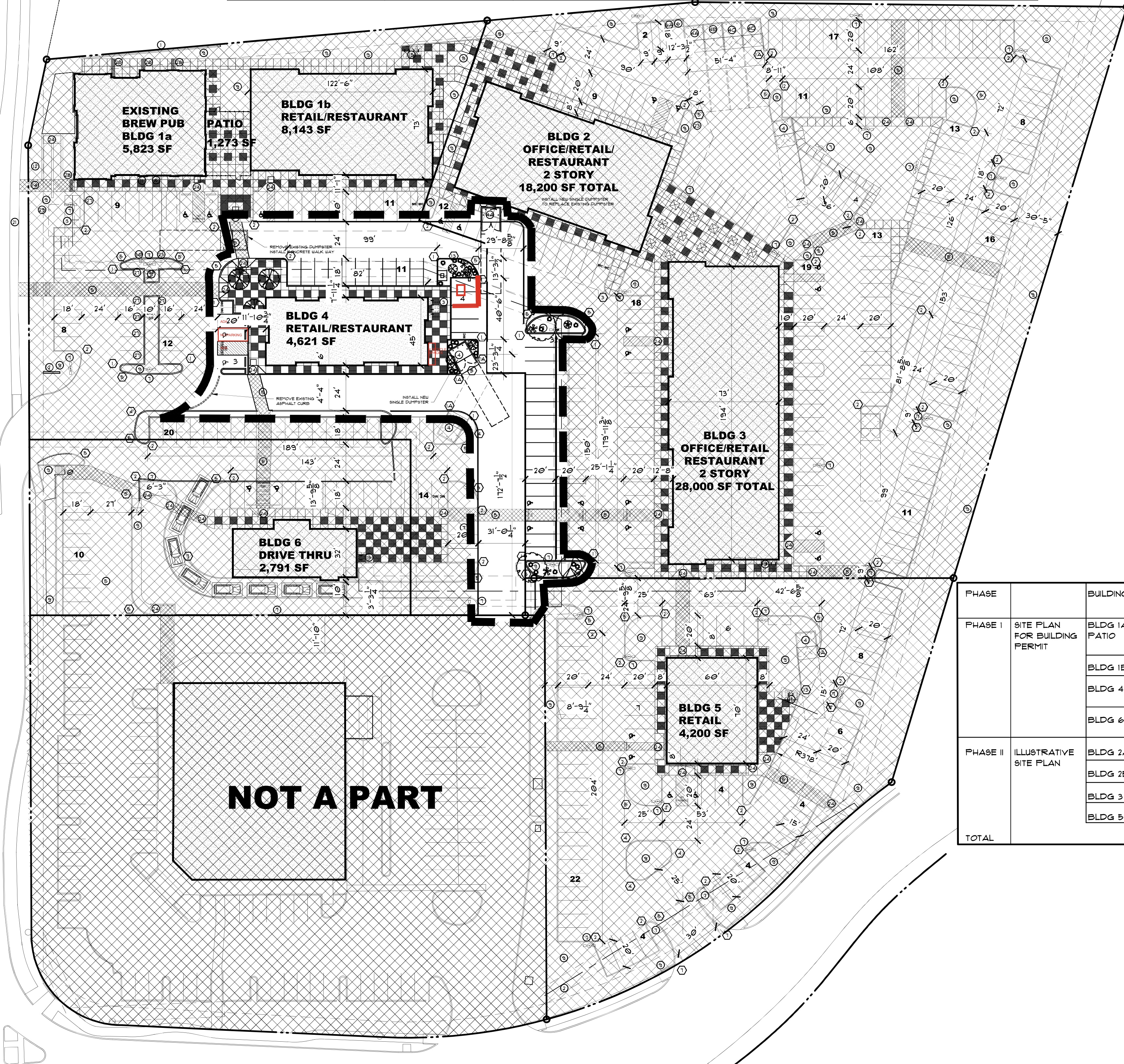
Sincerely,

www.cabq.gov

Ernest Armijo, P.E.
Principal Engineer, Planning Dept.
Development Review Services

\EA via: email
C: CO Clerk, File

TRACT NUMBER	LANDSCAPE TABULATION				TOTAL ACRES
	LOT-1	LOT-2	LOT-3	LOT-4	
TOTAL ACREAGE	AREA = 0.9181 AC	AREA = 0.6886 AC	AREA = 0.5327 AC	AREA = 0.7121 AC	AREA = 6.1724 AC
LOT SIZE	74,434 SF	40,693 SF	130,906 SF	55,381 SF	309,419 SF
BLDG. SIZE	16,495 SF	2,791 SF	20,292 SF	4,621 SF	52,599 SF
NET LOT	51,939 SF	37,902 SF	110,614 SF	51,181 SF	256,820 SF
LANDSCAPE PERCENTAGE	15 %	15 %	15 %	15 %	15 %
LANDSCAPE REQUIRED	8,691 SF	5,685 SF	16,592 SF	7,678 SF	38,522 SF
LANDSCAPE PROVIDED	9,173 SF	7,505 SF	23,410 SF	4,707 SF	54,855 SF
GROUND COVERAGE	80 %	80 %	80 %	80 %	80 %
COVERAGE REQUIRED	6,353 SF	4,548 SF	13,206 SF	6,142 SF	30,810 SF
COVERAGE PROVIDED	XXX SF	XXX SF	XXX SF	XXX SF	---



RADIUS INFORMATION

- ① RADIUS = 1'-0"
- ② RADIUS = 2'-0"
- ③ RADIUS = 3'-0"
- ④ RADIUS = 4'-6"
- ⑤ RADIUS = 5'-0"
- ⑥ RADIUS = 6'-0"
- ⑦ RADIUS = 8'-0"
- ⑧ RADIUS = 15'-0"
- ⑨ RADIUS = 20'-0"
- ⑩ RADIUS = 25'-0"
- ⑪ RADIUS = 30'-0"
- ⑫ RADIUS = 40'-0"
- ⑬ RADIUS = 50'-0"
- ⑭ RADIUS = 60'-0"
- ⑮ RADIUS = 100'-0"
- ⑯ RADIUS = 20'-0"
- ⑰ RADIUS = 8'-0"

TRAFFIC CIRCULATION LAYOUT APPROVED
 Sertil A. Kanbar 9/12/2024
 Signed _____ Date _____

KEYED NOTES

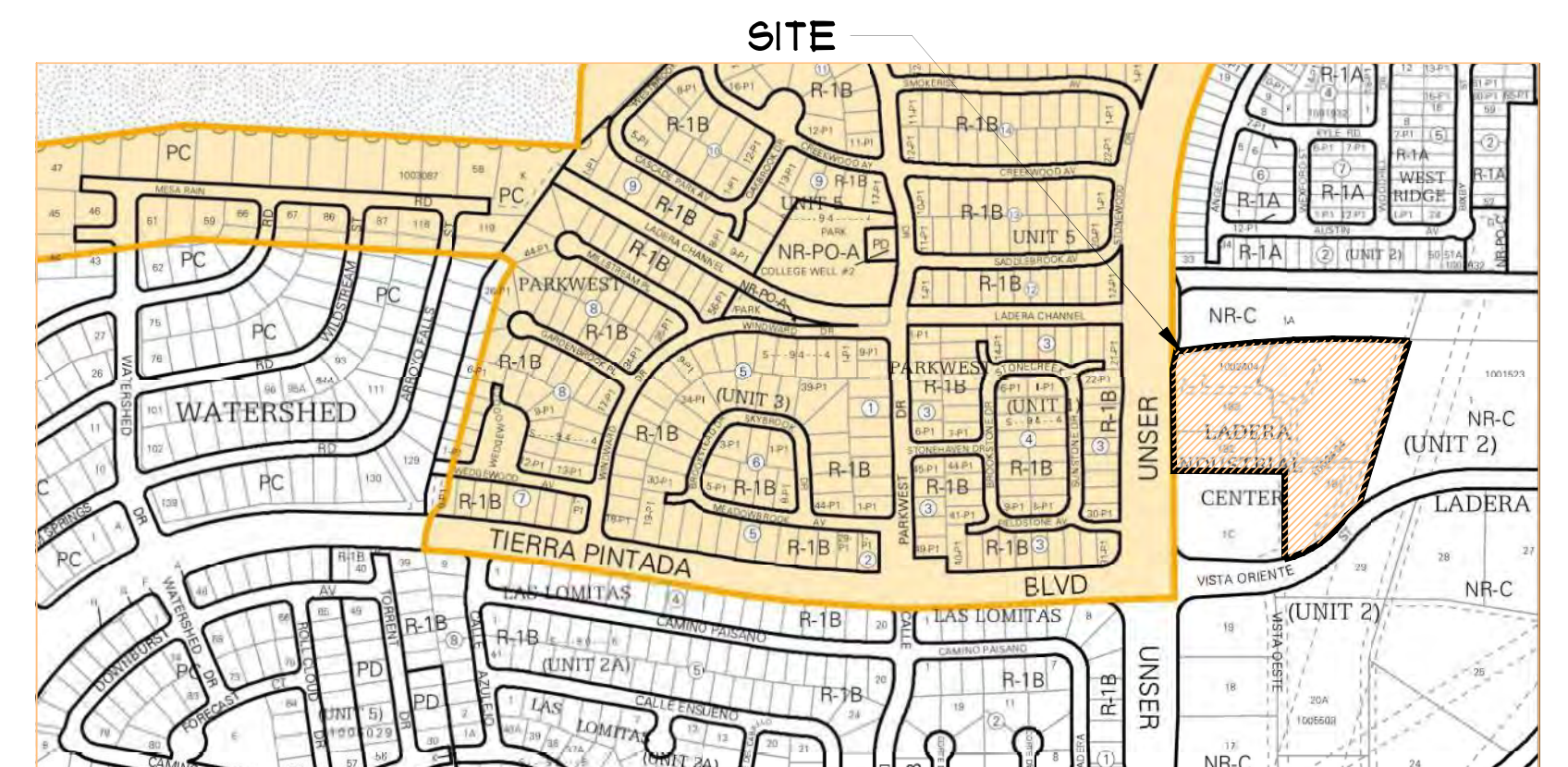
- ① PROPERTY LINE
- ② MONUMENT SIGN
- ③ BICYCLE RACK LOCATION - 4 BIKES EXISTING
- ④ DUMPSTER ENCLOSURE
- ④A DUMPSTER ENCLOSURE FOR BLDG. 1A
- ④B DUMPSTER ENCLOSURE FOR BLDG. 1B
- ④C DUMPSTER ENCLOSURE FOR BLDG. 2
- ⑤ CROSSWALK, TEXTURED, WITH BRICK OR TILE WALKS
- ⑥ PROPOSED FUTURE RECYCLE AREA
- ⑥A PROPOSED FUTURE RECYCLE AREA FOR BLDG. 1A & 1B
- ⑦ SITE LIGHTING
- ⑧ 8'-0" x 1'-6" BENCH, LOCATION NOT TO BE WITH DOORS OR STREET TREES
- ⑨ LANDSCAPE AREA
- ⑩ SCREEN WALL-MAX. HEIGHT 3', DARK RED BRICK
- ⑪ TRASH RECEPTACLES
- ⑫ TRANSFORMER LOCATION
- ⑬ EXISTING FIRE HYDRANT
- ⑭ SITE WALK
- ⑮ BICYCLE RACK LOCATION
- ⑯ EXISTING LOT LINE TO BE ELIMINATED
- ⑰ EXISTING LOT LINE PER EXISTING PLAT
- ⑱ EXISTING MEDIANS
- ⑲ EXISTING TRAFFIC SIGN
- ⑳ EXISTING BUS STOP
- ㉑ EXISTING SIDEWALK
- ㉒ NEW PROPERTY LINE
- ㉓ NEW FIRE HYDRANT
- ㉔ HANDICAP RAMP SEE DETAILS SHT. A1.3
- ㉕ EXISTING ASPHALT TRAIL
- ㉖ EXISTING HANDICAP RAMP, MUST COMPLY WITH ADA OR BE MODIFIED ACCORDINGLY
- ㉗ CURB OPENING - SEE SHT. CG-101
- ㉘ STEEL PLATE OVER 12" WIDE SIDEWALK CULVERT
- ㉙ FIV LOCATION
- ㉚ FDC LOCATION

PHASE	SITE PLAN FOR BUILDING PERMIT	BUILDING	TOTAL	USE/AREA FACTOR	PARKING REQUIRED	PARKING PROVIDED	INCLUDES HC PARKING	PLUS HC PARKING	BICYCLE PARKING
PHASE I	SITE PLAN FOR BUILDING PERMIT	BLDG 1A PATIO	5,823 SF 1,213 SF	RESTAURANT 245 SEATS	8/1000	41	62	2	4
		BLDG 1B	8,143 SF	RETAIL	4/1000	33		2	2
		BLDG 4	4,621 SF	RETAIL/RESTAURANT	8/1000	37		2	2
		BLDG 6	2,791 SF	DRIVE THRU (10 SEATS)	1 PER 4 SEATS	18		41 + 8 QUEUE	2
PHASE II	ILLUSTRATIVE SITE PLAN	BLDG 2A	3,872 SF	RETAIL	4/1000	16	158	4	2
		BLDG 2B	4,400 SF	RETAIL	4/1000	18		4	2
		BLDG 3	40,040 SF	RETAIL/WHSE	1000 (MAX 30%)	144		2	4
		BLDG 5	4,200 SF	RETAIL	4/1000	17		2	2
TOTAL					330	340	18	23	35

UNSER BLVD NW

VISTA ORIENTE NW
SITE PLAN

1" = 40'-0"



VICINITY MAP

NTS



UNSER & VISTA ORIENTE
 2220 UNSE BLVD NW
 BUILDING #4
 ALBUQUERQUE, NM 87114
 SITE PLAN

BLDG. #4

DATE: 26 JULY 2024
 DRAWN BY: MFMG
 CHECKED BY:
 VERIFIED BY:

REVISIONS

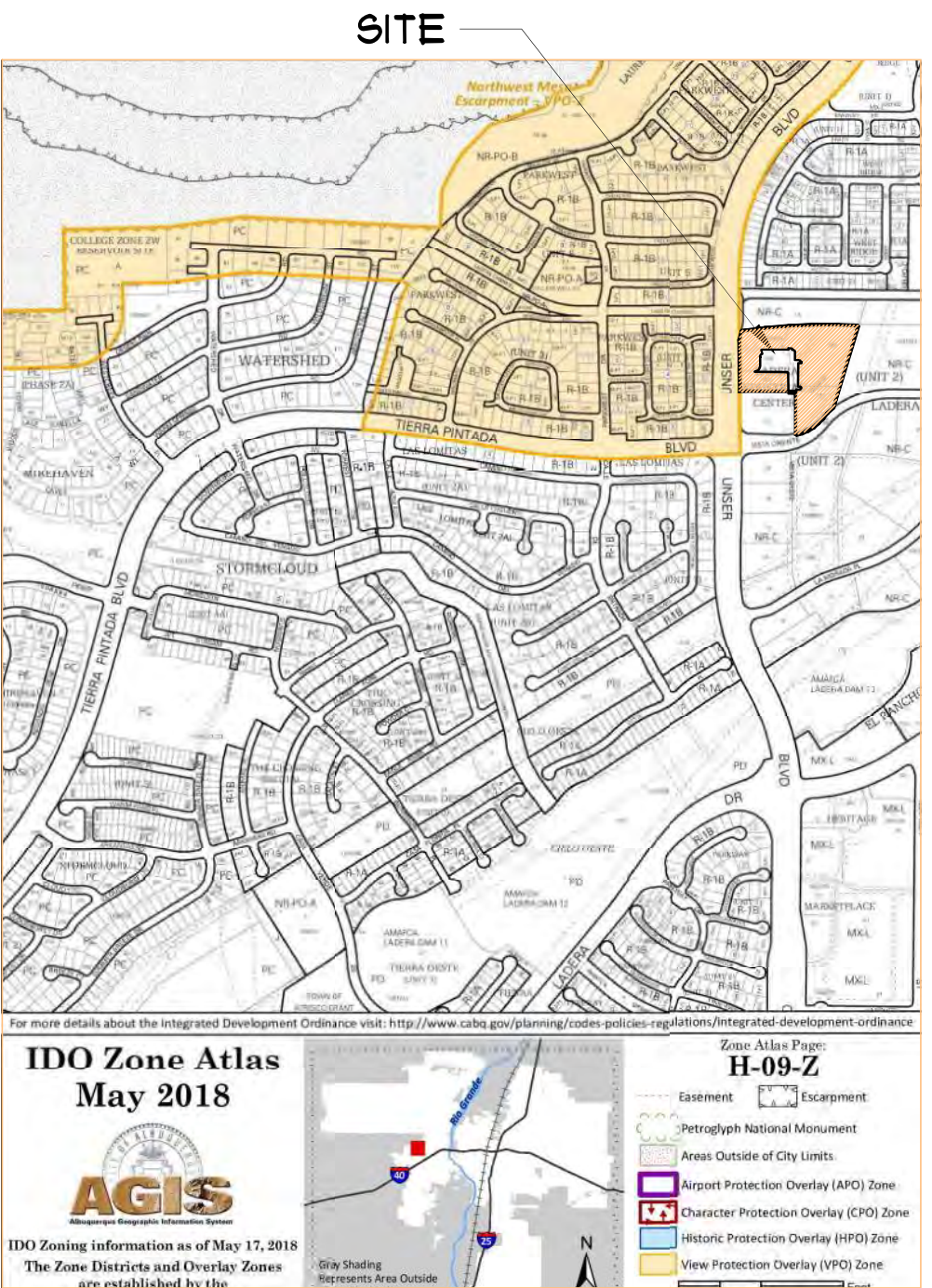
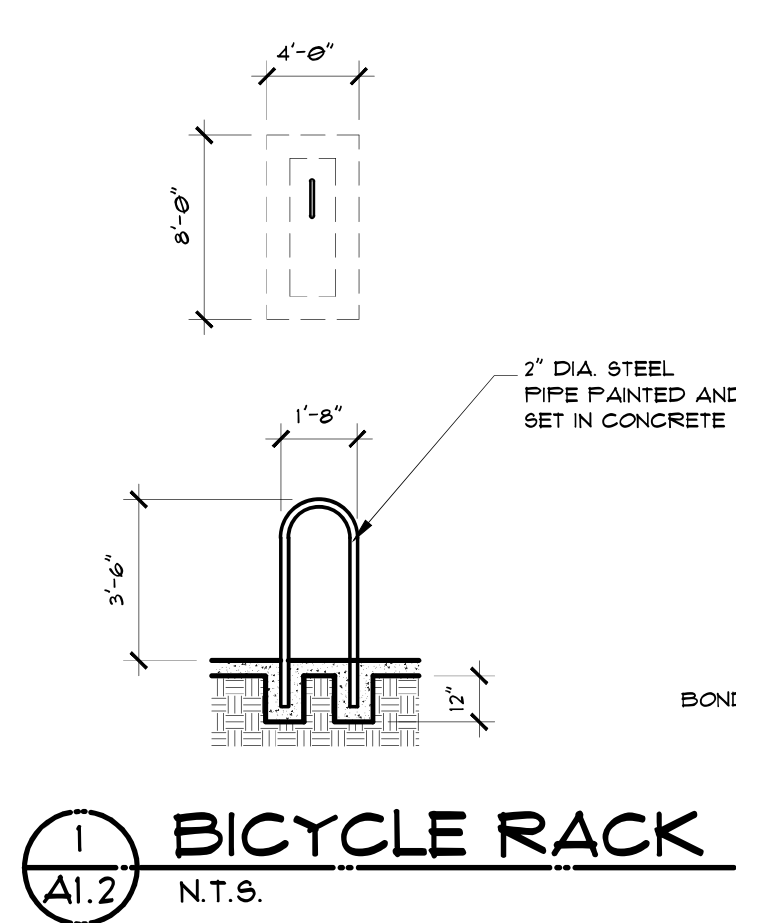
SHEET NO:
A1.1

ALL DIMENSIONS ARE TO BE FIELD VERIFIED. IF THERE ARE DISCREPANCIES, PLEASE NOTIFY THE ARCHITECT. DRAWING ARE NOT TO BE SCALED. USE DIMENSIONS FOR ACCURACY.

PARKING CALCULATIONS	
NET LEASABLE AREA	4,621 SF
PARKING REQ.	
RETAIL (15@55F) @ 4/1000SF	6.02 SPACES
POSSIBLE RESTAURANT (3,115 SF) @ 8/1000SF	24.92 SPACES
TOTAL REQUIRED	30.94 SPACES
PARKING PROVIDED	
EXISTING SPACES	24 SPACES
NEW SPACES	14 SPACES
TOTAL PROVIDED	38 SPACES
2 ADA SPACES REQUIRED	2 ADA SPACES PROVIDED
2 MOTORCYCLE SPACES REQ.	3 MC SPACES PROVIDED
3 BICYCLE SPACES REQ.	3 BICYCLE SPACES PROVIDED

ADDRESS
 2220 UNSER BLVD NW
 BUILDING 4
 ALBUQUERQUE, NM
 87114

LEGAL DESCRIPTION
 LOT 1B3
 BLOCK 0000
 LADERA INDUSTRIAL CENTER
 CITY OF ALBUQUERQUE,
 BERNALILLO COUNTY, NEW MEXICO

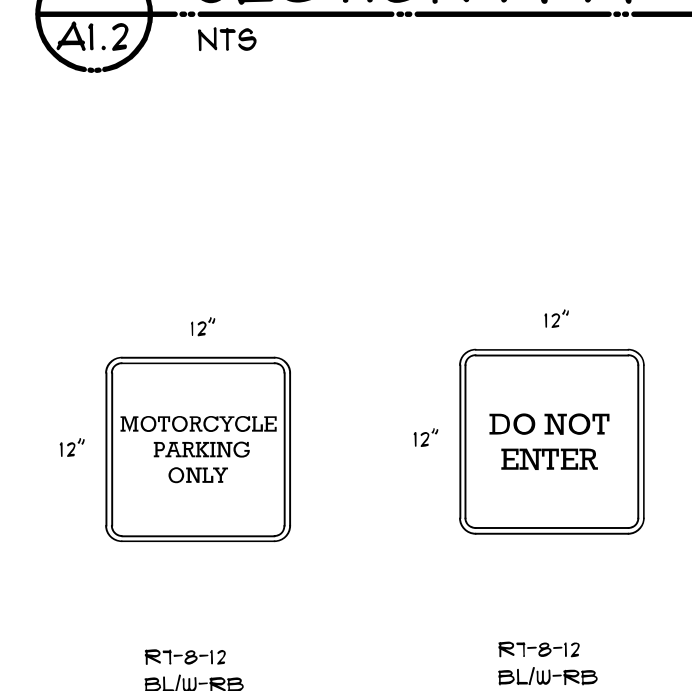
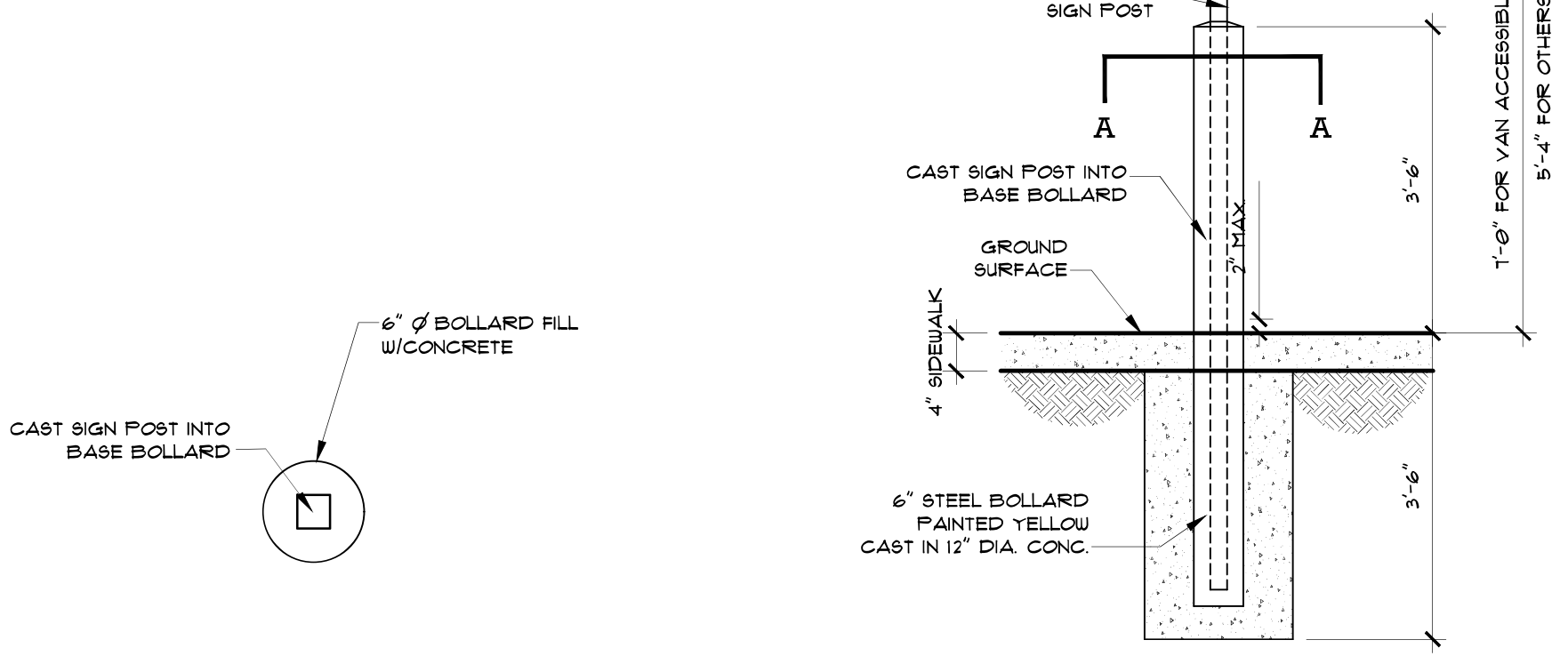
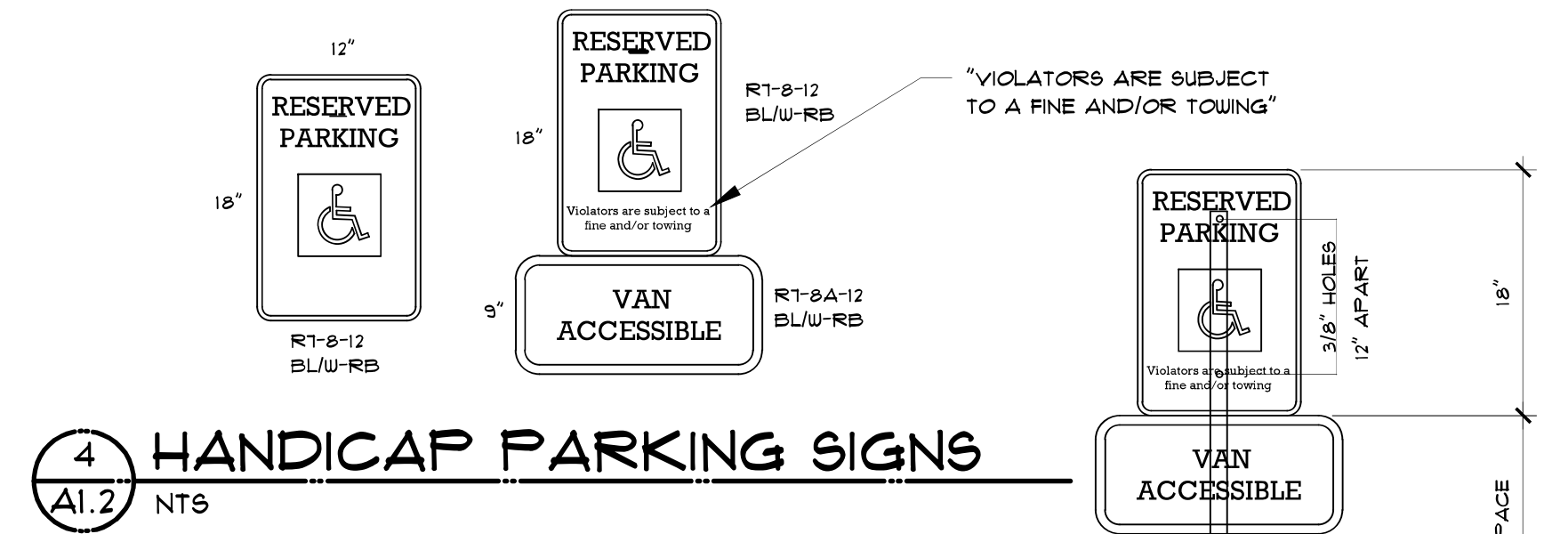


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12	RADIUS = 100'-0"

- KEYED NOTES**
- PROPERTY LINE
 - MONUMENT SIGN
 - BICYCLE RACK LOCATION - 3 BIKES, SEE 1/AI.2
 - DUMPSTER ENCLOSURE, SEE 2/AI.2
 - DUMPSTER ENCLOSURE FOR BLDG. 1A
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 - NEW PROPERTY LINE
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 - HANDICAP RAMP SEE DETAILS
 - EXISTING ASPHALT TRAIL
 - EXISTING HANDICAP RAMP, MUST COMPLY WITH ADA OR BE MODIFIED ACCORDINGLY
 - CURB OPENING - SEE SHT. CG-101
 - STEEL PLATE OVER 12" WIDE SIDEWALK CULVERT
 - FIV LOCATION
 - FDC LOCATION

TRAFFIC CIRCULATION LAYOUT APPROVED
 Sortil A. Kanbar 9/12/2024
 Signed Date

VICINITY MAP N.T.S.



NOTE: LETTERING SHALL BE FHWA SERIES "B" ALPHABET

MOUNTING OPTIONS:
 A) FLEXIBLE P.E. POST WITH SURFACE MOUNT BASE - EPOXY TO PAVEMENT SURFACE
 B) PERFORATED GALVANIZED TUBING INSTALL IN LANDSCAPE AREAS ONLY

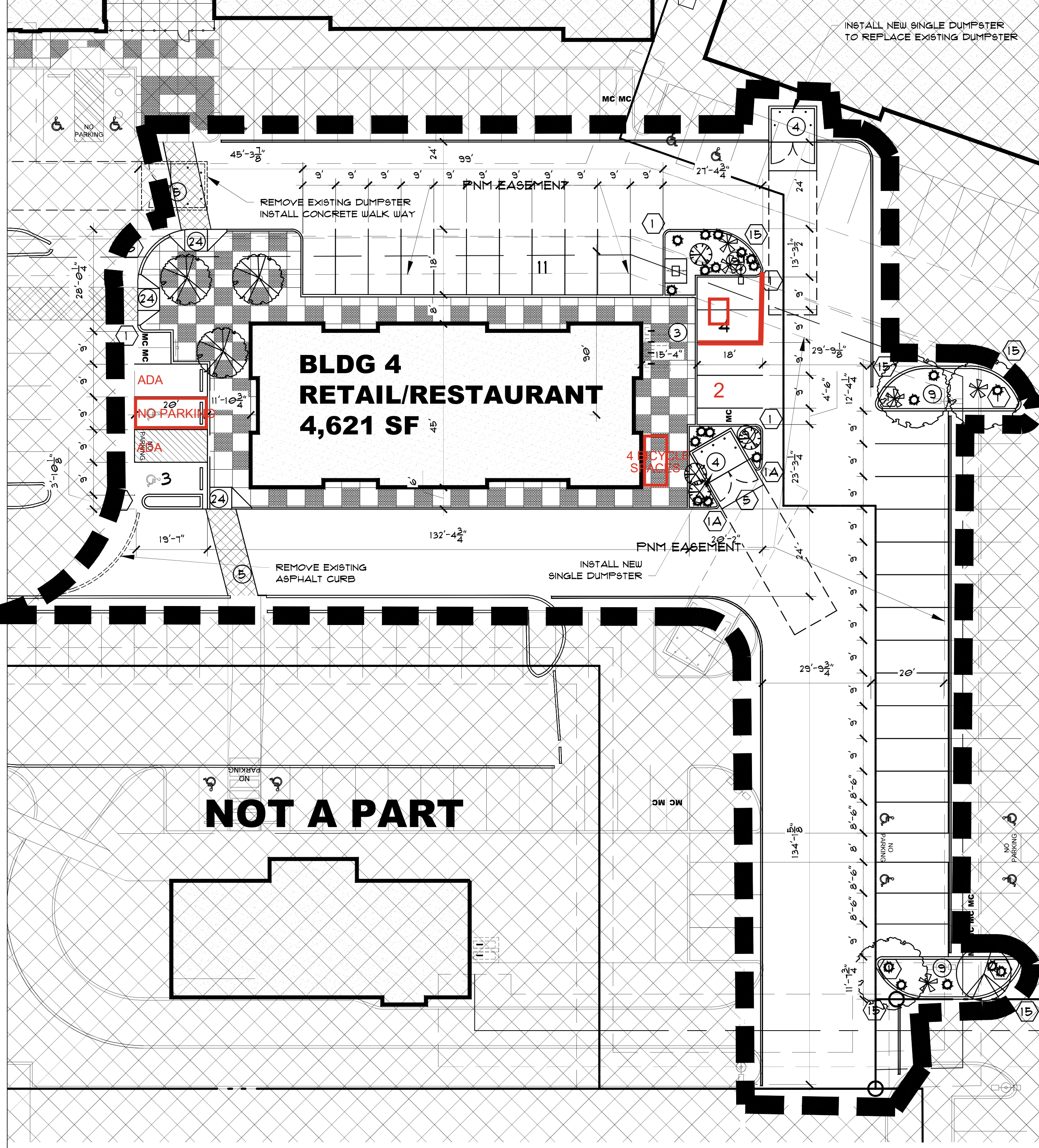
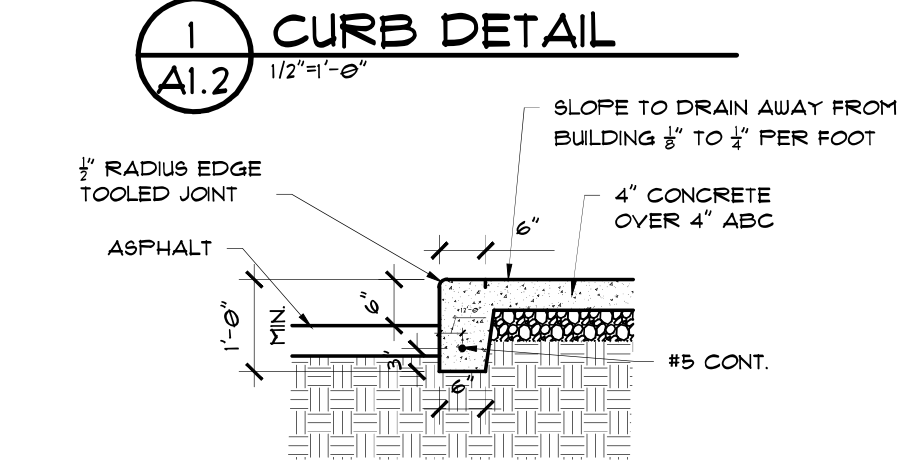
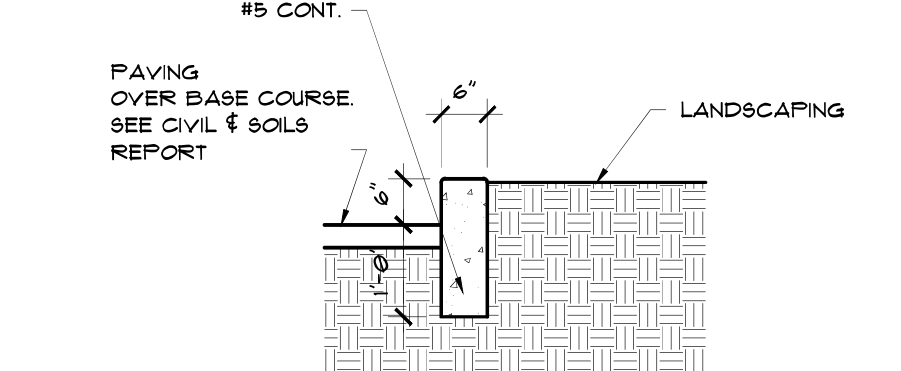
BLACK BORDERS AND TEXT, ON WHITE OR REFLECTIVE BACKGROUND (TYP)

BOTTOM OF SIGN SHALL NOT BE LESS THAN 4'-0" ABOVE FINISH SURFACE

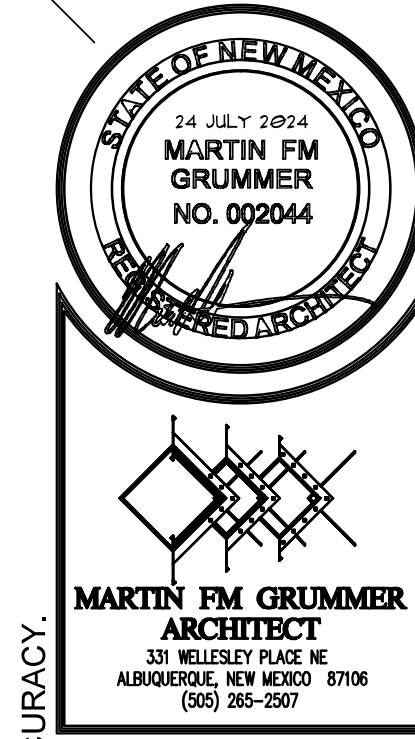
NO PARKING

NOTE: LETTERING FOR "NO PARKING" PAINTED ON ASPHALT SHALL BE IN CAPITAL LETTERS, EACH OF WHICH SHALL BE AT LEAST ONE FOOT HIGH AND AT LEAST TWO INCHES WIDE, PLACED AT THE REAR OF THE PARKING SPACE SO AS TO BE CLOSE TO WHERE AN ADJACENT VEHICLE'S TIRE WOULD BE PLACED.

- NOTES:**
- ALL VERTICAL SURFACES TO BE FORMED.
 - VERTICAL SURFACES DOWN FROM 2" BELOW UNDISTURBED SOIL MAY BE PLACED AGAINST NEAT CUT IF APPROVED BY THE ENGINEER AND CONCRETE WILL NOT EXTEND MORE THAN 1" BEYOND THEORETICAL FACE.
 - ALL EXPOSED SURFACES TO BE STRIPPED GREEN AND TROWEL FINISHED.
 - CONCRETE CURBS CONFORM TO SECT. 340.
 - MAXIMUM SPACING OF CONSTRUCTION JOINTS IS 10'-0". EXPANSION JOINT IS 3' OR 5'.



ENLARGED SITE PLAN
 1" = 20'-0"



UNSER & VISTA ORIENTE
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 BUILDING #4
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ENLARGED SITE PLAN

BLDG. #4

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