

1. CONTRACTOR MUST OBTAIN A TOPSOIL DISTURBANCE PERMIT FROM THE ENVIRONMENTAL HEALTH DIVISION PRIOR TO CONSTRUCTION.
2. THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY STATE, AND FEDERAL DUST CONTROL MEASURES AND REQUIREMENTS AND WILL BE RESPONSIBLE FOR PREPARING AND OBTAINING ALL NECESSARY APPLICATIONS AND APPROVALS.
3. THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE LOTS INTO PUBLIC RIGHT-OF-WAY. THIS CAN BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS AS PER DETAIL THIS SHEET AND WETTING THE SOIL TO KEEP IT FROM BLOWING.

John - Kelly
ENGINEER

2-24-97
DATE

CITY PROJECT NO.	
------------------	--

55728

81	ZONE MA H.
----	---------------

P NO.	SHEET
-10	

3 OF 9

DATE
DRB # 95-536

REF JOB NO. 95411A2

[illegible]

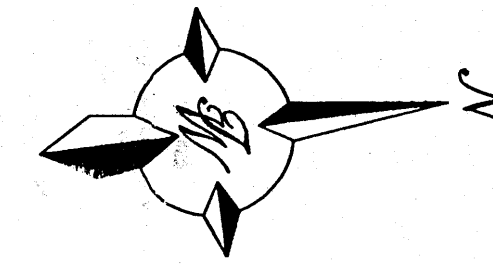
COPYRIGHT BOHANNAN-HUSTON, INC. 1990

DATE: JUNE, 1996

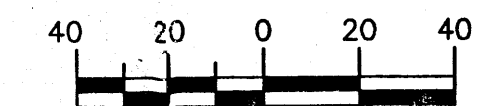
**EROSION CONTROL PLAN, NPDES PERMIT
AND POLLUTION PREVENTION NOTES**

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT OUT OF EXISTING RIGHT-OF-WAY.
3. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL STORM RUN OFF ON SITE.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATION ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.
6. CONTRACTOR IS RESPONSIBLE FOR OBTAINING NPDES PERMIT FOR THE SITE.

A.C.S. MONUMENT "6-J10 1989"
STANDARD U.S.C&G.S. BRASS TABLET
(FOUND IN PLACE)
NEW MEXICO STATE PLANE COORDINATES
(CENTRAL ZONE-N.A.D. 1927)
X=350,389.13
Y=1,492,117.53
G=0.99967760
DELTA ALPHA ANGLE=-016'06"

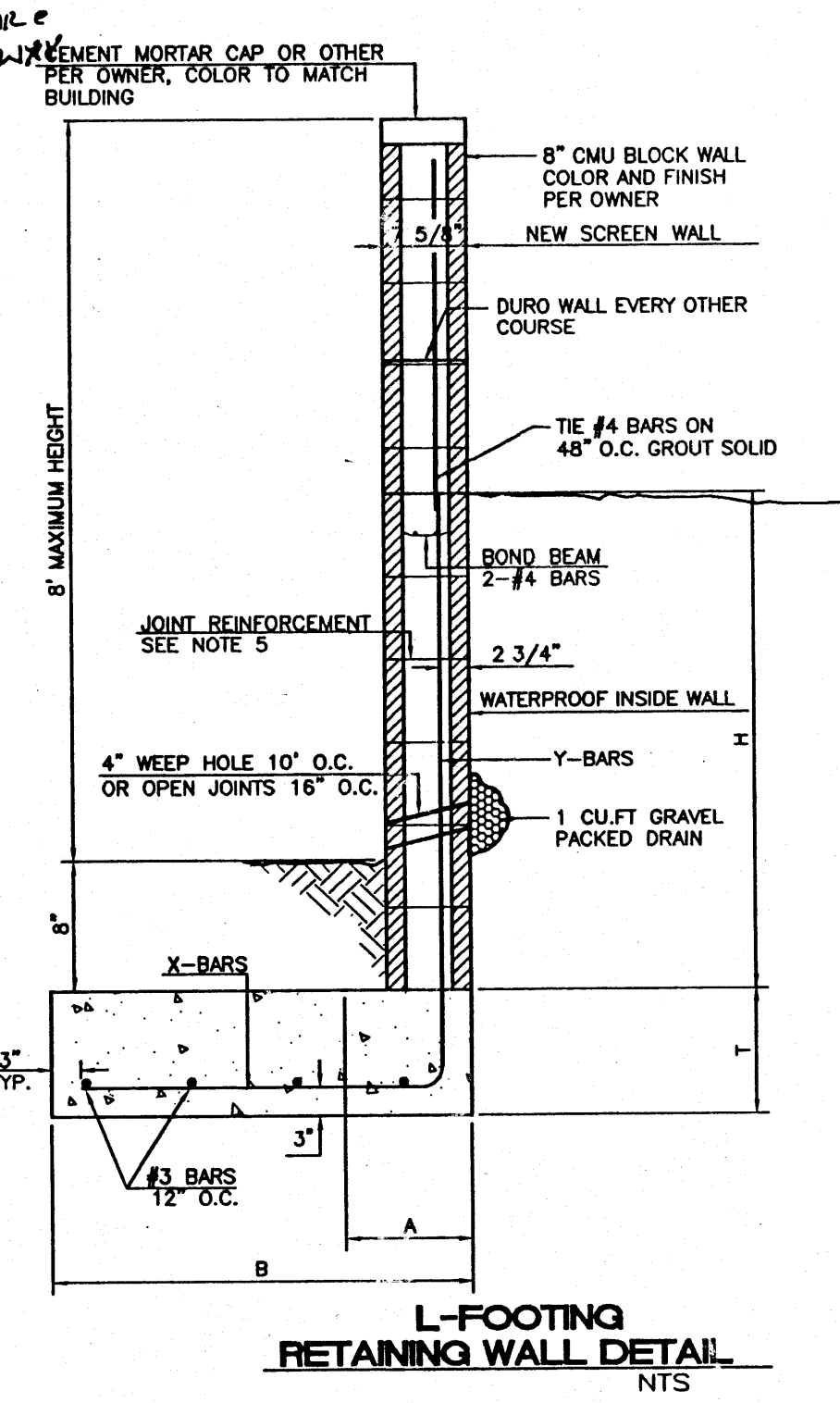
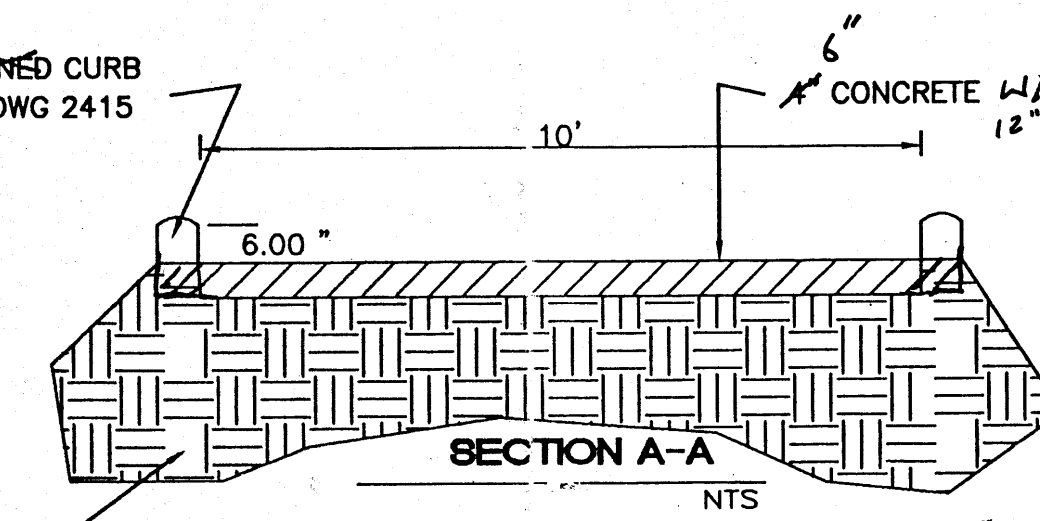


GRAPHIC SCALE



SCALE: 1"=40'

CONCRETE CURB
PER COA STD DWG #2415

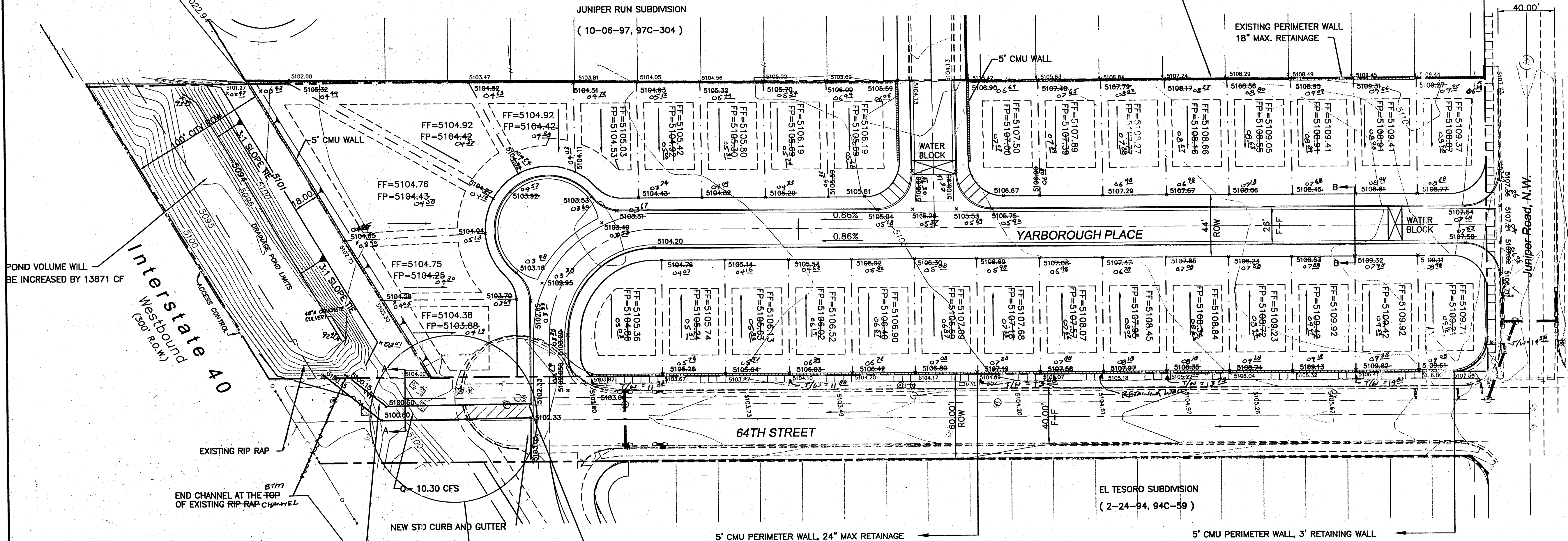


GENERAL NOTES:

1. ALL CONCRETE IS TO BE 3000 PSI @ 28 DAYS.
2. MINIMUM COMPACTION UNDER FOOTINGS IS TO BE 95% PER ASTM D 1557 FOR A DEPTH OF 12" MOISTURE CONTENT IS TO BE $\pm 2.0\%$.
3. BACK FILL AGAINST WALLS IS TO BE HAND-PLACED AND COMPACTED.
4. ALL BARS ARE TO BE GRADE 60, ASTM 615.
5. TRUSS TYPE CUR-0-WALL EVERY OTHER COURSE.
6. USE FIFTER EXPANSION JOINTS ON 20' CENTERS OR PILASTERS EVERY 12'.
7. 30 BAR DIAMETER LAPS TYPICAL.
8. DUR-O-WALL HORIZONTAL JOINT JOINTMENT 16" O.C.
9. OPEN JOINTS 16" O.C. TYPICAL AT FIRST COURSE.
10. OWNER TO SELECT MASONRY COLOR AND/OR FINISH.
11. SOLID MASONRY CAP COURSE TYPICAL.
12. WATER PROOF WALL.

8 INCH REINFORCED CONCRETE MASONRY WALL
(FOR RETAINING PORTION ONLY)

H	B	T	Y-BARS	X-BARS
ft.-in.	ft.-in.	in.		
1'-4"	1'-9"	9"	#4 @ 24" O.C.	
2'-0"	2'-0"	9"	#4 @ 24" O.C.	
2'-8"	2'-8"	9"	#4 @ 24" O.C.	
3'-4"	2'-9"	12"	#4 @ 16" O.C.	#4 @ 16" O.C.
4'-0"	3'-3"	12"	#4 @ 16" O.C.	#4 @ 16" O.C.



POND VOLUME WILL
BE INCREASED BY 13871 CF

Interstate 40
Westbound
(300' ROW)

EXISTING RIP RAP
END CHANNEL AT THE TOP
OF EXISTING RIP-RAP CHANNEL

NEW STD CURB AND GUTTER

5' CMU PERIMETER WALL, 24" MAX RETAINAGE

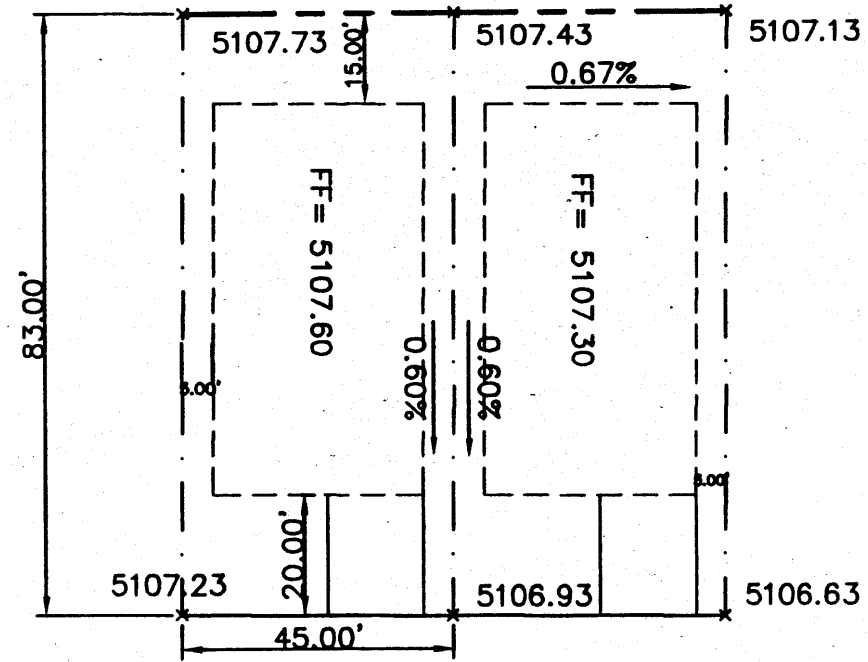
5' CMU PERIMETER WALL, 3' RETAINING WALL

LEGEND

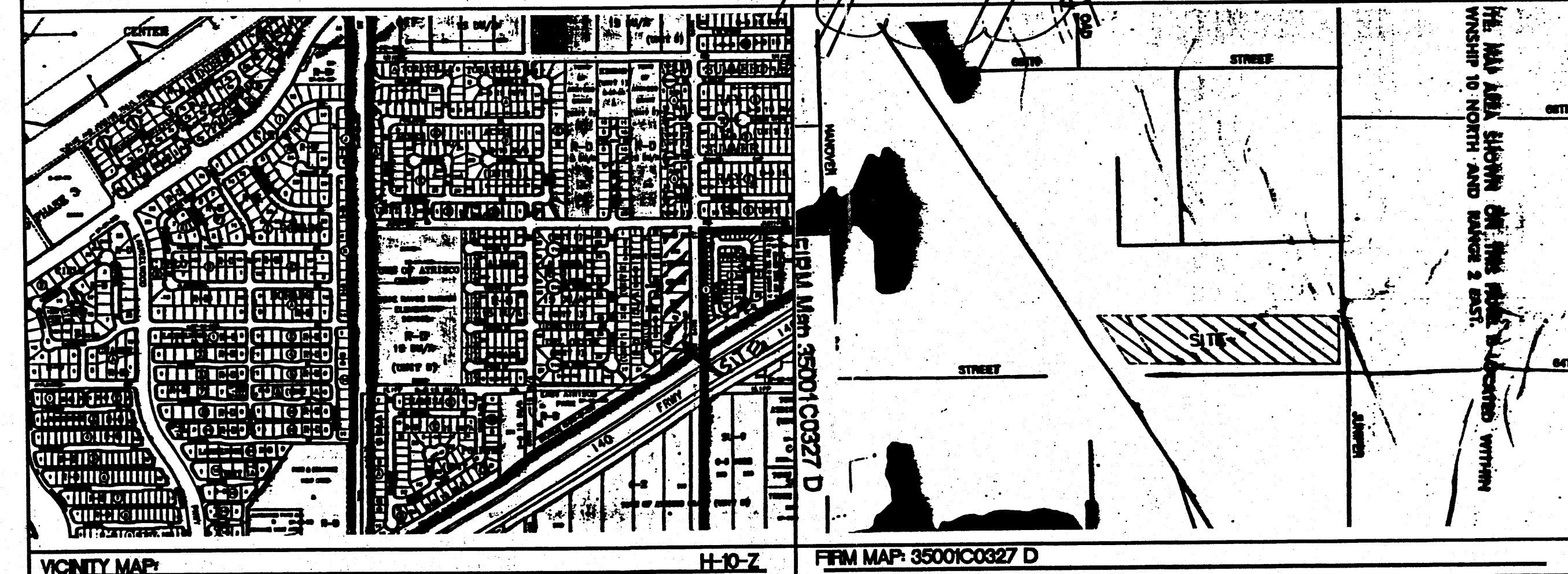
- EXISTING CURB & GUTTER
- EXISTING CONTOUR (MAJOR)
- EXISTING CONTOUR (MINOR)
- BOUNDARY LINE
- EASEMENT
- PROPOSED SIDEWALK
- FLOW ARROW
- PROPOSED RETAINING WALL
- EXISTING PERIMETER WALL
- 5100.00 EXISTING SPOT ELEVATION
- 5108.31 PROPOSED SPOT ELEVATION

I certify that the grades shown on the plans have been built in substantial compliance with approved grading and drainage plan dated 10-15-99. Survey information was supplied by PRECISION SURVEYS in accordance with normal surveying practices.

Ronald R. Bohannon
Ronald R. Bohannon
Professional Engineer
No. 7868
State of New Mexico



TYPICAL LOT GRADING



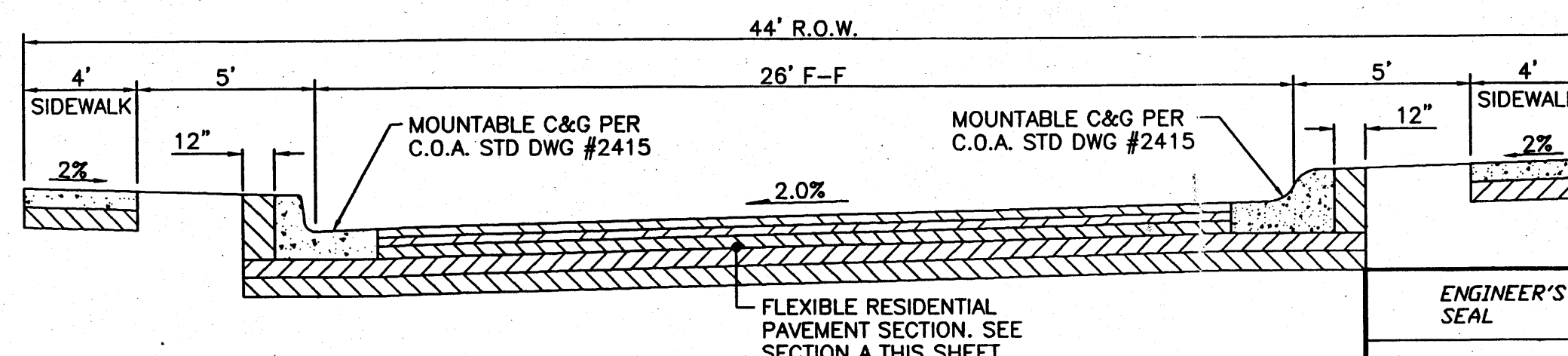
ROUGH GRADING APPROVAL

DATE

LEGAL DESCRIPTION:
LOT 292-X, AND PORTIONS OF LOTS 292-Y & 292

**SECTION B-B
TYPICAL 32' STREET SECTION**

N.T.S.



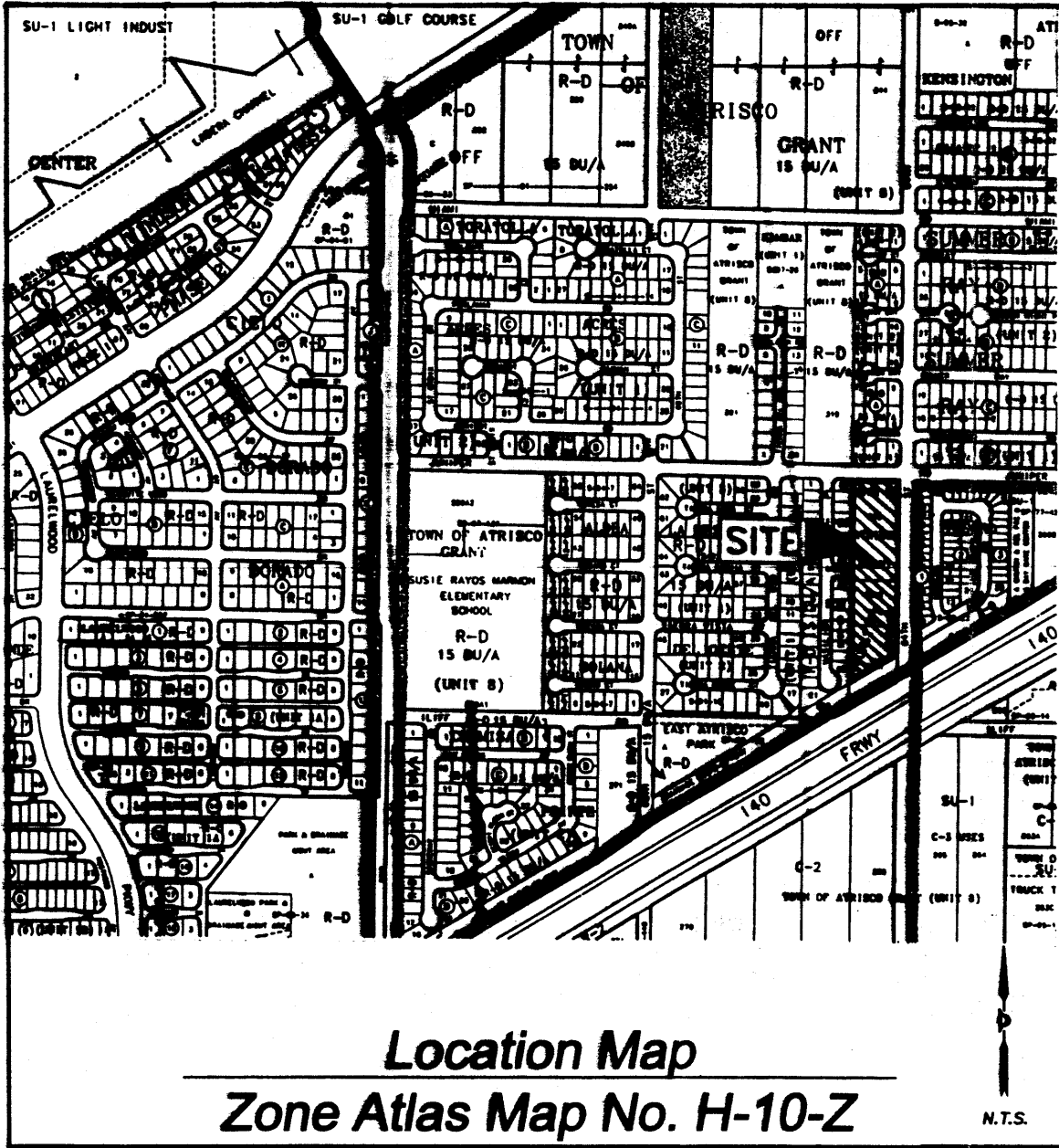
ENGINEER'S SEAL

Ronald R. Bohannon
Ronald R. Bohannon
Professional Engineer
No. 7868
State of New Mexico

**JUNIPER RUNS
PHASE II
GRADING
AND DRAINAGE PLAN**

TERRA WEST, LLC
4421 McLEOD ROAD, N.E., SUITE D
ALBUQUERQUE, NEW MEXICO 87109
(505)883-7592

DRAWN BY: WCUJ
DATE: 10-7-99
9924GR3.DWG
SHEET # 3 OF 10
JOB # 990024



Subdivision Data:

GROSS SUBDIVISION ACREAGE: 3.9608 ACRES±
ZONE ATLAS INDEX NO: H-10-Z
NO. OF TRACTS CREATED: 0
NO. OF LOTS CREATED: 32
MILES OF FULL-WIDTH STREETS CREATED: 0.1665
DATE OF SURVEY: MAY 26, 1999

Notes:

1. MISC. DATA: ZONING R-1
2. BEARINGS SHOWN ARE GRID BEARINGS (NEW MEXICO STATE PLANE CENTRAL ZONE - NAD 1927).
3. ALL DISTANCES ARE GROUND DISTANCES—US SURVEY FOOT.
4. THIS PROPERTY LIES WITHIN PROJECTED SECTION 10, TOWNSHIP 10 NORTH, RANGE 2 EAST, TOWN OF ATRISCO GRANT, N.M.P.M., CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.
5. THE PURPOSE OF THIS PLAT IS TO REPLAT THE EXISTING THREE PARCELS INTO THIRTY NEW LOTS, GRANT EASEMENTS, DEDICATE RIGHT OF WAY AND VACATE RIGHT OF WAY.
6. PLAT SHOWS ALL EASEMENTS OF RECORD.
7. SP NO. 990617113520399.

Easements

THIS PLAT SHOWS EXISTING RECORDED AND APPARENT EASEMENTS AS NOTED.

PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF:

1. PNM ELECTRIC SERVICES FOR INSTALLATION, MAINTENANCE, AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, COMMUNICATION FACILITIES, TRANSFORMERS, POLES AND ANY OTHER EQUIPMENT, FIXTURES, STRUCTURES AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICE.
2. PNM GAS SERVICES FOR INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS.
3. U.S. WEST FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF ALL BURIED AND AERIAL COMMUNICATION LINES AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES, INCLUDING BUT NOT LIMITED TO ABOVE GROUND PEDESTALS AND CLOSURES.
4. JONES INTERCABLE FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE TV SERVICE.

INCLUDED IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, MODIFY, RENEW, OPERATE, AND MAINTAIN FACILITIES FOR THE PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM, AND OVER SAID EASEMENTS, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL (ABOVEGROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURE SHALL BE ERRECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL SAFETY CODE CAUSED BY CONSTRUCTION OR POOLS, DECKING, OR ANY STRUCTURES ADJACENT TO WITHIN OR NEAR EASEMENTS SHOWN ON THIS PLAT.

Legal Description

A TRACT OF LAND LYING AND SITUATE WITHIN PROJECTED SECTION 10, TOWNSHIP 10 NORTH, RANGE 2 EAST, TOWN OF ATRISCO GRANT, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, COMPRISING THE FOLLOWING:

PARCEL ONE

LOTS NUMBERED 292-X AND 292-Y OF UNIT NO. 8, TOWN OF ATRISCO GRANT, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON OCTOBER 15, 1984 IN PLAT BOOK C25, PAGE 71.

LESS AND EXCEPTING FROM LOT 292-Y THOSE PORTIONS DEEDED TO THE CITY OF ALBUQUERQUE BY QUITCLAIM DEED RECORDED 16, 1990 AS DOCUMENT NO. 90-80220, RECORDS OF BERNALILLO COUNTY, NEW MEXICO.

AND TOGETHER WITH:

PARCEL TWO

A TRACT OF LAND SITUATED IN SCHOOL DISTRICT NO. 28, BERNALILLO COUNTY, NEW MEXICO, COMPRISING THE NORTHERLY 2 ACRES OF TRACT NO. 292 OF UNIT NO. 8 ON SHEET NO. 1 OF PLAT SHOWING PORTIONS OF TRACTS ALLOTTED FROM THE TOWN OF ATRISCO GRANT, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON DECEMBER 5, 1944, BOTH TRACTS BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHWEST CORNER OF SAID TRACT, MARKED BY A SET REBAR WITH CAP "PS 11993", FROM WHENCE A TIE TO ACS MONUMENT "6-J10 1989" BEARS S 51°39'31" W, A DISTANCE OF 2,022.94 FEET;

THENCE FROM SAID BEGINNING POINT N 00°41'01" E, A DISTANCE OF 885.10 FEET TO THE NORTHWEST CORNER OF SAID TRACT LYING ON THE SOUTH RIGHT OF WAY LINE OF JUNIPER ROAD, N.W. MARKED BY A FOUND "X" CHISLED IN CONCRETE;

THENCE S 89°23'06" E CONTINUING ALONG SAID SOUTH RIGHT OF WAY, A DISTANCE OF 210.15 FEET TO THE NORTHEAST CORNER OF SAID TRACT BEING THE INTERSECTION OF SAID SOUTH RIGHT OF WAY LINE OF JUNIPER ROAD, N.W. AND THE WEST RIGHT OF WAY LINE OF 64TH STREET, N.W. MARKED BY A CHISLED "+" IN CONCRETE;

THENCE LEAVING SAID SOUTH RIGHT OF WAY LINE S 00°38'03" W CONTINUING ALONG SAID WEST RIGHT OF WAY LINE, A DISTANCE OF 754.14 FEET TO THE SOUTHEAST CORNER OF SAID TRACT MARKED BY A SET REBAR WITH CAP "PS 11993";

THENCE LEAVING SAID WEST RIGHT OF WAY LINE S 58°47'00" W, A DISTANCE OF 248.30 FEET TO THE POINT OF BEGINNING CONTAINING ~~1.9908~~ ACRES (172,531 SQUARE FEET) MORE OR LESS, NOW COMPRISING JUNIPER RUN SUBDIVISION, PHASE 2.

Free Consent and Dedication

THE REPLAT SHOWN HEREON IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER AND/OR PROPRIETOR. EXISTING PUBLIC UTILITY EASEMENTS SHOWN HEREON FOR THE COMMON AND JOINT USE OF GAS, ELECTRICAL POWER AND COMMUNICATION SERVICES FOR BURIED AND/OR OVERHEAD DISTRIBUTION LINES, CONDUITS, AND PIPES FOR UNDERGROUND UTILITIES WHERE SHOWN OR INDICATED, AND INCLUDING THE RIGHT OF INGRESS AND EGRESS FOR CONSTRUCTION AND MAINTENANCE, AND THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS. SAID OWNER AND/OR PROPRIETOR DOES HEREBY CERTIFY THAT THIS SUBDIVISION IS THEIR FREE ACT AND DEED. SAID OWNER AND/OR PROPRIETOR DOES HEREBY GRANT EASEMENT FOR UTILITIES AS SHOWN HEREON WITH SAME STIPULATIONS AS LISTED ABOVE FOR EXISTING UTILITIES. SAID OWNER AND/OR PROPRIETOR DOES HEREBY DEDICATE ALL STREETS AND PUBLIC RIGHTS OF WAY SHOWN HEREON TO THE CITY OF ALBUQUERQUE IN FEE SIMPLE WITH WARRANTY COVENANTS.

Scott Henry
SCOTT HENRY
PRESIDENT
STILLBROOKE HOMES, INC.
A NEW MEXICO CORPORATION

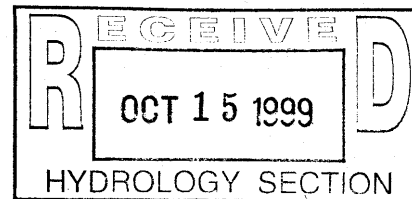
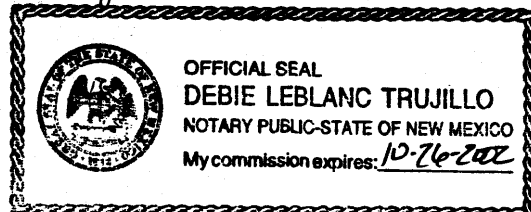
6/18/99
DATE

Acknowledgement

STATE OF NEW MEXICO)
COUNTY OF BERNALILLO)

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 18th DAY OF June, 1999 BY SCOTT HENRY, PRESIDENT, STILLBROOKE HOMES, INC., A NEW MEXICO CORPORATION.

BY *Debie LeBlanc Trujillo* MY COMMISSION EXPIRES: 10-26-2002
NOTARY PUBLIC



Plat of Juniper Run Phase 2

Albuquerque, Bernalillo County, New Mexico
June 1999

SP No. _____

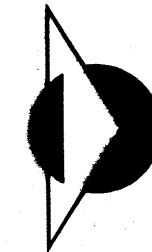
Approvals

CITY PLANNER, ALBUQUERQUE PLANNING DIVISION	DATE
CITY ENGINEER	DATE
A.M.A.F.C.A.	DATE
TRAFFIC ENGINEER	DATE
CITY SURVEYOR	DATE
PROPERTY MANAGEMENT	DATE
WATER RESOURCES DEPARTMENT	DATE
DESIGN AND DEVELOPMENT, CIP	DATE
PNM ELECTRIC SERVICES	DATE
PNM GAS SERVICES	DATE
U.S. WEST COMMUNICATIONS	DATE
JONES INTERCABLE, INC.	DATE

Surveyor's Certificate

I, LARRY W. MEDRANO, A REGISTERED PROFESSIONAL SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, HEREBY CERTIFY THAT THIS PLAT WAS PREPARED FROM FIELD NOTES OF AN ACTUAL SURVEY MEETING THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE CITY OF ALBUQUERQUE SUBDIVISION ORDINANCE AND OF STANDARDS FOR LAND SURVEYS OF THE N.M. BOARD OF REGISTRATION FOR ENGINEERS AND SURVEYORS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF, AND THAT NO ENCROACHMENTS EXIST EXCEPT AS NOTED ABOVE AND THAT ALL IMPROVEMENTS ARE SHOWN IN THEIR CORRECT LOCATION RELATIVE TO RECORD BOUNDARIES AS LOCATED BY THIS SURVEY.

Larry W. Medrano
LARRY W. MEDRANO
N.M.P.S. No. 11993
DATE



PRECISION SURVEYS, INC.

8414-D JEFFERSON ST., N.E. PHONE 505 856 5700
ALBUQUERQUE, NEW MEXICO 87113 FAX 505 856 7900

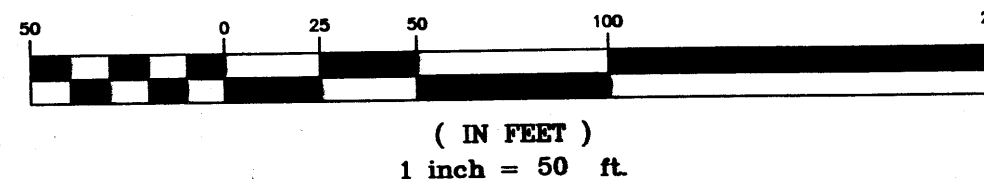
DRB Case No. 99-168
Sheet 1 of 2

Plat of
Juniper Run
Phase 2
Albuquerque, Bernalillo County, New Mexico
June 1999

Curve Data Table

CURVE	RADIUS	LENGTH	TANGENT	CHORD	BEARING	DELTA
C1	25.00'	39.29'	25.02'	35.37'	N 45°39'32" E	90°02'58"
C2	53.00'	83.25'	53.00'	74.95'	S 44°18'59" E	90°00'00"
C3	25.00'	39.24'	24.97'	35.33'	S 45°38'58" W	89°55'53"
C4	25.00'	39.28'	25.01'	35.36'	N 44°22'32" W	90°01'09"
C5	25.00'	39.30'	25.03'	35.38'	N 44°21'02" W	90°04'07"
C6	25.00'	38.97'	24.70'	35.14'	N 45°20'05" E	89°18'07"
C7	25.00'	39.57'	25.31'	35.57'	N 44°39'55" W	90°41'53"
C8	25.00'	20.82'	11.06'	20.23'	N 24°32'43" E	47°43'23"
C9	45.00'	17.91'	9.07'	17.79'	S 37°00'25" W	22°47'59"
C10	45.00'	41.63'	22.44'	40.16'	S 00°53'46" E	53°00'22"
C11	45.00'	25.38'	13.04'	25.05'	S 43°33'28" E	32°19'01"
C12	45.00'	25.38'	13.04'	25.05'	S 75°52'28" E	32°19'01"
C13	45.00'	34.55'	18.18'	33.71'	N 65°58'19" E	43°59'26"
C14	25.00'	18.47'	9.68'	18.05'	S 65°08'19" W	42°19'26"
C15	25.00'	1.91'	0.96'	1.91'	S 88°29'31" W	04°22'59"
C16	75.00'	117.81'	75.00'	106.07'	S 44°18'59" E	90°00'00"
C17	75.00'	58.90'	31.07'	57.40'	S 21°48'59" E	45°00'00"
C18	75.00'	58.90'	31.07'	57.40'	S 66°48'59" E	45°00'00"

GRAPHIC SCALE



Vasilion Place, N.W.

Yarborough Place, N.W.

64th Street, N.W.

Moneda Drive, N.W.

Juniper Road, N.W.

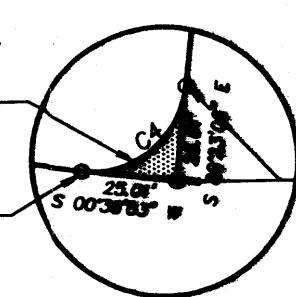
Interstate 40

Legend

- (N 90°00'00" E) RECORD BEARINGS AND DISTANCES SHOWN IN PARENTHESES
- N 90°00'00" E MEASURED BEARING AND DISTANCES
- DENOTES FOUND AND USED MONUMENT AS DESIGNATED
- DENOTES REBAR W/CAP "PS 11993" TO BE SET UNLESS OTHERWISE NOTED
- △ CENTERLINE (IN LIEU OF R/W MONUMENTATION) TO BE INSTALLED AT ALL CENTERLINE PC'S, PT'S, ANGLE POINTS AND STREET INTERSECTIONS PRIOR TO ACCEPTANCE OF SUBDIVISION STREET IMPROVEMENTS AND WILL CONSIST OF A STANDARD FOUR-INCH (4") ALUMINUM ALLOY CAP STAMPED "CITY OF ALBUQUERQUE", "CENTERLINE MONUMENTATION", "SURVEY MARKER", "DO NOT DISTURB", "PLS# 11993"

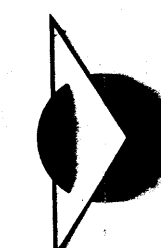
RIGHT OF WAY DEDICATED TO THE CITY OF ALBUQUERQUE IN FEE SIMPLE WITH WARRANTY COVENANTS BY THIS PLAT AREA = 134 sq.ft., 0.0031 ac.

SET REBAR W/CAP "PS 11993"



Detail "A"

SET "+" CHISELED IN CONCRETE



PRECISION SURVEYS, INC.

8414-D JEFFERSON ST., N.E. PHONE 505 858 5700
ALBUQUERQUE, NEW MEXICO 87113 FAX 505 858 7908

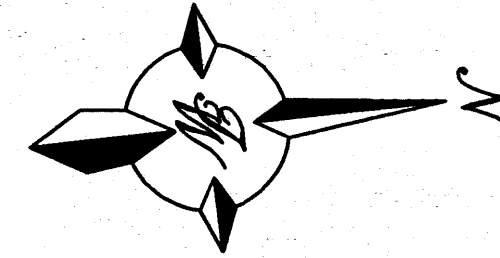
DRB Case No. 99-168
Sheet 2 of 2

A.C.S. MONUMENT "11-H1, 1988"
STANDARD U.S.C. & G.S. BRASS TABLET
(FOUND IN PLACE)
NEW MEXICO STATE PLANE COORDINATES
(CENTRAL ZONE-N.A.D. 1927)
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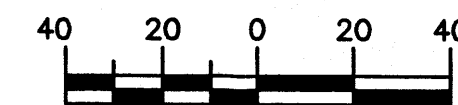
A.C.S. MONUMENT "6-J10 1989"
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(FOUND IN PLACE)
NEW MEXICO STATE PLANE COORDINATES
(CENTRAL ZONE-N.A.D. 1927)
X=360,389.13
Y=1,492,117.53
G=0.99967760
DELTA ALPHA ANGLE=-0°16'06"

EROSION CONTROL PLAN, NPDES PERMIT AND POLLUTION PREVENTION NOTES

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2. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT OUT OF EXISTING RIGHT-OF-WAY.
3. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL STORM RUN OFF ON SITE.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATION ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
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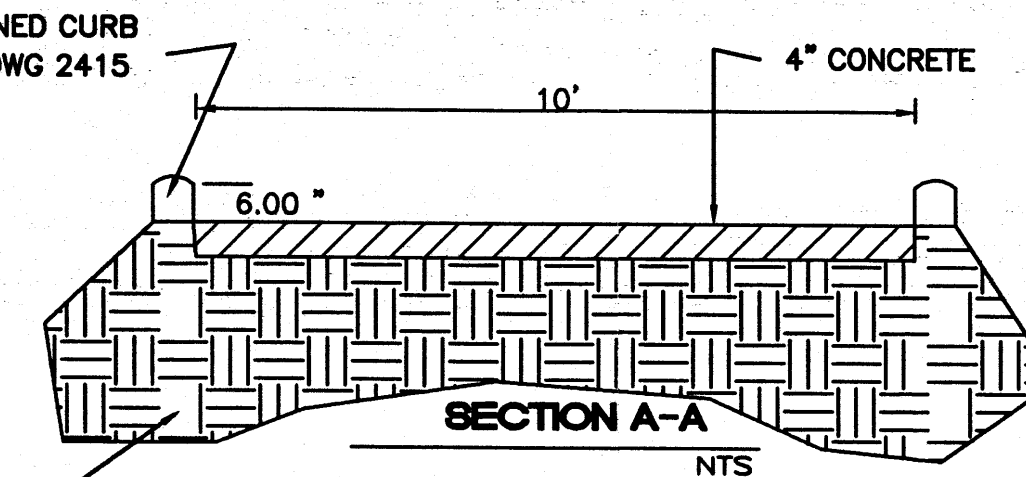


GRAPHIC SCALE



SCALE: 1"=40'

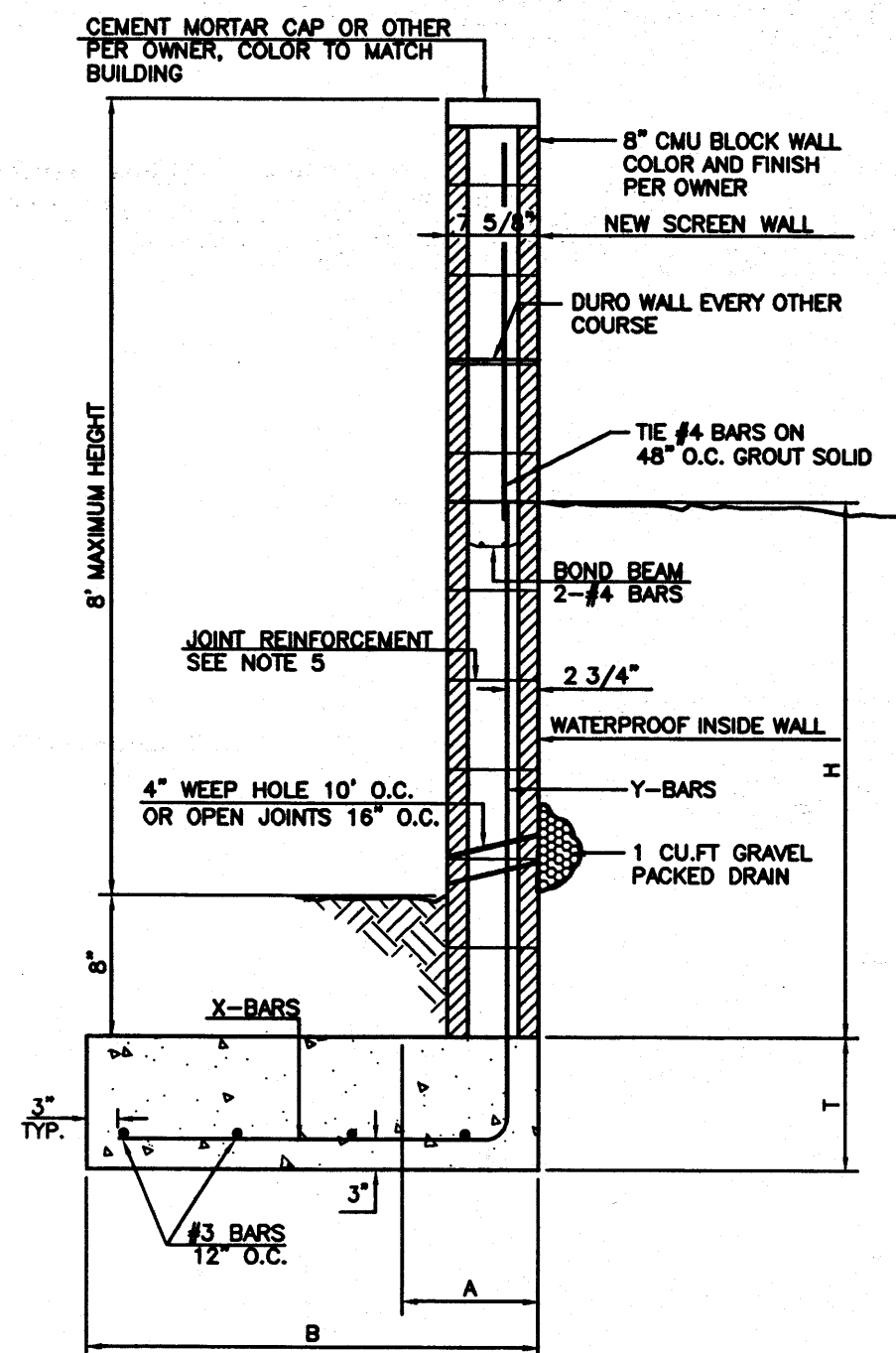
CONCRETE PINNED CURB
PER COA STD DWG 2415



COMPACTED SUBGRADE
98% ASTM

EXISTING PERIMETER WALL
18" MAX. RETAINAGE

EXISTING PERIMETER WALL
18" MAX. RETAINAGE



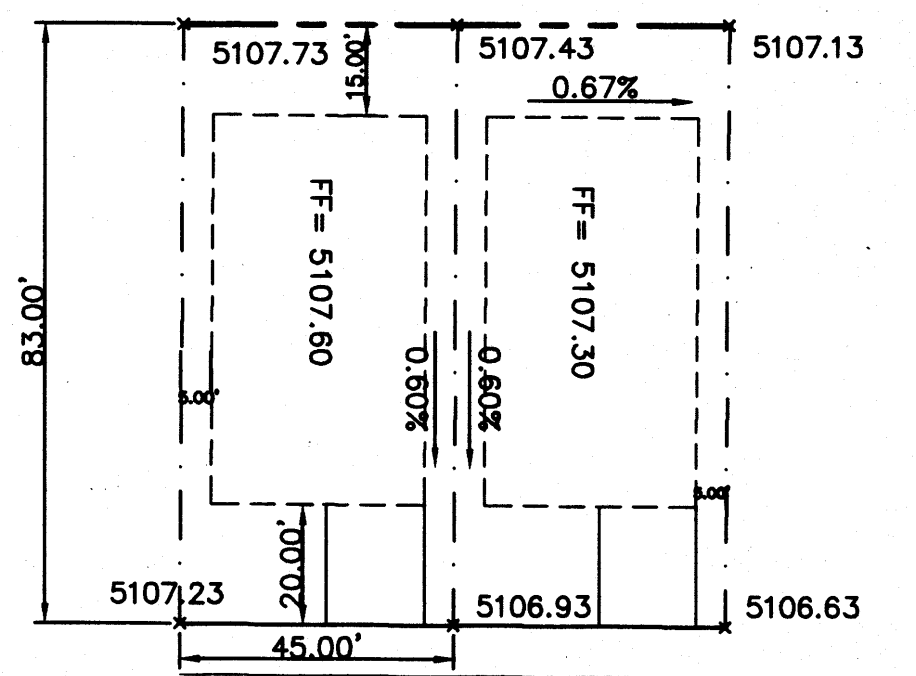
L-FOOTING
RETAINING WALL DETAIL
NTS

GENERAL NOTES:

1. ALL CONCRETE IS TO BE 3000 PSI @ 28 DAYS.
2. MINIMUM COMPACTION UNDER FOOTINGS IS TO BE 95% PER ASTM. D 1557 FOR A DEPTH OF 12" MOISTURE CONTENT IS TO BE $\pm$ 2.0%.
3. BACK FILL AGAINST WALLS IS TO BE HAND-PLACED AND COMPACTED.
4. ALL BARS ARE TO BE GRADE 60, ASTM 615.
5. TRUSS TYPE DUR-O-WALL EVERY OTHER COURSE.
6. USE EITHER EXPANSION JOINTS ON 20' CENTERS OR PILASTERS EVERY 12'.
7. 30 BAR DIAMETER LAPS TYPICAL.
8. DUR-O-WALL HORIZONTAL JOINT REINFORCEMENT 16" O.C.
9. OPEN JOINTS 16" O.C. TYPICAL AT FIRST COURSE.
10. OWNER TO SELECT MASONRY COLOR AND/OR FINISH.
11. SOLID MASONRY CAP COURSE TYPICAL.
12. WATER PROOF WALL.

8 INCH REINFORCED CONCRETE MASONRY WALL (FOR RETAINING PORTION ONLY)

H	B	T	Y-BARS	X-BARS
ft.-in.	ft.-in.	in.		
1'-4"	1'-9"	9"	#4 @ 24" O.C.	
2'-0"	2'-0"	9"	#4 @ 24" O.C.	
2'-8"	2'-6"	9"	#4 @ 24" O.C.	
3'-4"	2'-9"	12"	#4 @ 16" O.C.	#4 @ 16" O.C.
4'-0"	3'-3"	12"	#4 @ 16" O.C.	#4 @ 16" O.C.



TYPICAL LOT GRADING

LEGEND

- EXISTING CURB & GUTTER
- EXISTING CONTOUR (MAJOR)
- EXISTING CONTOUR (MINOR)
- BOUNDARY LINE
- EASEMENT
- PROPOSED SIDEWALK
- FLOW ARROW
- PROPOSED RETAINING WALL
- EXISTING PERIMETER WALL
- 5100.00 EXISTING SPOT ELEVATION
- 5108.31 PROPOSED SPOT ELEVATION

ROUGH GRADING APPROVAL

DATE

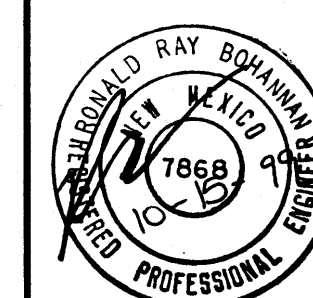
LEGAL DESCRIPTION

LOT 292-X, AND PORTIONS OF LOTS 292-Y & 292

SECTION B-B

TYPICAL 32' STREET SECTION
N.T.S.

ENGINEER'S
SEAL

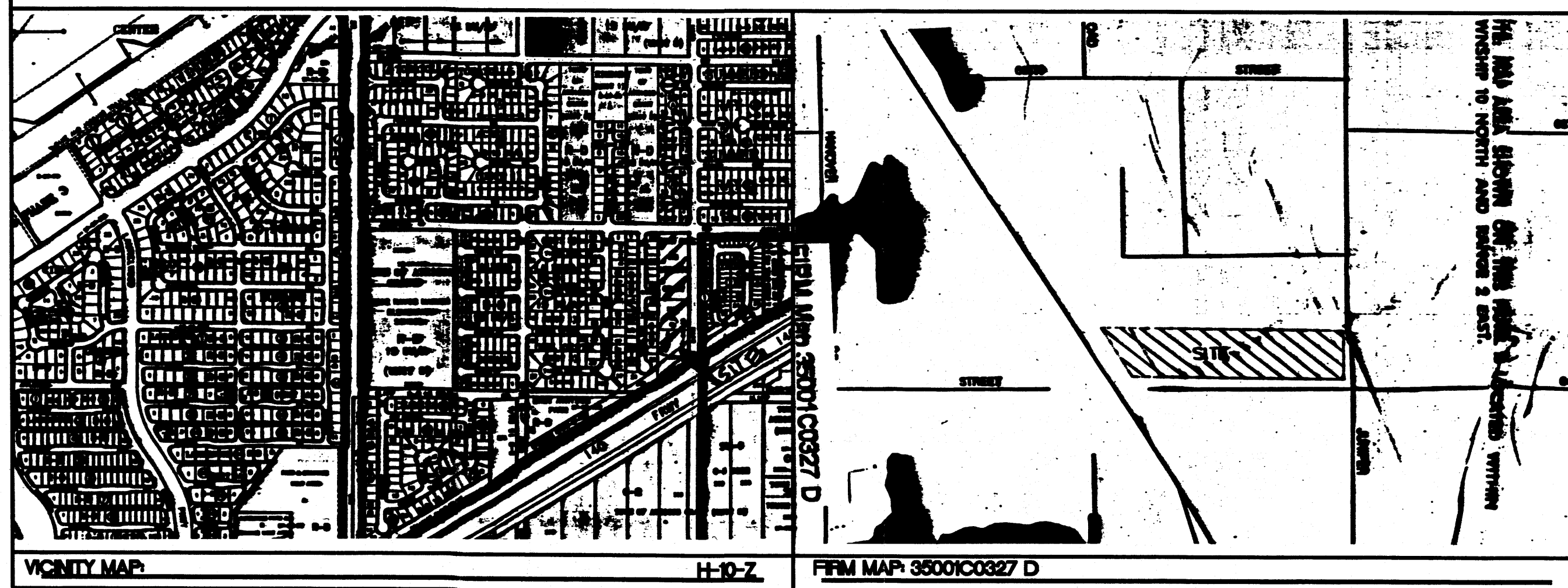


RONALD R. BOHANNAN
P.E. #7868

JUNIPER RUNS
PHASE II
GRADING
AND DRAINAGE PLAN

TERRA WEST, LLC
4421 McLEOD ROAD, N.E., SUITE D
ALBUQUERQUE, NEW MEXICO 87109
(505) 863-7592

DRAWN
BY WCMJ
DATE
10-7-99
9924GR3.DWG
SHEET #
OF
3 10
JOB #
990024



VICINITY MAP

H-10-Z

FFM MAP: 35001C0327 D