



# ***City of Albuquerque***

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

November 4, 1999

Scott McGee, P.E.  
Isaacson & Arfman  
128 Monroe NE  
Albuquerque, New Mexico 87108

***RE: Grading and Drainage Certification Plan for Kensington Subdivision, Phase Two  
(H10/D23) Submitted for Release of Financial Guarantees, Engineer's Certification  
Stamp Dated 10/20/99.***

Dear Mr. McGee:

The above referenced plan is adequate to satisfy the Grading and Drainage Certification requirement per the Infrastructure List dated January 20, 1998. However, prior to release of Financial Guarantees for this subdivision, the Letter of Map Revision (LOMR) must be received from the Federal Emergency Management Agency (FEMA).

The LOMR request has been submitted to my office and will be forwarded to FEMA as soon as possible. If FEMA has no problem with the submittal, the LOMR should be issued within the next month or two.

If you have any questions, or if I may be of further assistance to you, please call me at 924-3982.

Sincerely,

Susan M. Calongne, P.E.  
City/County Floodplain Administrator

c: Terri Martin, DRB 97-415, City Project No. 5850.82  
Ben Spencer, Kensington Ltd. Partnership  
File



# ***City of Albuquerque***

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

March 19, 1999

Scott McGee, P.E.  
Isaacson & Arfman  
128 Monroe NE  
Albuquerque, New Mexico 87108

***RE: Revised Grading and Drainage Plan for Kensington Subdivision, Phase Two  
(H10/D23) Submitted for Final Plat and Work Order Approval, Engineer's Stamp  
Dated 1/29/99.***

Dear Mr. McGee:

Based on the information provided in the submittal of March 8, 1999, the above referenced plan is approved for Final Plat action and Work Order sign-off.

As you are aware, the revised Plat must be approved by the DRB. The Engineer's Certification of the plan that is approved by the DRB is required prior to release of the Subdivision Improvements Agreement (SIA). The Letter of Map Revision (LOMR) from FEMA is also required prior to release of the SIA for this Phase.

If you have any questions, or if I may be of further assistance to you, please call me at 924-3982.

Sincerely,

Susan M. Calongne, P.E.  
City/County Floodplain Administrator

c: Ben Spencer, Kensington Ltd. Partnership

**File**



June 30, 1998

Scott McGee, P.E.  
Isaacson & Arfman  
128 Monroe NE  
Albuquerque, New Mexico 87108

**RE:    *Grading and Drainage Certification for Kensington Subdivision Phase One,  
(H10/D23) Submitted for Release of Financial Guarantees, Engineer's Stamp Dated  
6/12/98.***

Dear Mr. McGee:

The above referenced plan is adequate to satisfy the Grading and Drainage Certification per the Infrastructure List dated January 20, 1998, for the release of financial guarantees for Phase One of Kensington Subdivision.

If you have any questions, or if I may be of further assistance to you, please call me at 924-3982.

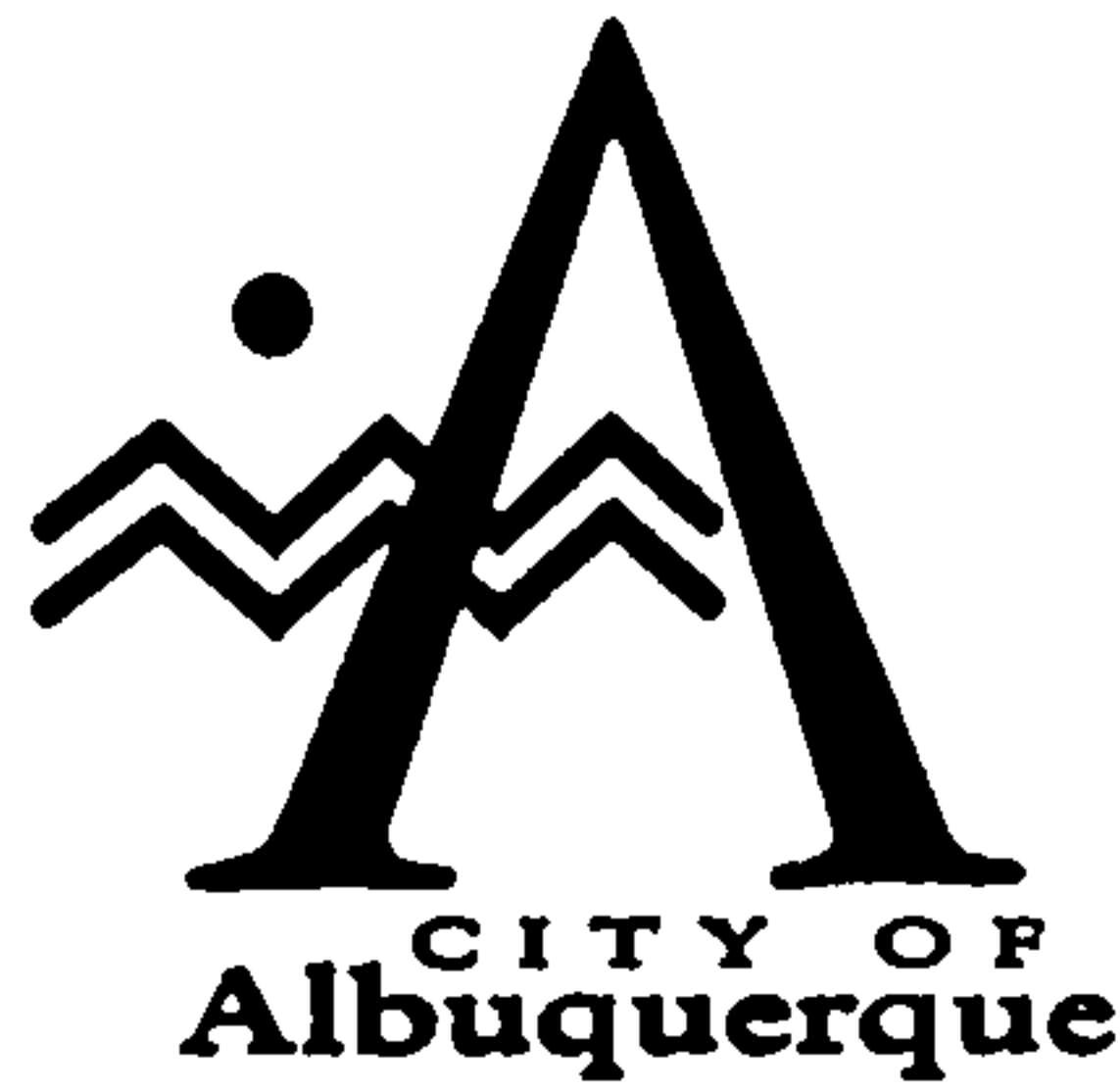
Sincerely,

Susan M. Calongne, P.E.  
City/County Floodplain Administrator

c:     Ben Spencer, Argus Development  
      File

Good for You, Albuquerque!





June 11, 1998

Scott McGee, P.E.  
Isaacson & Arfman  
128 Monroe NE  
Albuquerque, New Mexico 87108

**RE: Revised Grading and Drainage Plan for Kensington Subdivision Phase Two  
(H10/D23) Submitted for Final Plat and Work Order Approval, Engineer's Stamp  
Dated 5/8/98.**

Dear Mr. McGee:

Based on the information provided in the submittal of May 12, 1998, the above referenced plan is approved for Final Plat action and Work Order sign-off.

As you are aware, the Engineer's Certification of the plan approved by the DRB is required prior to release of financial guarantees for this Phase. The Letter of Map Revision (LOMR) from FEMA is also required prior to release of financial guarantees for this Phase.

If you have any questions, or if I may be of further assistance to you, please call me at 924-3982.

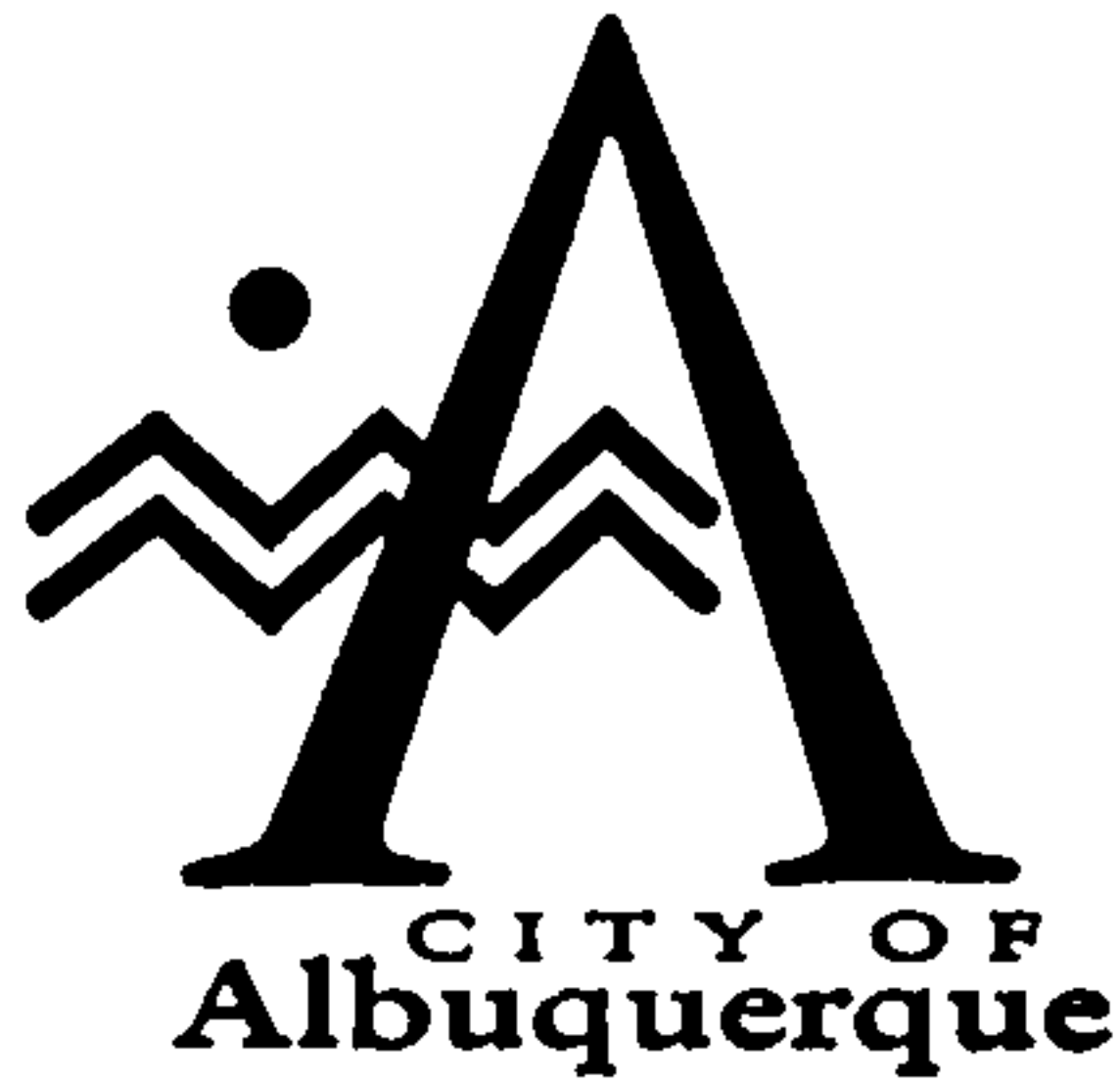
Sincerely,

Susan M. Calongne, P.E.  
City/County Floodplain Administrator

c: Ben Spencer, Argus Development  
File

Good for You, Albuquerque!





April 8, 1998

Scott McGee, P.E.  
Isaacson & Arfman  
128 Monroe NE  
Albuquerque, New Mexico 87108

**RE: Drainage Report and Grading and Drainage Plan for Kensington Subdivision Phase One (H10/D23) Submitted for Final Plat and Work Order Approval, Engineer's Stamp Dated 3/23/98.**

Dear Mr. McGee:

Based on the information provided in the submittal of March 23, 1998, the above referenced plan is approved for Final Plat action and Work Order sign-off.

As you are aware, the Engineer's Certification for this Phase must be in compliance with this approved plan.

If you have any questions, or if I may be of further assistance to you, please call me at 924-3982.

Sincerely,

Susan M. Calongne, P.E.  
City/County Floodplain Administrator

c: Ben Spencer, Argus Development  
File

Good for You, Albuquerque!





DRB Case No. 97-415  
DRC Project No.  
Date Submitted: ~~12-09-97~~  
Revised Date: ~~1-16-98~~  
1-20-98

FIGURE 12  
EXHIBIT "A"  
TO SUBDIVISION IMPROVEMENT AGREEMENT  
DEVELOPMENT REVIEW BOARD  
REQUIRED INFRASTRUCTURE LISTING  
TRACTS 340B, 341A, & 342 THROUGH 347, TOWN OF ATRISCO GRANT, UNIT 8  
BEING REPLATTED AS  
**KENSINGTON SUBDIVISION PHASES ONE & TWO**

Following is a summary of Public/Private Infrastructure required to be constructed or financially guaranteed to be constructed for the above development. This summary is not necessarily a complete listing. During the design process, if the City determines that appurtenant items have not been included in the summary, those items will be included in the listing and related financial guarantee, if the items normally are Subdivider responsibility. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility are the responsibility of the Subdivider and will be included in the financial guarantee provided to the City.

<b>PHASE I</b>				
<u>SIZE</u>	<u>IMPROVEMENT</u>	<u>LOCATION</u>	<u>FROM</u>	<u>TO</u>
20'F-Edge	Res. Paving	Miami Road	64th Street NW	East Property Line
STD	Curb & Gutter (N)	"	"	"
4'	PCC Sidewalk (N)	"	"	"
TBD	Catch Basins & Connector Pipes (North Curb)	"	"	"
8"	Waterline	"	East PL Lot 24 Block A	Estancia Dr. NW
25'F-Edge	Res. Paving	64th Street	Miami Road	North PL Lot 1 Blk. A
STD	Curb & Gutter (E)	"	"	"
4'	PCC Sidewalk (E)	"	"	"
12"	Waterline	"	North PL Lot 1 Block A	Miami Road
48"	RCP Storm Drain	"	Tauton Road	"
25'Edge- Edge	Temp. Paving	64th Street	North PL Lot 1 Block A	Ouray Road
28'F-F	Res. Paving	Amberside Road	64th Street	Oakham Drive
4' *	PCC Sidewalk (both sides)	"	"	"
STD	Curb & Gutter (both sides)	"	"	"
6"	Waterline	"	"	"
8"	Sanitary Sewer	"	"	"

<u>SIZE</u>	<u>IMPROVEMENT</u>	<u>LOCATION</u>	<u>FROM</u>	<u>TO</u>
28'F-F 4' *	Res. Paving PCC Sidewalk (both sides)	Brackley Drive "	Evesham Road "	North PL Lot 13 Blk. D "
STD	Curb & Gutter (both sides)	"	"	"
6"	Waterline	"	"	"
8"	Sanitary Sewer	"	"	"
28'F-F 4' *	Res. Paving PCC Sidewalk (both sides)	Amberside Road "	64th Street "	Brackley Drive "
STD	Curb & Gutter (both sides)	"	"	"
6"	Waterline	"	"	"
8"	Sanitary Sewer	"	"	"
24"	RCP Storm Drain	"	"	West PL Lot 2 Blk. D
28'F-F 4' *	Res. Paving PCC Sidewalk (both sides)	Evesham Road "	64th Street "	Brackley Drive "
STD	Curb & Gutter (both sides)	"	"	"
6"	Waterline	"	"	"
8"	Sanitary Sewer	"	"	"
24"	RCP Storm Drain	"	"	West PL Lot 15 Blk. E

Agreement and Covenant for Pond

#### PHASE II INFRASTRUCTURE TO BE DEFERRED:

40'F-F	Res. Paving	64th Street	Keswick Place	Ouray Road
36'F-F	Res. Paving	"	"	North PL Phase II
STD	Curb & Gutter	"	Ouray Road	"
4'	PCC Sidewalk (W)	"	"	"
12"	Waterline	"	"	"
25'F-F	Arterial Paving w/Transitions	Ouray Road	West Property Line	64th Street
STD	Curb & Gutter (S)	"	"	"
6'	Sidewalk (S)	"	"	"
MDN	Curb & Gutter (N)	"	"	"

LOMR required from FEMA for release of financial guarantees for Phase II.

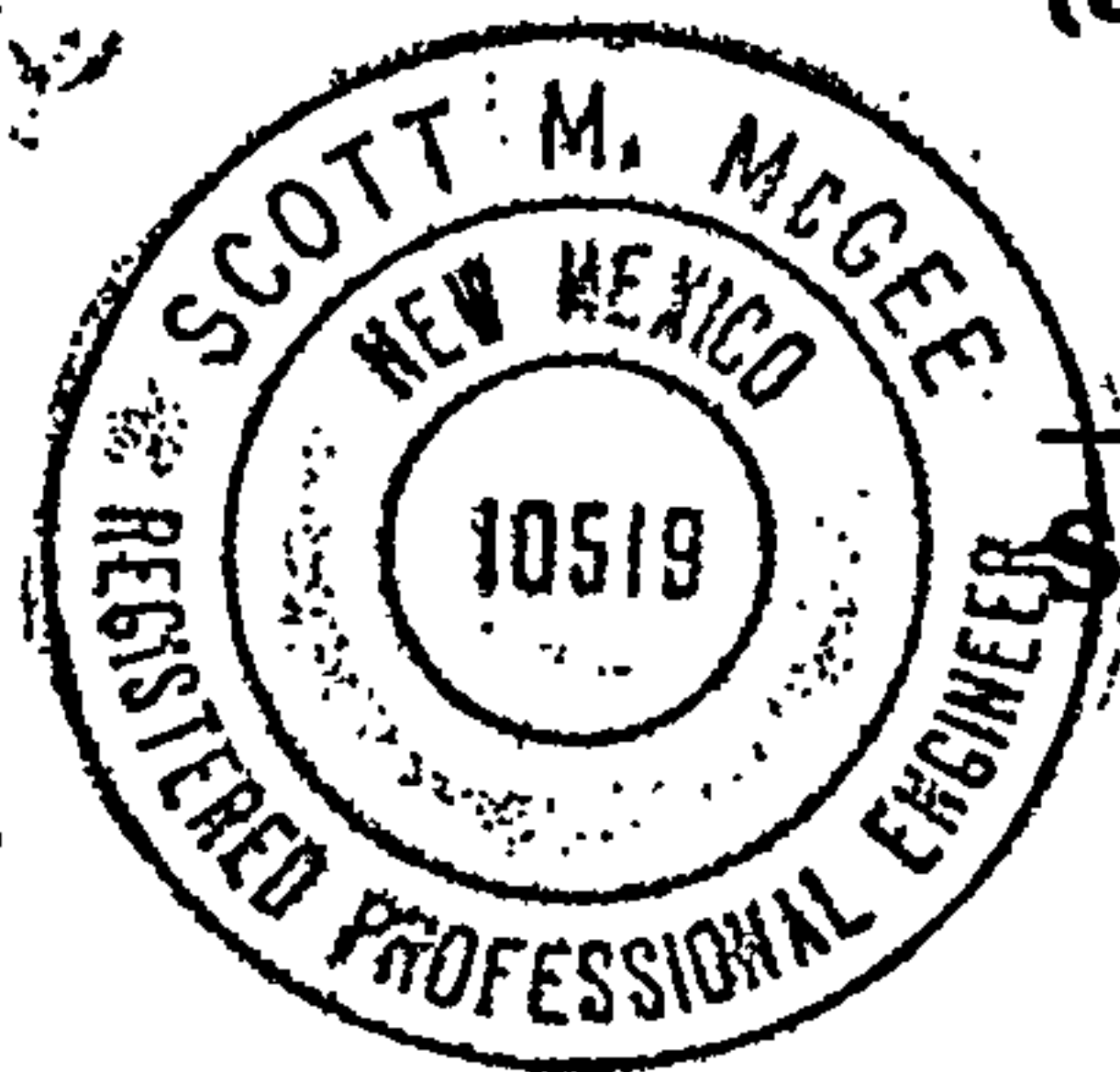
**DRAINAGE REPORT**  
**FOR**  
**KENSINGTON SUBDIVISION**  
**PHASE ONE**

**A 63 LOT SINGLE FAMILY  
RESIDENTIAL SUBDIVISION**

**ALBUQUERQUE NEW MEXICO**  
**MARCH 1998**

**Prepared by:**

**ISAACSON & ARFMAN, P.A.**  
**128 Monroe Street NE**  
**Albuquerque, NM 87108**  
**(505) 268-8828**



*Scott M McGee*  
**Scott M. McGee, P.E.**

*3-23-98*

**Date**



## **I. PROJECT INFORMATION**

**LEGAL DESCRIPTION:** A parcel of land situate within the Town of Atrisco Grant, being Tracts 340B, 341A, and 342 through 347, Unit 8 as filed in the records of the County Clerk of Bernalillo on December 7, 1944 in Volume D, Folio 117.

**ENGINEER:** Isaacson & Arfman, P.A.  
128 Monroe Street NE  
Albuquerque, NM 87108  
(505) 268-8828  
Attn: Scott M. McGee, P.E.

**SURVEYOR:** Aldrich Land Surveying, Inc.  
Attn: Tim Aldrich, NMPLS No. 7719  
(505) 884-1990

**BENCHMARK:** ACS Control Station "2-H10" located at the northwest quadrant of 64th Street and Miami Road NW.

Elevation: 5108.81

This benchmark is situated approximately 80 feet north of the subdivision south property line and shall serve as the temporary benchmark due to its propinquity.

**ZONING:** R-D (15 Du/Ac maximum) and R-D (office) as defined by the East Atrisco Sector Development Plan.

**NUMBER OF EXISTING TRACTS:** 8

NUMBER OF PROPOSED LOTS:

Unit One:	63
Unit Two:	<u>63</u>
Total	126

Unit Three: 93 (Future)

TOTAL AREA: 34.87 Ac.

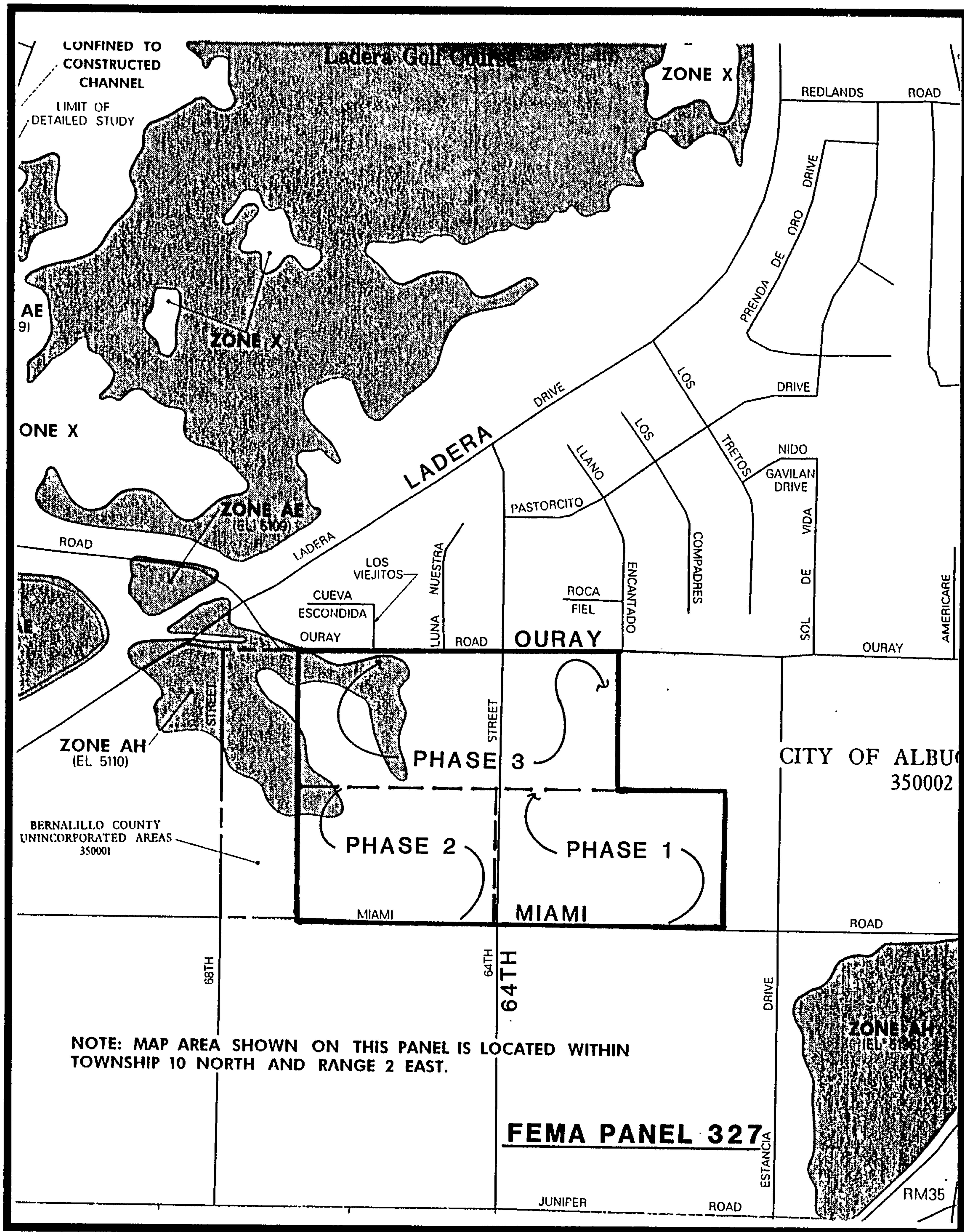
1,519,076 Sq. Ft.

## II. SITE CHARACTERISTICS

FLOOD HAZARD: A small part of this proposed residential development is identified with a ZONE AH (EL 5110) flood hazard designation as determined by Panel No. 350002-0327 of the September 20, 1996 edition of the F.E.M.A. maps. No part of the Phase One area is within this zone as the entire Phase One area is identified as being outside the 500-year floodplain area. The following floodplain map shows the ZONE AH (a shallow playa area) encroaching on the northwest corner of the Phase Two area as well as the westerly third of the Phase Three area. Development of both Phases 2 and 3 will require a Conditional Letter of Map Revision (CLOMR), while a LOMR will be requested based on as-built plans of the storm drain proposed to drain the playa area.

*LOMR  
required prior to  
release of financial  
guarantees*







EXISTING CONDITONS: The site is currently undeveloped and undisturbed with native grasses and bushes as ground cover. The site straddles a ridge separating two natural drainage basins. The southeasterly 22.5 acres has a storm water drainage outfall to the southeast via overland flows onto Miami Road. The northwesterly 14.4 acres drains as overland sheetflow to the previously mentioned playa area covering the site's northwest corner. The abutting tract to the west is also undeveloped with runoff directed north to the same playa area which also overlays this tract.

PROPOSED CONDITIONS: The Kensington Subdivision will discharge all site runoff to the Miami Road storm drain which is constructed to the intersection of Miami Road and 64th Street NW. As part of this project, the storm drain is proposed to be extended in phases. The Phase One extension will run north in 64th Street and be stubbed west of the 64th Street paving approximately 500 feet south of Ouray Road NW. The Phase Three extension will bring the storm drain west to the site's western boundary to drain the existing playa area.

This drainage solution conforms to the approved Miami Road Storm Drain Masterplan as prepared by this office for the Summer Ray development located south of Miami Road NW. The south half of Miami Road was constructed as part of Summer Ray (City Project No. 5218.91), adjacent to Phase One of the proposed

Kensington Subdivision and to a point approximately 200 feet west of 64th Street NW.

The north half of Miami Road will be constructed where it is adjacent to phase one. Catch basins will be built in the north curblane of Miami Road between 64th Street NW and the end of paving approximately 970 feet east. An upstream area of 4.3 acres (noted as offsite basin "OF 2" in the Appendix calculations), will drain to both 64th Street and Miami Road NW. This offsite flow will be carried in the north curb line of Miami Road, intercepted by these catch basins, and conveyed to the existing Miami Road storm drain.

Offsite basin "OF 1" is an undeveloped 7.3-acre area located north of Phase One, east of 64th Street, south of Ouray Road, and west of the City reservoir site. The runoff from this area is split by the proposed extension of 64th Street NW north to Ouray Road NW. OF 1A will drain to the proposed catch basin in the east curb line of 64th Street, while undeveloped runoff from OF 1B is proposed to be stored in a temporary retention pond located at the southeast corner of Phase Three. The development of a future phase will allow for the reclamation of this pond area as two lots by construction of two proposed cul-de-sacs and draining surface runoff west to the 64th Street storm drain extension.



## ONSITE DRAINAGE:

The detailed drainage analysis for the onsite flows from Phase One are presented below. The enclosed AHYMO analysis covers all three phases to update the previous Miami Road Storm Drain Master Plan. Complete hydraulic drainage calculations for phases two and three will be provided when development is proposed.

Phase One consists of 9.97 acres proposed to be platted as 63 residential lots. Also included is the abutting 970 feet of Miami Road and 520 feet of 64th Street NW. In addition to these one-half street sections an additional 560 feet of 24-foot wide paving is proposed for 64th Street to extend it north to Ouray Road. This offsite road extension is accounted for in the runoff calculations for offsite drainage area "OF 1" (see Appendix page 44).

The proposed first phase consists of four distinct drainage basins as defined in the table below:

<u>Basin</u>	<u>Area</u>	<u>Streets</u>	<u>Outfall</u>
A	5.42 Ac.	Amberside Road Oakham Drive	Oakham Drive Storm drain extension
B	3.60 Ac.	Evesham Road	Oakham Drive Storm drain extension from Miami Rd. storm Drain
C	0.75 Ac.	64th St. (east half) Miami Rd. (north half)	Catch basins in Miami Rd. (north half)
D	1.15 Ac.	Miami Rd. (north half) Summer Ray Dr.	Catch basins in Miami Rd. (north half)

Basin A will have a storm drain extension from the existing Miami Road storm drain manhole at the Summer Ray Drive intersection. This storm drain will extend 180 feet northerly where two Type 'A' catch basins are proposed to intercept storm waters generated from the 5.42 acre developed basin.

Basin B will also be intercepted by two Type 'A' catch basins which will connect to the previously mentioned storm drain extension.

Basin C includes only a small area at the southwest corner of Phase One. Also included is the east half of the southerly 250 feet of 64th Street and the north half of the westerly 400 feet of Miami Road along with offsite basin "OF 2" previously mentioned. One Type 'A' catch basin is proposed in the north curb of Miami to convey this flow to the existing Miami Road storm drain.

Basin D covers only a small area at the southeast corner of Phase One. Included is the north half of the easterly 480 feet of Miami Road along with any "by-pass" flows not intercepted by catch basins in drainage basins A, B, and C. In order to match the existing south curbline of Miami Road, a sump-type inlet is proposed opposite the existing catch basin in the south curb line of Miami Road NW.

## OFFSITE DRAINAGE

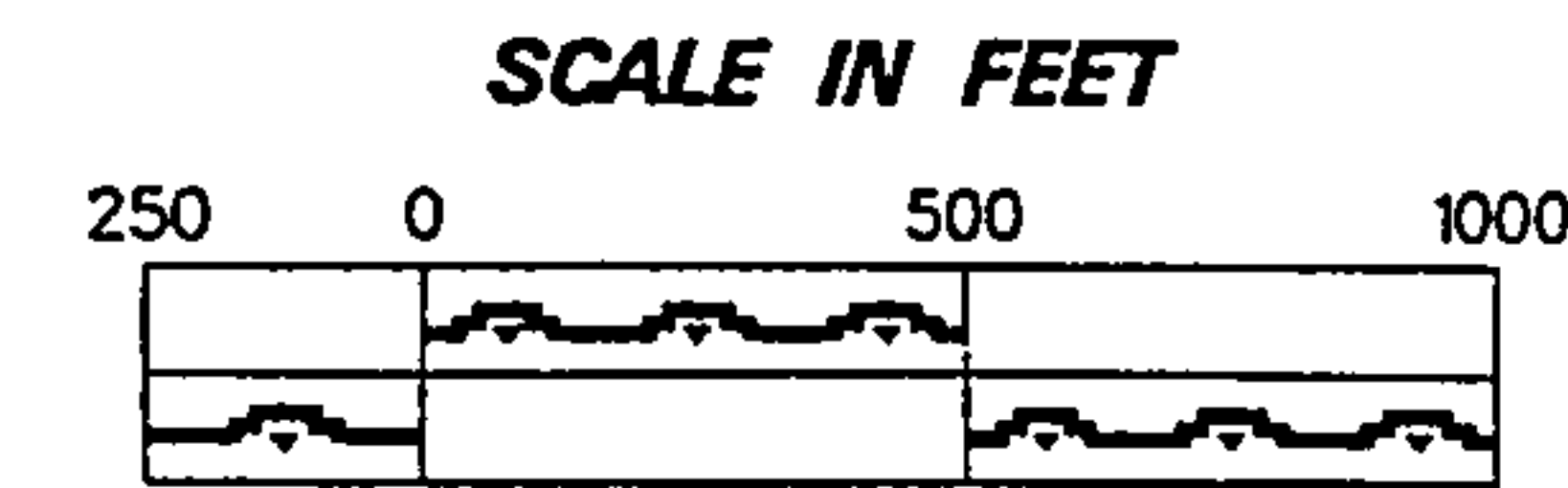
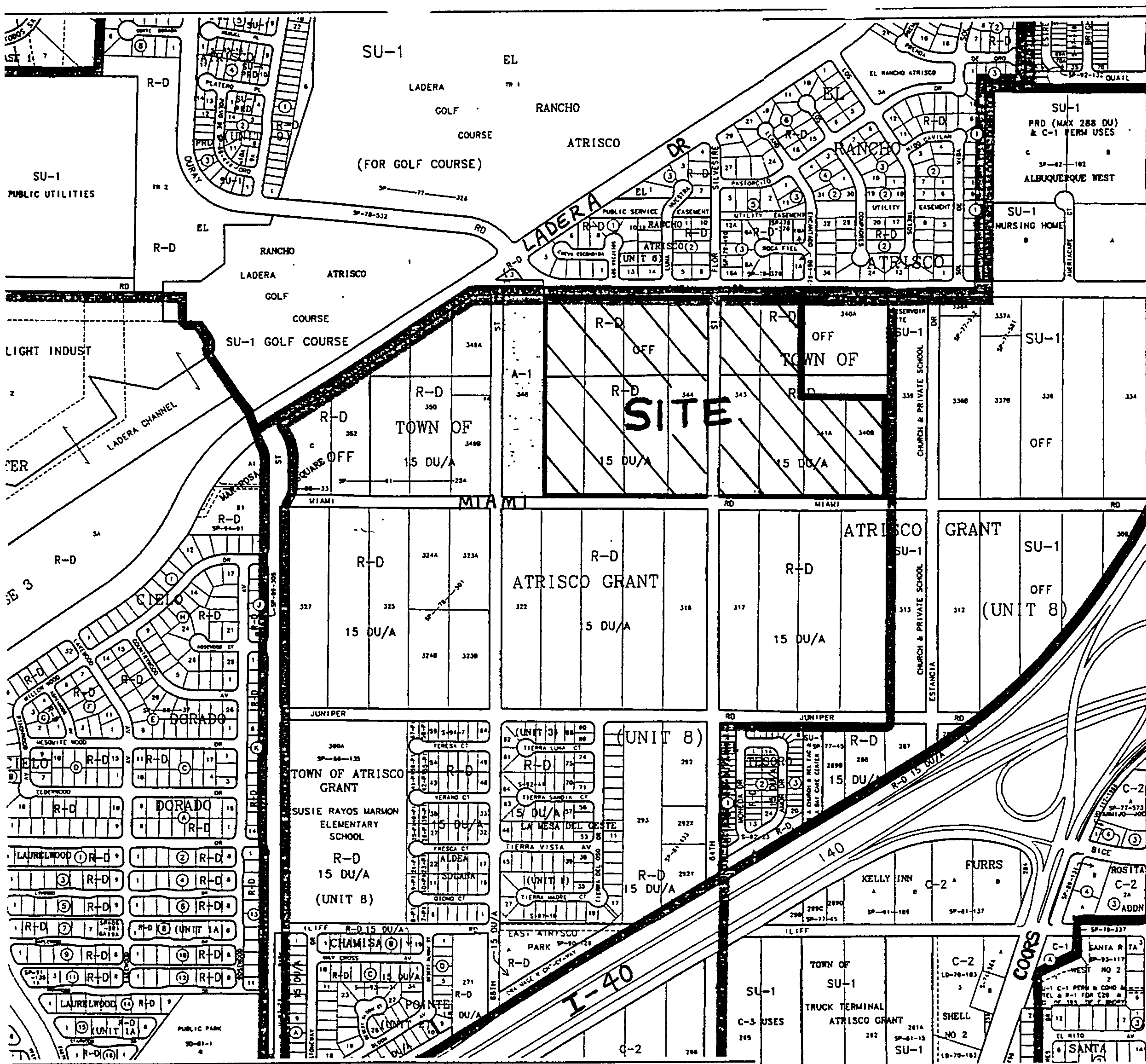
As mentioned earlier in this report, there are two offsite areas to be addressed. The offsite basin "OF 1" is proposed to be retained in a pond to be constructed at the southeast corner of the Phase Three area. This pond will be designed to provide adequate volume for the 100-year 10-day event plus sediment storage. A Drainage Covenant and Maintenance Agreement will be filed for this facility. When the area is developed, this retention pond will be filled to create two lots and the future drainage for this cul-de-sac will be directed west to the 64th Street storm drain extension.

The offsite basin "OF 2" will convey sheetflows to both 64th Street and Miami Road where they will be carried east in the north curblane of Miami Road. Proposed catch basins in the north curb of Miami Road between 64th Street and the east end of this project will intercept these flows.

## **A P P E N D I X**

<b>VICINITY MAP.....</b>	<b>1</b>
<b>DRAINAGE EXHIBIT.....</b>	<b>2</b>
<b>AHYMO INPUT .....</b>	<b>3-5</b>
<b>AHYMO SUMMARY.....</b>	<b>6-7</b>
<b>AHYMO OUTPUT .....</b>	<b>8-30</b>
<b>STORM DRAIN HGL CALCULATIONS .....</b>	<b>31-42</b>
<b>PHASE 1 OFFSITE BASIN EXHIBIT .....</b>	<b>43</b>
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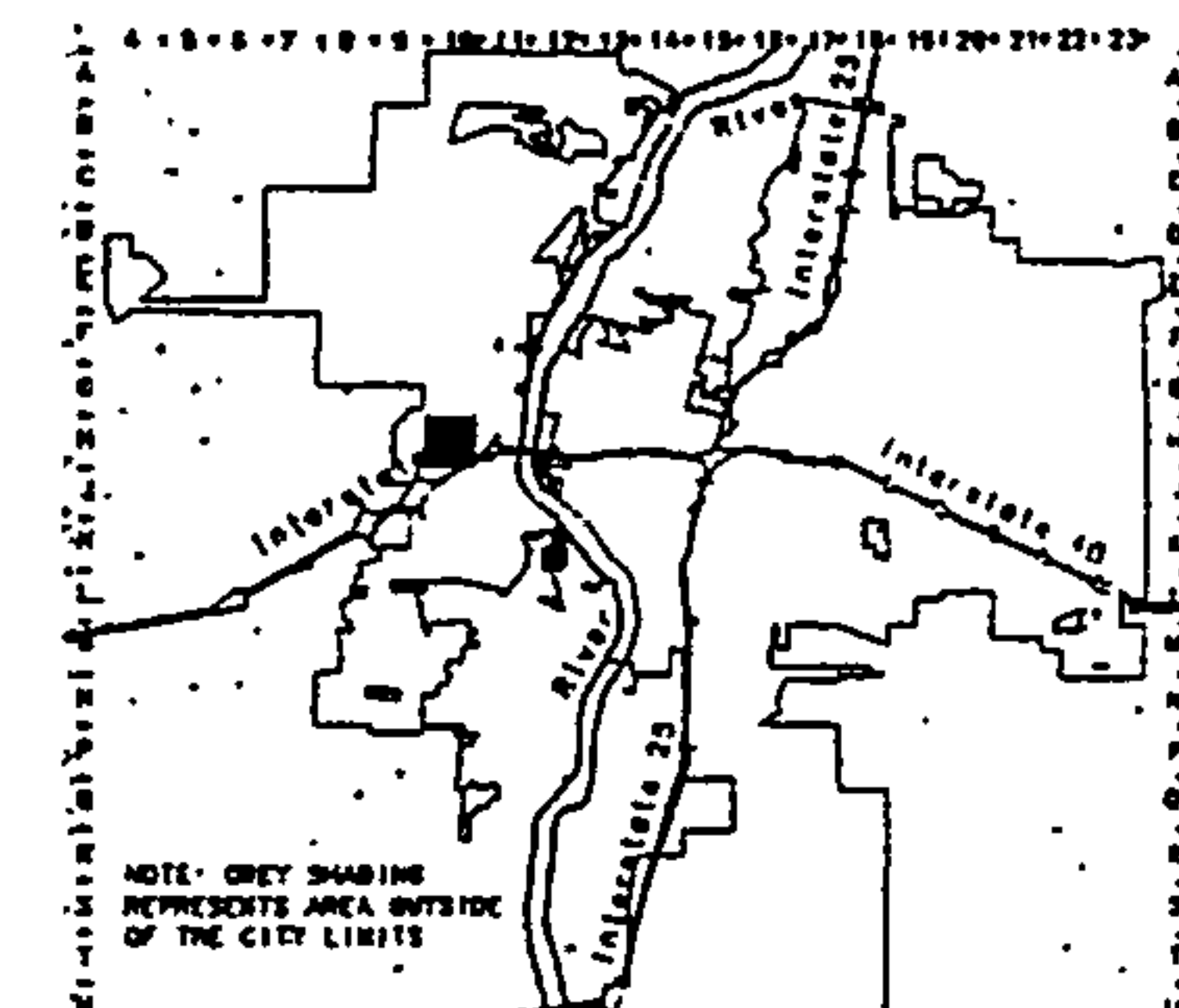


PHOTOCOPY-NOT TO SCALE



**A G I S**  
 Geographic Information Systems  
 AUTOMATIC INFORMATION SYSTEMS

© Planning Department  
 Map Amended through September 22, 1994



NOTE: GREY SHADING  
 REPRESENTS AREA OUTSIDE  
 OF THE CITY LIMITS

LEGAL DESCRIPTION

T10N  
 R2E  
 SEC 10

UNIFORM PROPERTY CODE  
 1-010-069

**H-10-11**