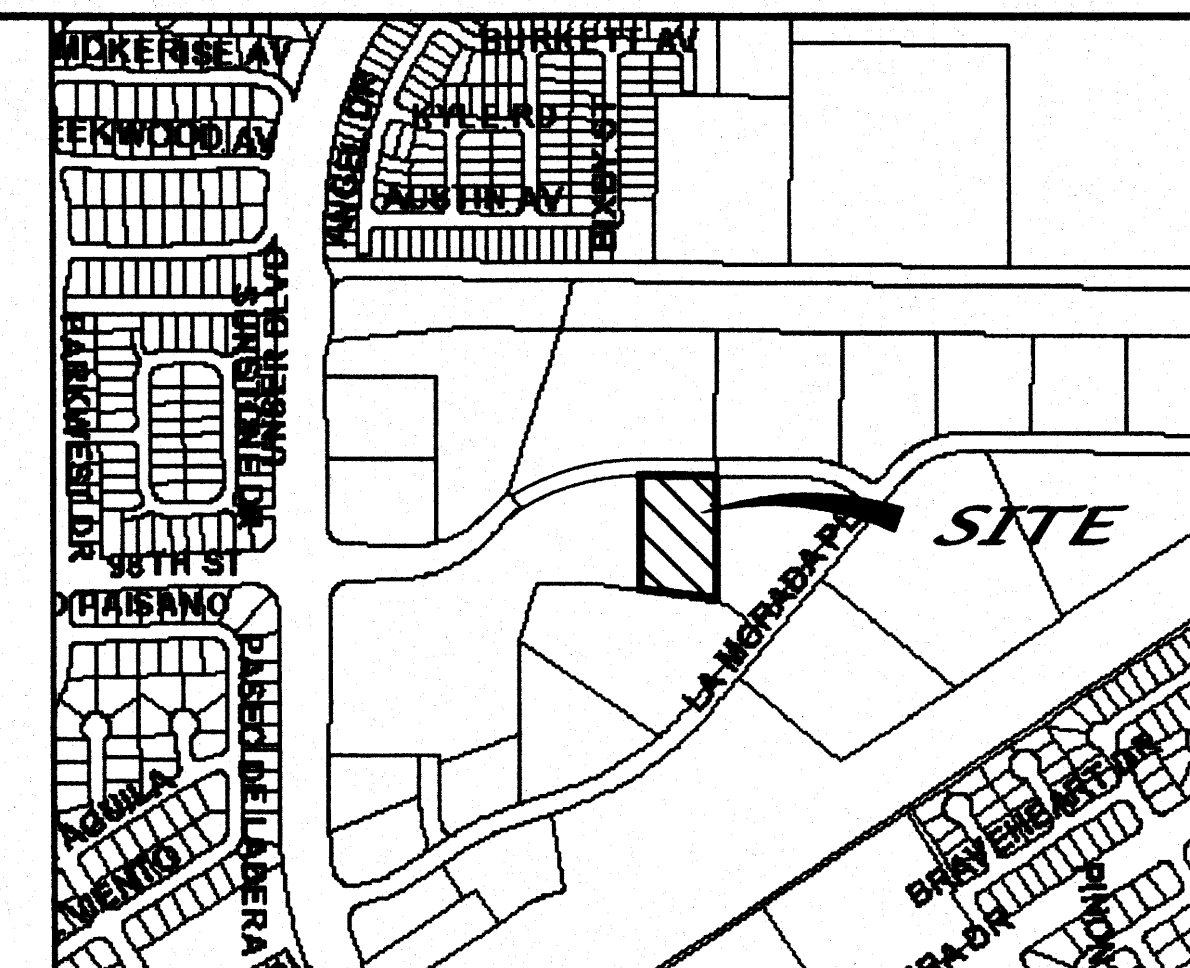




VICINITY MAP ZONE MAP: H-9, H-10

TBM (TEMPORARY BENCHMARK)

TO BE DETERMINED

ACS BENCHMARK

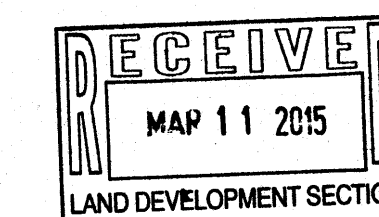
TO BE DETERMINED

LEGAL DESCRIPTION

TRACT 27, LADERA BUSINESS PARK, UNIT II.

NOTES

1. ROOF DRAINS PASS RUNOFF INTERNALLY THROUGH THE BUILDING AND THEN DISCHARGE EAST FROM THE EAST BUILDING FACADE INTO THE EAST PARKING LOT.
2. RETAINING WALL SHALL BE DESIGNED BY OTHERS.
3. EARTHWORK CONTRACTOR SHALL OBTAIN A SURFACE DISTURBANCE PERMIT PRIOR TO BEGINNING EARTHWORK OPERATIONS.

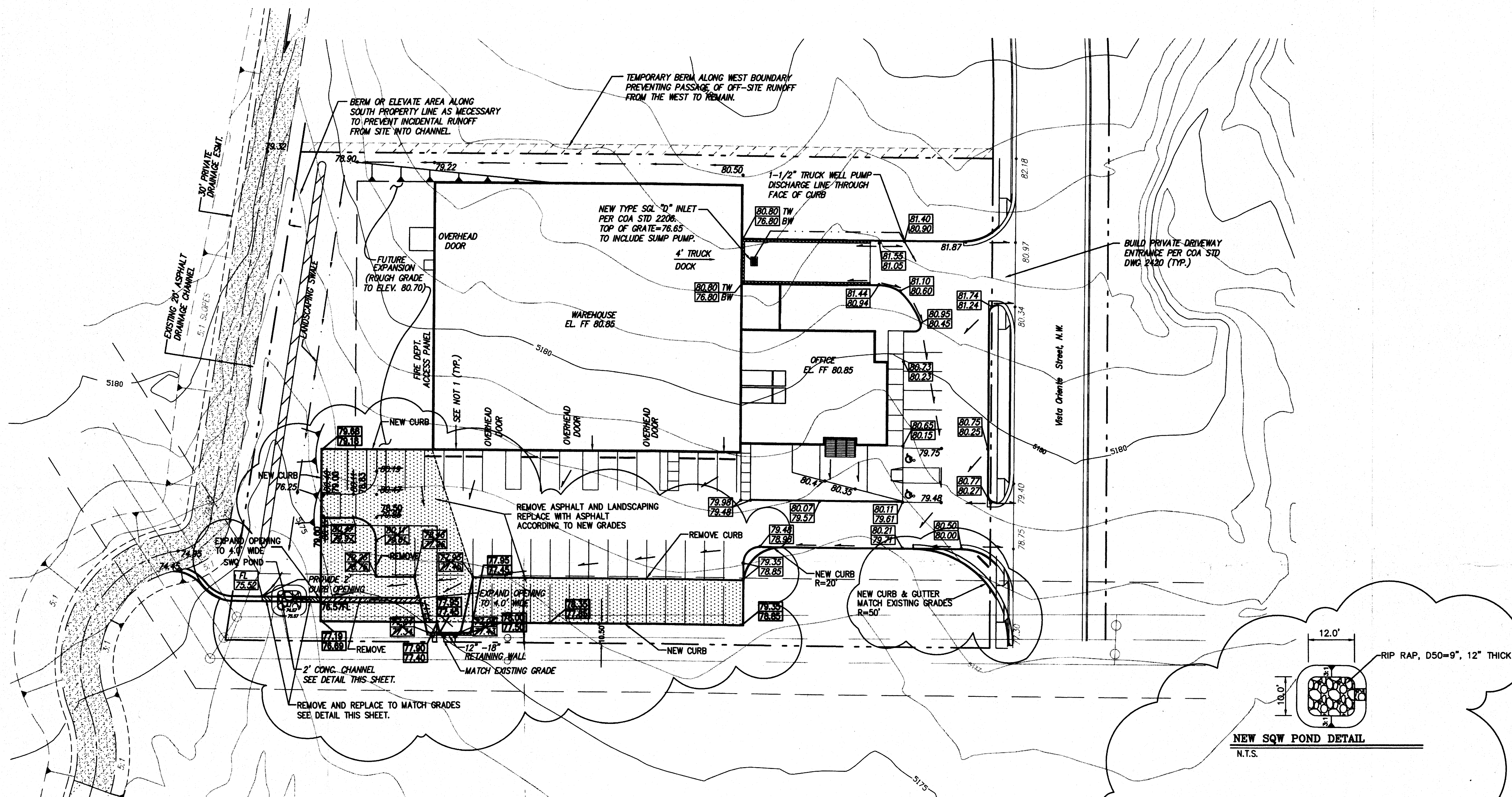


PROPOSED GRADING & DRAINAGE PLAN REVISED: 2-26-2015

SOUTHWEST GLASS & GLAZING
GRADING & DRAINAGE PLAN

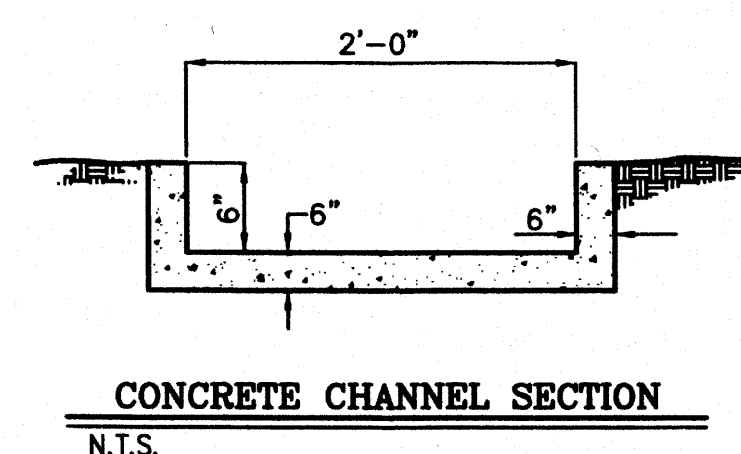
dmg MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505)828-2200, FAX (505)797-9539

Designed: JMM Drawn: KJS Checked: DMG Sheet 1 of 1
Scale: 1" = 30' Date: 10/04 Job: A04088

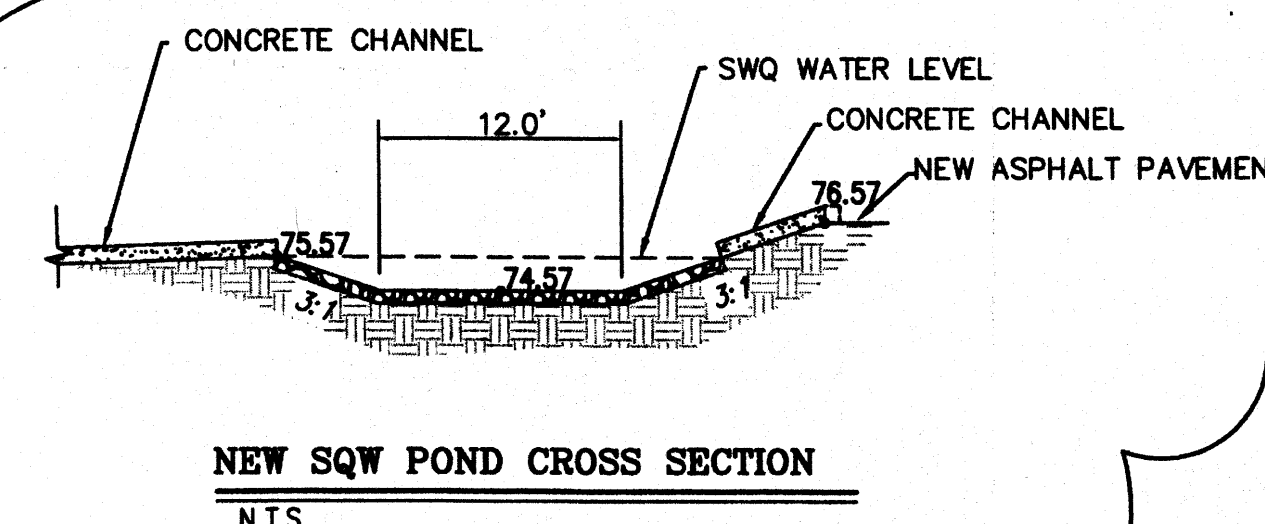


LEGEND

5105	EXISTING CONTOUR (MAJOR)	EXISTING UNDERGROUND GAS MARKER
5104	EXISTING CONTOUR (MINOR)	EXISTING GAS VALVE/METER
x 00.00	EXISTING SPOT ELEVATION	EXISTING STORM SEWER MANHOLE
---	EXISTING ASPHALT CURB	EXISTING DROP INLET
---	EXISTING CONCRETE CURB	DRAINAGE BASIN BOUNDARY
■	EXISTING UNDERGROUND GAS MARKER	NEW CONCRETE HEADER CURB
---	EXISTING WALL OR HEAD WALL	EXISTING CHAINLINK FENCE
+	EXISTING SIGN	PROPOSED FIELD SWALE OR FLOWLINE
-x-x-x-x-	EXISTING FENCE	EXISTING SIDEWALK CULVERT
●	EXISTING SANITARY SEWER MANHOLE	FF= 00.88
○	EXISTING CLEANOUT	.02.02
-	EXISTING WATER VALVE	.02.02
+	EXISTING FIRE HYDRANT	97.67
---	EXISTING OVERHEAD UTILITY LINES	97.17
●-●-●	EXISTING POWER POLE	FF= 00.88
---	EXISTING GUYWIRE	NEW SPOT ELEVATION
■	EXISTING LIGHT POLE	ESTIMATED SPOT ELEVATION (SHADED)
■	EXISTING TELEPHONE PEDESTAL	TOP OF CURB
		FLOWLINE
		ROOF DRAIN
		3:1 SLOPE
		NEW RETAINING WALL (STRUCTURAL DESIGN BY OTHERS)

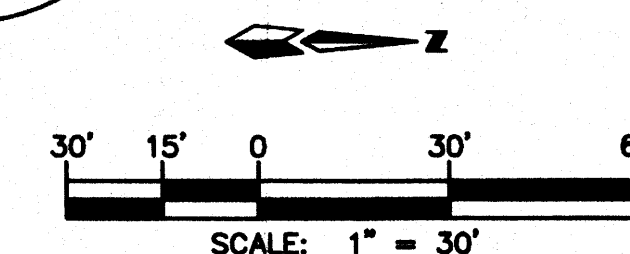


RAIN SIX = 2.19 IN.
DT = 0.0333 HR.
AREA = 2.21 ACRES
PERCENT B = 20%
PERCENT D = 80%
Q₁₀ = 8.24 CFS
VOL₁₀ = 0.2988 AF

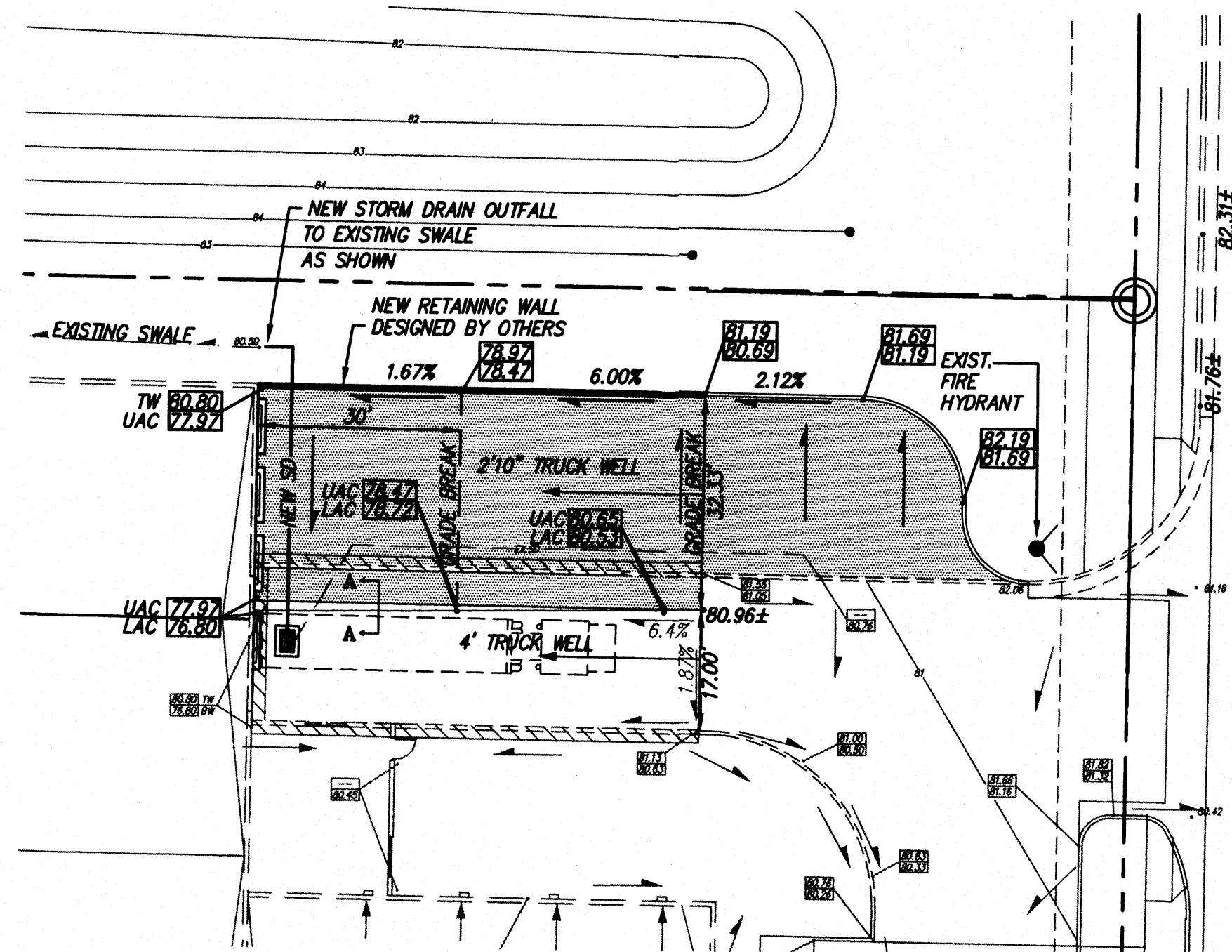


HYDROLOGY CALCULATIONS:

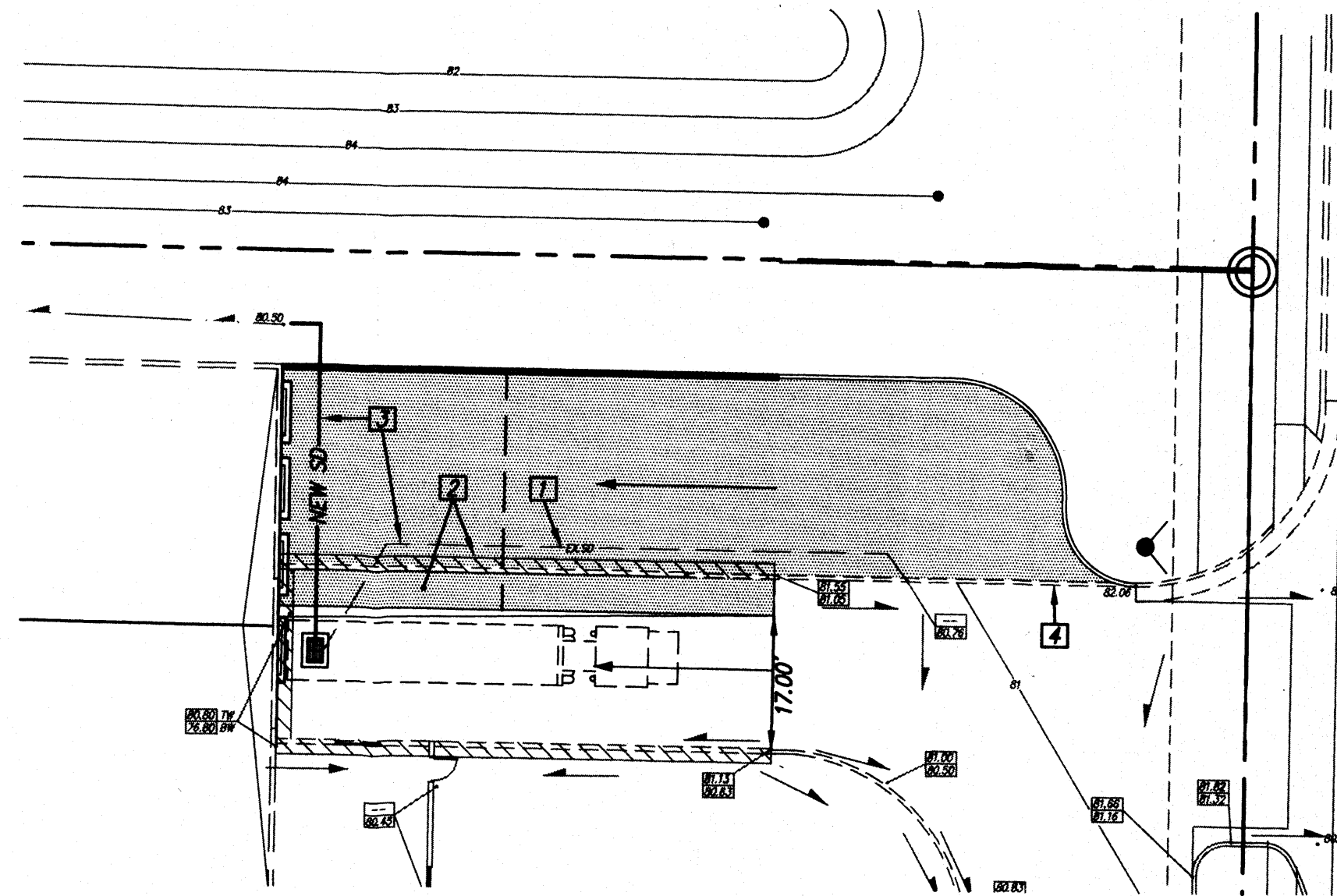
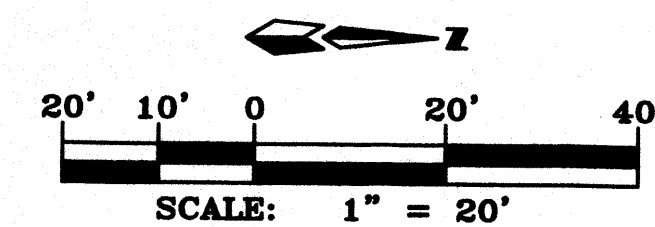
TOTAL SITE AREA=2.21 ACRES
IMPERVIOUS AREA BEFORE NEW PARKING LOT ADDITION = 60,029 SF
NEW PARKING LOT ADDITION = 6,137 SF
NEW TOTAL IMPERVIOUS AREA = 66,166 SF
NEW TOTAL D=68.7% (WHICH IS LESS THAN DESIGN OF D=80%)
CURRENT CHANNEL/DESIGN STILL WORK WITH CHANGES TO SITE PLAN
FIRST FLUSH REQUIREMENT = 0.34" X IMPERVIOUS AREA
= 0.34" X 6,137 SF
= 174 OF VOLUME REQUIRED
VOLUME PROVIDED IN SQW POND = 186 CF



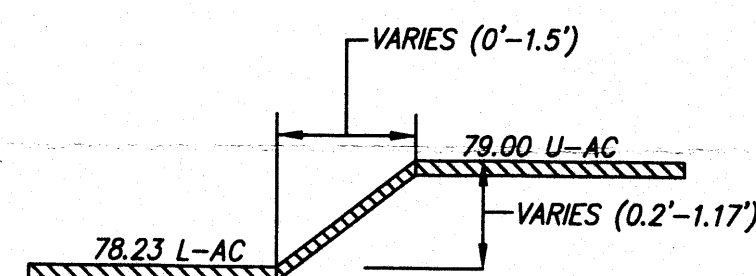
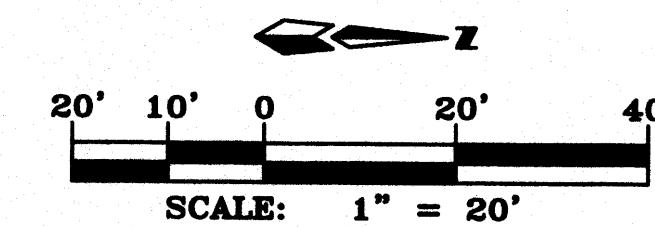
A4088DWG, A4088DCD30-11-01-01 EJS:JHE



GRADING & DRAINAGE PLAN

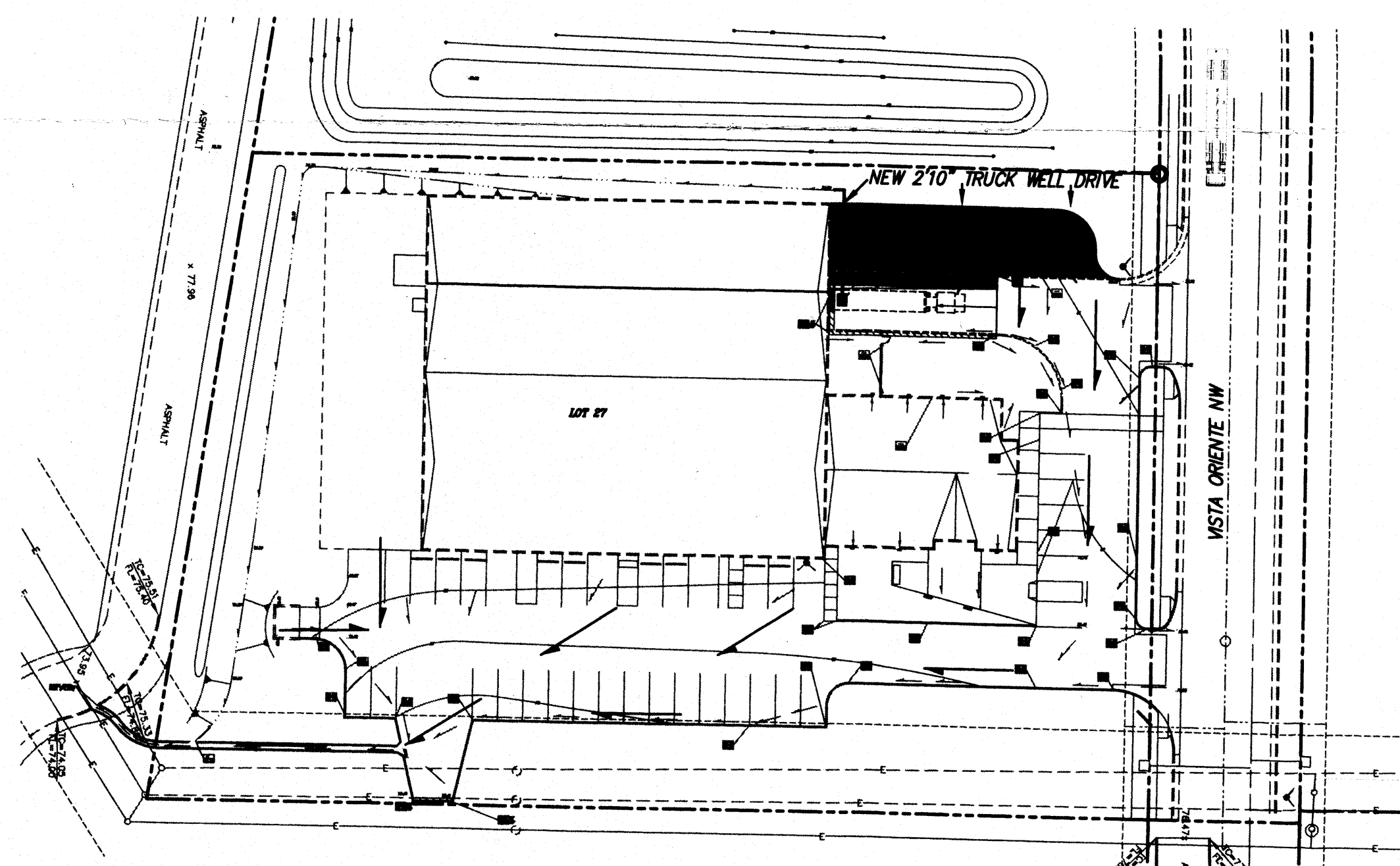


DEMOLITION PLAN

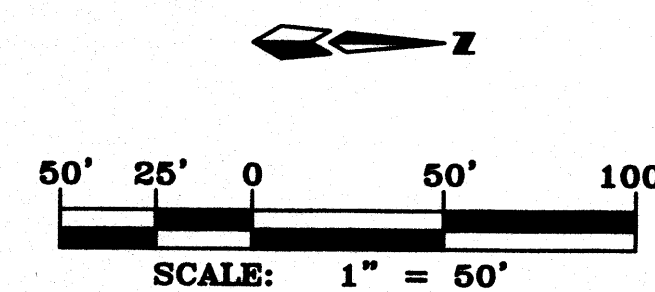


TRUCK WELL SLOPED DIVIDE
A-A TYPICAL SECTION

N.T.S.



OVERVIEW



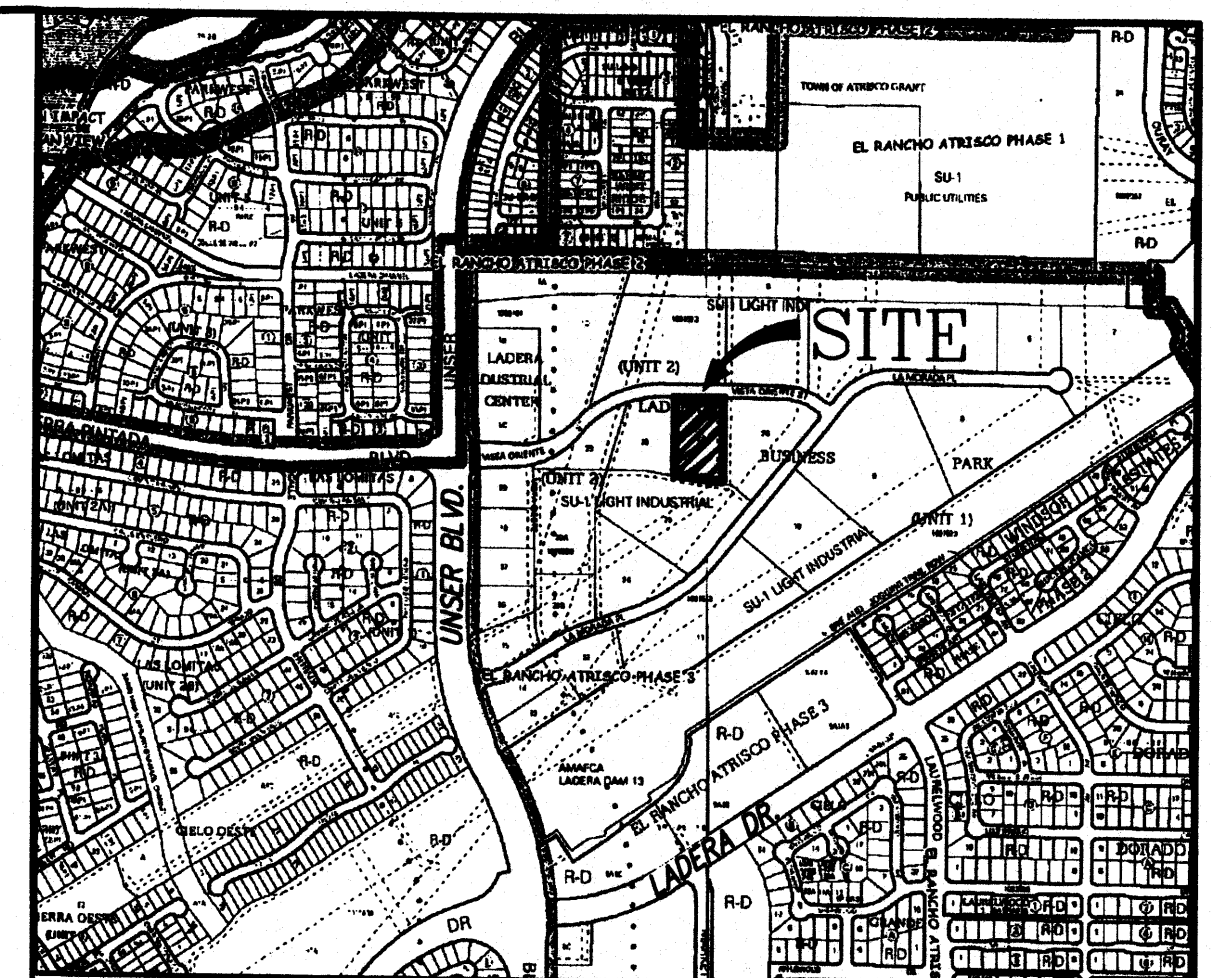
SUMMARY OF HYDROLOGY

THIS PROJECT IS ADDING APPROXIMATELY 2846 SF OF ADDITIONAL IMPERVIOUS PAVEMENT, CURB AND GUTTER. THIS AMOUNTS TO APPROXIMATELY 0.16 CFS OF ADDITIONAL RUNOFF. ALL OF WHICH WILL BE INTERCEPTED BY THE EXISTING INLET LOCATED AT THE SOUTH END OF THE 4.0 FT TRUCK WELL.

THIS PROJECT WAS ORIGINALLY APPROVED, CONSTRUCTED CERTIFIED UNDER A PREVIOUS PROJECT CALLED "SOUTHWEST GLASS & GLAZING". THE BUILDING AND TRUCK WELLS ARE NOW BEING MODIFIED TO INCLUDE THE EXISTING 4.0' DEEP TRUCK WELL AND THE ADDITION OF 3 MORE 2'10" TRUCK WELLS AS SHOWN ON THIS PLAN.

HYDROLOGY CALCULATIONS WERE DETERMINED USING C.O.A. SECTION 22.2 HYDROLOGY, DEVELOPMENT PROCESS MANUAL LATEST VERSION, AND THE AHYMO COMPUTER MODEL:

MODIFIED AREA=2846 SQ. FT. (0.00010209 SQ. MI)
P(1HR)= 1.90" ZONE ATLAS H-9/10
P(6HR)= 2.20"
EXISTING LAND TR = B NEW LAND TR = D
Q(100) = 0.14 CFS Q(100) = 0.30 CFS



VICINITY MAP ZONE MAP: H-9 & 10

LEGAL DESCRIPTION

TRACT 27, LADERA BUSINESS PARK UNIT 2

ADDRESS

2220 VISTA ORIENTE NW, ALBUQUERQUE, NM

ACS BENCHMARK (REFER TO NOTE 5)

SW OF LADERA & GOLF COURSE. TO REACH STATION FROM INTERSECTION OF I-40 & UNSER BLVD, GO NORTH ON UNSER 0.75 MILES TO LADERA DR. THE STATION IS NE OF THE INTERSECTION. THE STATION MARK IS A STANDARD ACS BRASS CAP STAMPED "3-H10" SET FLUSH IN THE CONCRETE SURFACE OF THE SPILLWAY.
X=356,889.72, Y=1,493,922.98 (NAD 1927) ELEV=5,193.38 (NGVD29).

AGRS "3-H10" NAD 83, NEW MEXICO STATE PLANE, CENTRAL ZONE
X= 1,497,135.488, Y= 1,493,965.681
ELEVATION 5196.151 (NAVD 1988)

KEYED NOTES

- 1 FIELD VERIFY STORM DRAIN AND PUMP SYSTEM IN PLACE.
 - 2 SAWCUT & REMOVE 68.3 L.F. OF EXISTING WALL AND 310.8 S.Y. EXISTING PAVEMENT SECTION AS SHOWN BETWEEN LOADING DOCKS.
 - 3 RELOCATE STORM DRAIN OUTFALL PIPE AS SHOWN TO EXISTING SWALE.
 - 4 SAWCUT & REMOVE EXISTING CURB
 - 5 PROPOSED SPOT ELEVATIONS ARE BASED ON THE ORIGINAL DESIGN TOC/BOC ELEVATIONS. FIELD VERIFY THAT THESE ELEVATIONS ARE BASED NGVD29. THE NAVD 1988 BENCHMARK INFORMATION HAS BEEN PROVIDED FOR INFORMATION ONLY. THERE IS A 2.771' CONVERSION FACTOR BETWEEN THESE TWO DIFFERENT BENCHMARK REFERENCES.
- INSURE THERE IS ADEQUATE FALL EASTWARD ACROSS DRIVEWAY (0.6-1.8%) AND CONTACT DESIGN ENGINEER IF THERE ARE PROBLEMS IN THE FIELD.

LEGEND

- NEW ASPHALT PAVEMENT
- NEW CURB & GUTTER
- NEW SD
- NEW STORMDRAIN
- NEW RETAINING WALL
- U-AC
- ASPHALT-UPPER DRIVEWAY
- L-AC
- ASPHALT-LOWER DRIVEWAY
- TOP OF CURB (PROPOSED)
- BOTTOM OF CURB (PROPOSED)
- TOP OF CURB (DESIGN)
- BOTTOM OF CURB (DESIGN)

RECEIVED

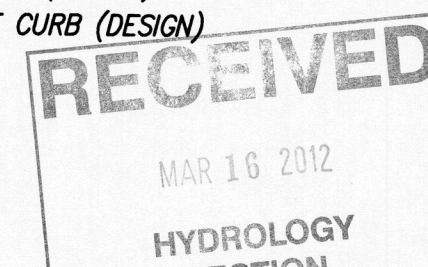
OCT 2 4 2011

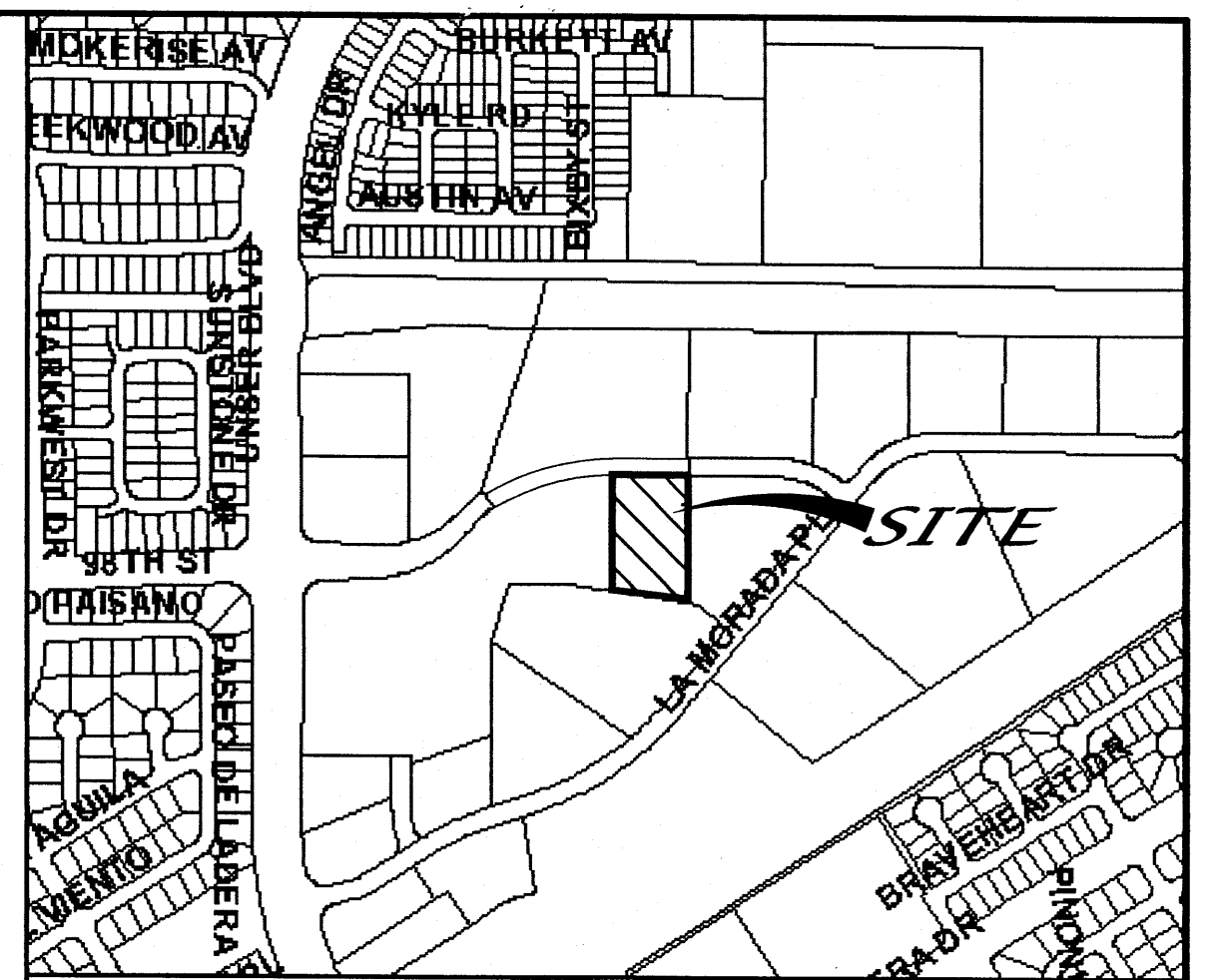
HYDROLOGY

BLUE BELL WAREHOUSE MODIFICATIONS GRADING & DRAINAGE PLAN

dmg MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505)828-2200, FAX (505)797-9539

Designed: DLH Drawn: ACH Checked: DMG Sheet 1 of 1
Scale: 1" = 1' Date: 09-02-11 Job: A11045





VICINITY MAP ZONE MAP: H-9, H-10

ACS BENCHMARK

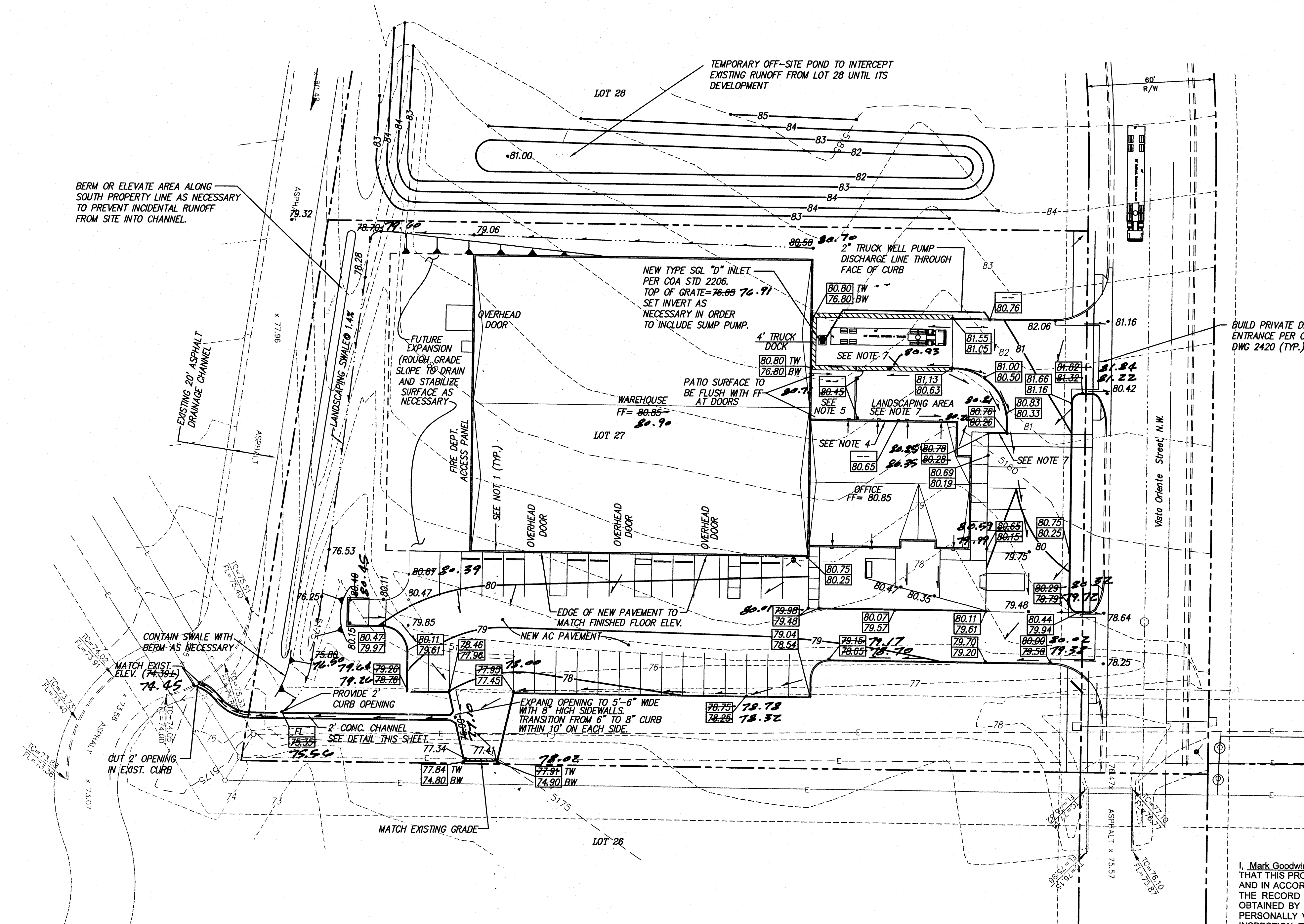
STATION "3-H10" IS LOCATED 4.5 MILES NW OF DOWNTOWN SW OF LADERA & GOLF COURSE. TO REACH STATION FROM INTERSECTION OF I-40 & UNSER BLVD., GO NORTH ON UNSER 0.75 MILES TO LADERA DR. THE STATION IS NE OF THE INTERSECTION. THE STATION MARK IS A STANDARD ACS BRASS CAP STAMPED "3-H10" SET FLUSH IN THE CONCRETE SURFACE OF THE SPILLWAY. X=356,889.72, Y=1,493,922.98 (NAD 1927) ELEV=5,193.38 (NGVD29).

LEGAL DESCRIPTION

TRACT 27, LADERA BUSINESS PARK, UNIT II.

NOTES

1. ROOF DRAINS PASS RUNOFF INTERNALLY THROUGH THE BUILDING AND THEN DISCHARGE EAST FROM THE EAST BUILDING FACADE INTO THE EAST PARKING LOT.
2. RETAINING WALL SHALL BE DESIGNED BY OTHERS.
3. EARTHWORK CONTRACTOR SHALL OBTAIN A SURFACE DISTURBANCE PERMIT PRIOR TO BEGINNING EARTHWORK OPERATIONS.
4. ROOF DRAINS DISCHARGING OFF WEST SIDE OF OFFICE TO BE CONNECTED TO PIPE(S) DRAINING NORTH INTO THE NORTHERN PARKING LOT THRU THE FACE OF CURB.
5. NORTH WALL OF PATIO TO CONTAIN AT-GRADE BLOCKS TURNED SIDEWAYS TO PASS FLOW FROM SOUTH TO NORTH INTO LANDSCAPED AREA.
6. ALL PAVEMENT, CURB AND GUTTER, EXCEPT FOR SIDEWALKS AND PRIVATE DRIVEWAYS, WITHIN VISTA ORIENTE IS NOT IN THIS CONTRACT.
7. LANDSCAPING BETWEEN WEST SIDE OF OFFICE AND TRUCK DOCK SHALL NOT CONTAIN A GRADE HIGHER THAN ELEVATION 80.40. PROVISION(S) FOR AN OVERFLOW INTO THE TRUCK DOCK (SOUTH HALF OF LANDSCAPING) SHALL BE INSTALLED FOR STANDING WATER IN EXCESS OF THIS ELEVATION. FOR THE NORTH HALF OF THE LANDSCAPED AREA, A CURB OPENING OR THRU-THE-FACE-OF-CURB PIPE SHALL BE PROVIDED AT THE NE CORNER OF THE AREA.
8. RECOMMENDED TRUCK WELL SUMP PUMP IS A HYDROMATIC SKY50A1 (115V) CONTACT ALLAN TAYLOR AT TP PUMP (505-247-4036).

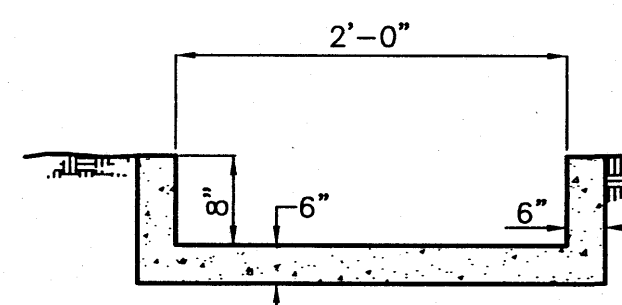


DRAINAGE CERTIFICATION

I, Mark Goodwin, NMPE 8948, OF THE FIRM Mark Goodwin & Associates, P.A., HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 12/15/04. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY Timothy Aldrich, OF THE FIRM ALS, Inc. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 7/22/05, AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR Grading Certification Approval. (C)

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

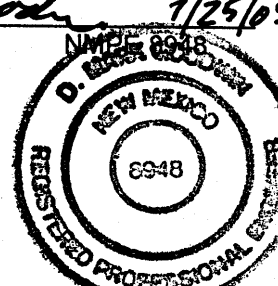
Mark Goodwin 7/25/05



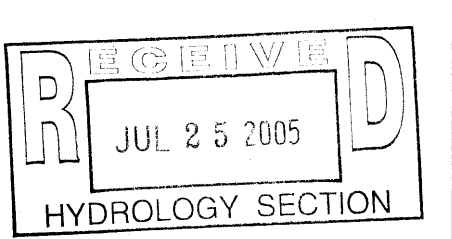
CONCRETE CHANNEL SECTION

N.T.S.

RAIN SIX = 2.19 IN.
DT = 0.0333 HR.
AREA = 2.21 ACRES
PERCENT B = 20%
PERCENT D = 80%
Q₁₀₀ = 8.24 CFS
VOL₁₀₀ = 0.2988 AF

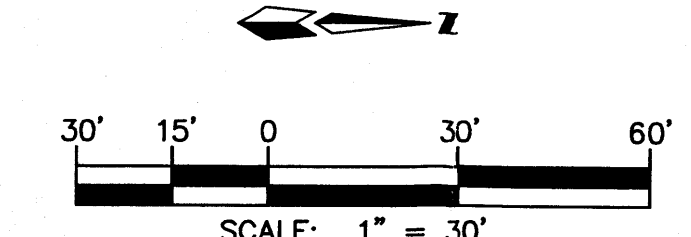


John H. Macomber
12-15-04



LEGEND

5105	EXISTING CONTOUR (MAJOR)	⊠	EXISTING UNDERGROUND GAS MARKER
5104	EXISTING CONTOUR (MINOR)	⊙	EXISTING GAS VALVE/METER
x 00.00	EXISTING SPOT ELEVATION	⊙	EXISTING STORM SEWER MANHOLE
---	EXISTING ASPHALT CURB	---	EXISTING DROP INLET
---	EXISTING CONCRETE CURB	---	EXISTING DRAINAGE BASIN BOUNDARY
⊠	EXISTING UNDERGROUND GAS MARKER	---	NEW CONCRETE HEADER CURB
---	EXISTING WALL OR HEAD WALL	---	EXISTING CHAINLINK FENCE
+	EXISTING SIGN	---	PROPOSED FIELD SWALE OR FLOWLINE
-x-x-x-x-	EXISTING FENCE	---	EXISTING SIDEWALK CULVERT
●	EXISTING SANITARY SEWER MANHOLE	FF= 00.88	FINISH FLOOR ELEVATION
○	EXISTING CLEANOUT	02.02 02.00	NEW SPOT ELEVATION
+	EXISTING WATER VALVE	02.02	ESTIMATED SPOT ELEVATION (SHADED)
⊙	EXISTING FIRE HYDRANT	02.02 02.00	TOP OF CURB FLOWLINE
---	EXISTING OVERHEAD UTILITY LINES	02.02 02.00	AS-BUILT
●pp	EXISTING POWER POLE	---	FLOW DIRECTION
---	EXISTING GUYWIRE	---	ROOF DRAIN
---	EXISTING LIGHT POLE	---	3:1 SLOPE
⊠	EXISTING TELEPHONE PEDESTAL	---	NEW RETAINING WALL (STRUCTURAL DESIGN BY OTHERS)
		02.02 TW 02.02 BW	TOP OF WALL BOTTOM OF WALL

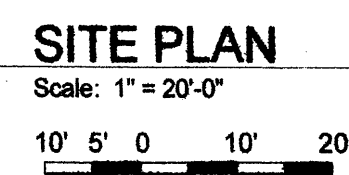


A4088SWG/A4088GD30R/12-15-04 NHE KJS ACH

SOUTHWEST GLASS & GLAZING GRADING & DRAINAGE PLAN

MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505)828-2200, FAX (505)797-9539

Designed: JMM Drawn: KJS Checked: DMG Sheet 1 of 1
Scale: 1" = 30' Date: 10/04 Job: A04088



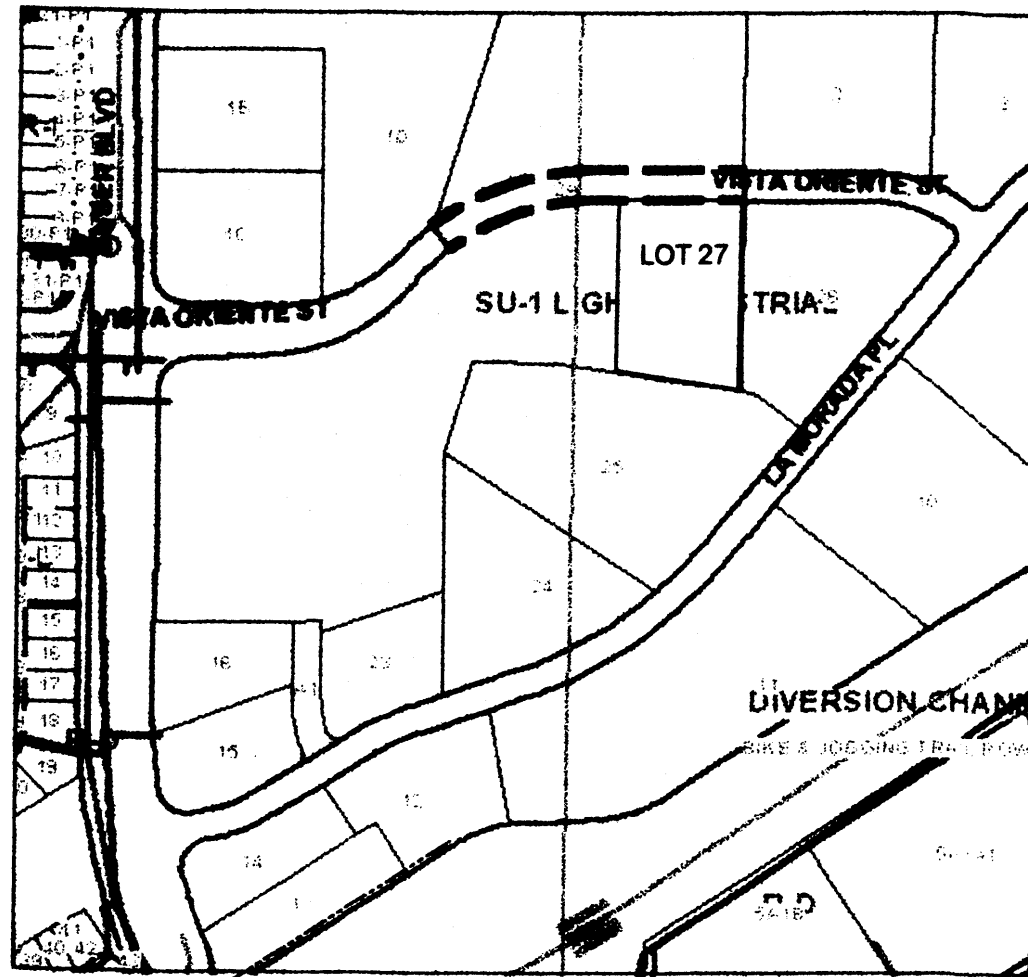
RECEIVED
JUL 26 2005
HYDROLOGY SECTION

A circular professional seal for Kira Sowanick, Registered Architect, No. 3429, State of New Mexico. The seal features the text "STATE OF NEW MEXICO" at the top and "REGISTERED ARCHITECT" at the bottom. In the center, the name "KIRA SOWANICK" and the number "NO. 3429" are printed. A handwritten signature, "Kira Sowanick", is written across the seal.

SOUTHWEST GLASS & GLAZING, INC.
Ladera Business Park
2220 Vista Oriente NW
Albuquerque, NM 87120

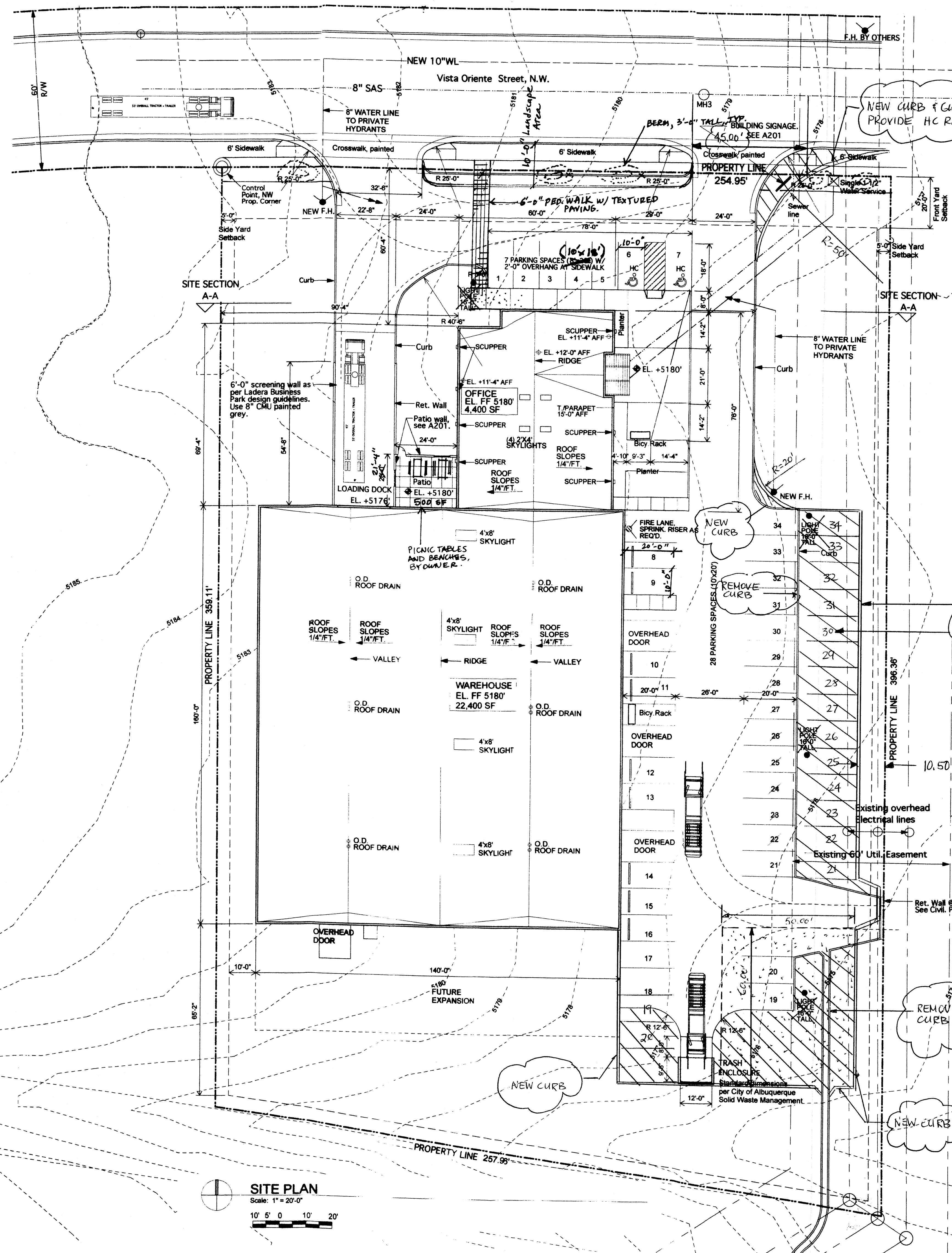
Duke & Duke 7618142-12.10
Schilling

Date: 11.11.04



Zone Atlas Page H-9 Zone Atlas Page H-10

VICINITY MAP
Scale: 1" = 400'



Legal Description:
Tract 27, Ladera Business Park
Address:
2220 Vista Oriente St. N.W.
Albuquerque, NM 87120
Building Zone: SU-1 LIGHT INDUSTRIAL
Type of Construction: Type II - B, Sprinklered
2003 International Building Code
Mixed Occupancy: B-2, F-2, S-2
Building Area
Office: 4,400 SF
Warehouse: 22,400 SF
Parking
Office: 4,400 / 200 = 22
Warehouse: 22,400 / 2000 = 12
34 Total parking spaces, 34 provided
2 H.C. spaces required, 2 provided
Lot = 96,303 SF
Proposed Bldg. SF Total = 26,800 SF
Does not exceed 50% building to lot ratio

NOTES:
Landscape areas to be mulched with Santa Fe Brown and Santa Ana Tan crushed rock at 2'-3' depth.
Plantings to be watered by auto. drip irrigation system. Native seed areas shall be irrigated and established with a temporary sprinkler system. Establishment and maintenance shall be the responsibility of the property owner. Weed infestation prevention shall be the responsibility of the property owner.
All surface mounted building lighting provided for security shall be fully shielded to avoid any light on adjacent properties or right-of-ways.

LEGEND
NEW ASPHALT PAVING
ASPHALT AREA FOR TRUCK PARKING

PROPOSED
SITE DEVELOPMENT PLAN
2-6-2015

Is an Infrastructure List required? (X) Yes () No.
If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements

SITE DEVELOPMENT PLAN FOR
BUILDING PERMIT

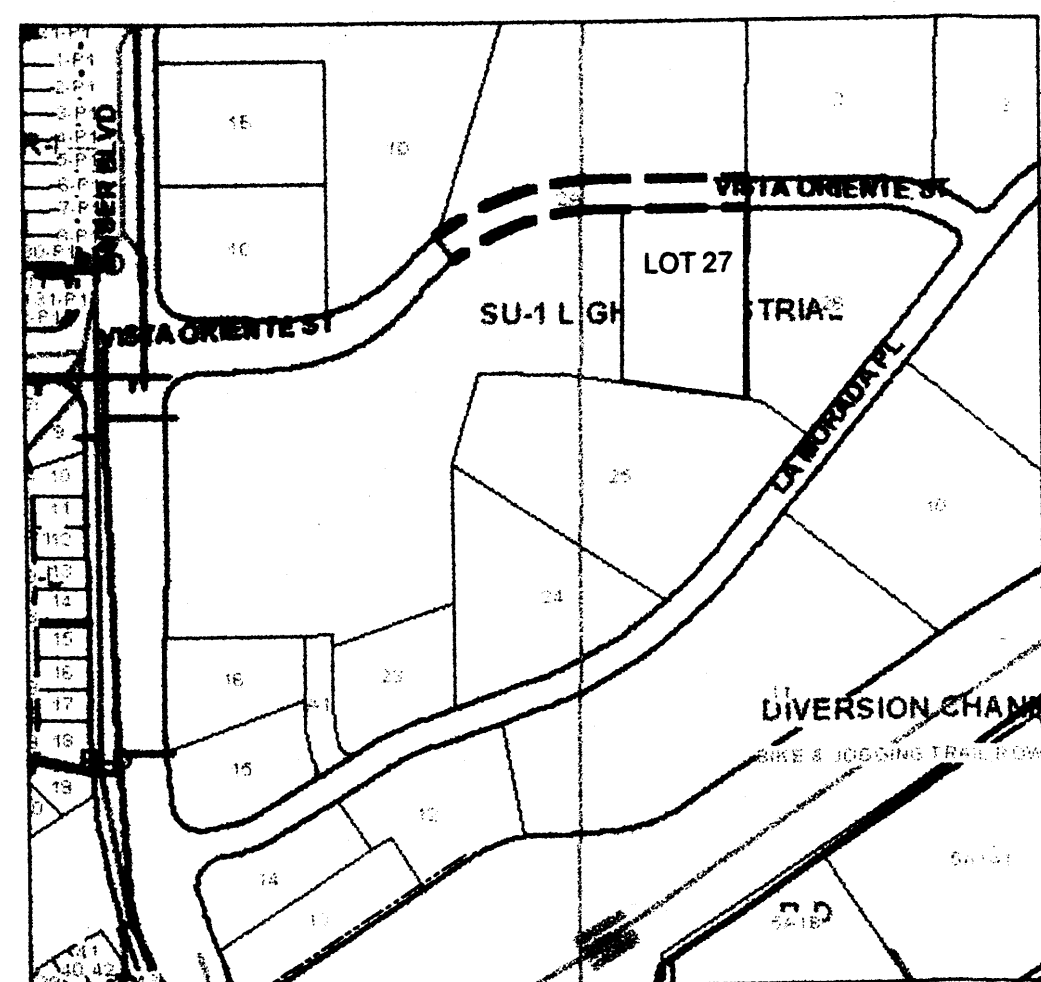
APPROVED AND ACCEPTED BY:
PROJ. NO. 1003671
APPLICATION NO. 04-01746

Planning Department, DRB Chair
City Engineer
1-25-05
11/17/04
11/17/04
11/17/04
SOLID WASTE

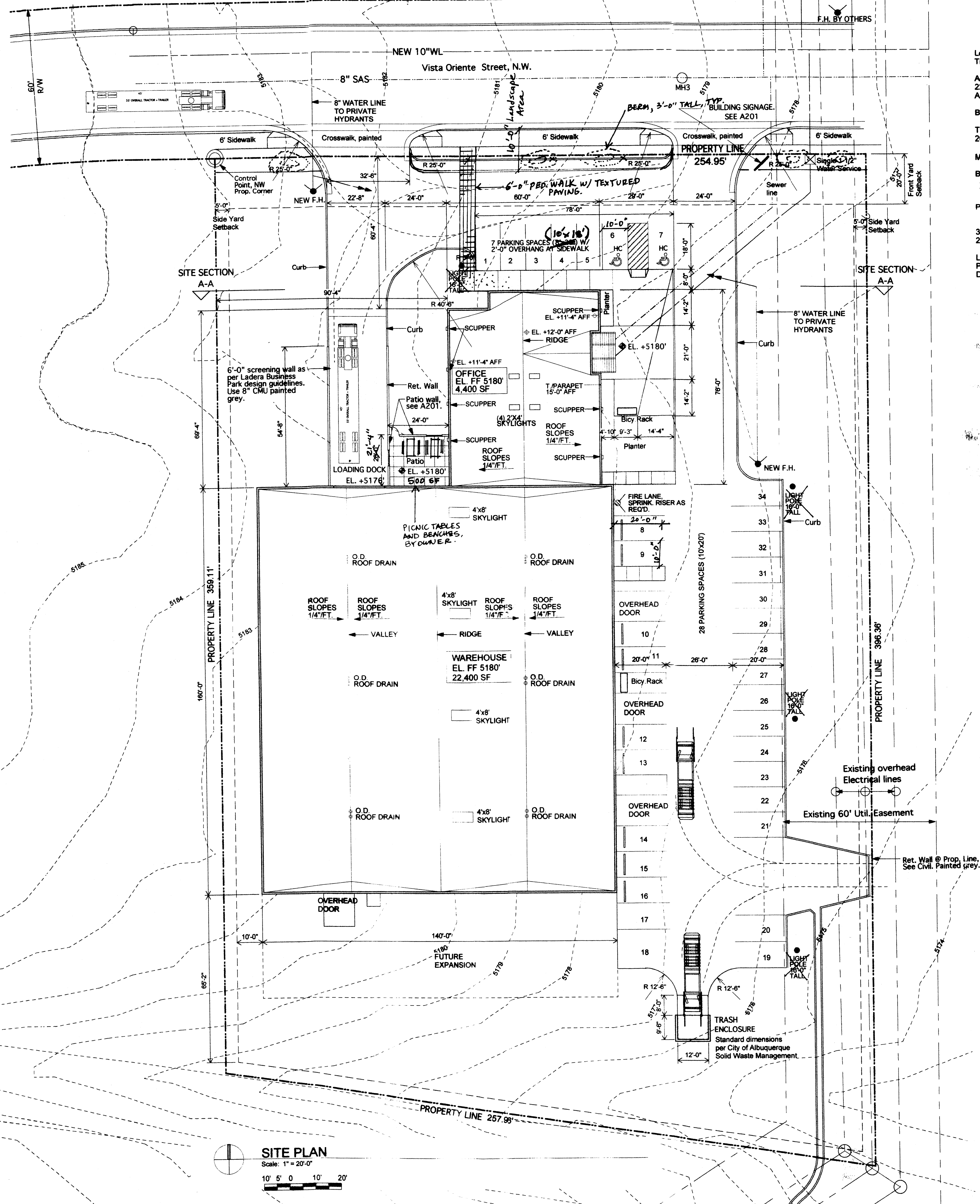
Kim Swartz, AIA
13412 Chase Orange Rd. NE
Albuquerque, NM 87111
Tel: 505-271-1404
Fax: 505-271-1404
kimswartz@comcast.net
ENT ARCHITECTS

SOUTHWEST GLASS & GLAZING, INC.
Ladera Business Park
2220 Vista Oriente NW
Albuquerque, NM 87120

Sheet No.: A001
Sheet Title: SITE PLAN
Date: 11.11.04



VICINITY MAP
Scale: 1" = 400'



SITE PLAN
Scale: 1" = 20'-0"

Legal Description:
Tract 27, Ladera Business Park

Address:
2220 Vista Oriente St. N.W.
Albuquerque, NM 87120

Building Zone: SU-1 LIGHT INDUSTRIAL

Type of Construction: Type II - B, Sprinklered
2003 International Building Code

Mixed Occupancy: B-2, F-2, S-2

Building Area
Office: 4,400 SF
Warehouse: 22,400 SF

Parking
Office: 4,400 / 200 = 22
Warehouse: 22,400 / 2000 = 12
34 Total parking spaces, 34 provided
2 H.C. spaces required, 2 provided

Lot = 96,303 SF
Proposed Bldg. SF Total = 26,800 SF
Does not exceed 50% building to lot ratio

NOTES:

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All surface mounted building lighting provided for security shall be fully shielded to avoid any light on adjacent properties or right-of-ways.

Is an Infrastructure List required? (X) Yes () No.
If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

APPROVED AND ACCEPTED BY:
PROJ. NO. 1003671

APPLICATION NO. 04-01746
Planning Department, DRB Chair
City Engineer
Transportation Development
Utility Development
Parks and Recreation
SOLID WASTE

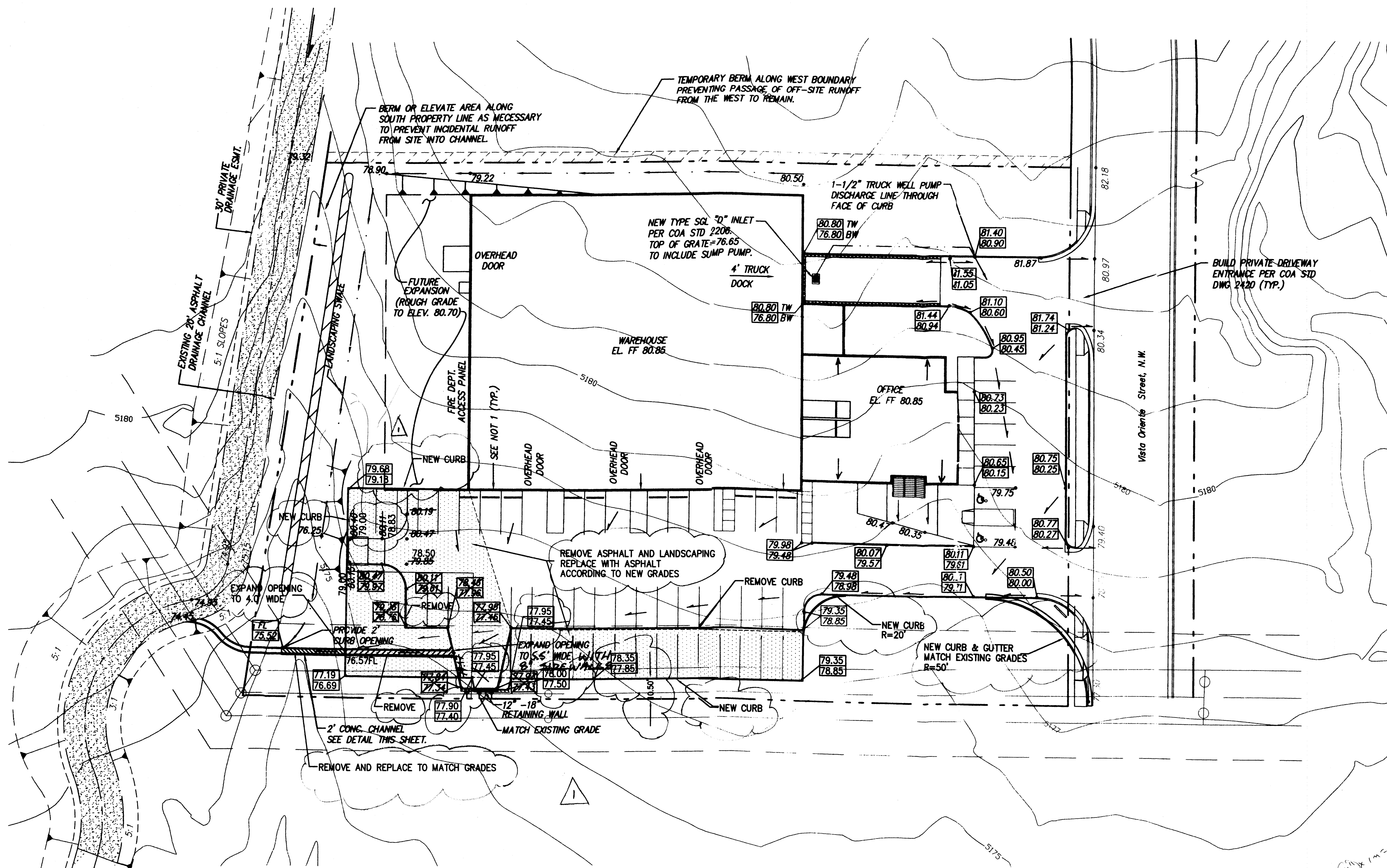
Sheet No.: A001

Sheet Title:
SITE PLAN

Date: 11.11.04

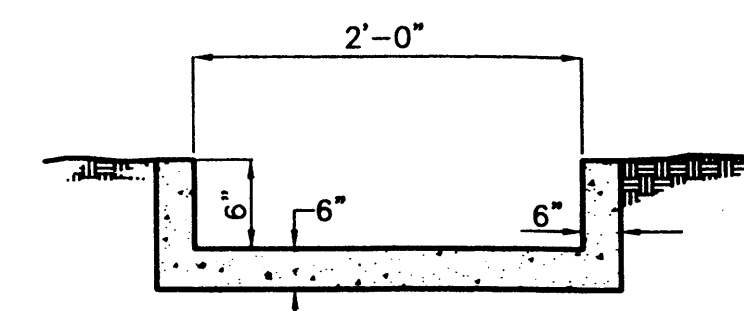
SOUTHWEST GLASS & GLAZING, INC.
Ladera Business Park
2220 Vista Oriente NW
Albuquerque, NM 87120

Kris Sowerick, AIA
13412 Osage Orange Rd. NE
Albuquerque, NM 87111
505-242-1404
505-242-4308
Fax 505-242-4308
ksowerick@comcast.net
EXIT ARCHITECTS



LEGEND

5105	EXISTING CONTOUR (MAJOR)	□	EXISTING UNDERGROUND GAS MARKER
5104	EXISTING CONTOUR (MINOR)	○	EXISTING GAS VALVE/METER
x 00.00	EXISTING SPOT ELEVATION	⊙	EXISTING STORM SEWER MANHOLE
---	EXISTING ASPHALT CURB	-	EXISTING DROP INLET
---	EXISTING CONCRETE CURB	-	EXISTING SIDEWALK CULVERT
□	EXISTING UNDERGROUND GAS MARKER	---	FINISH FLOOR ELEVATION
---	EXISTING WALL OR HEAD WALL	---	NEW SPOT ELEVATION
+	EXISTING SIGN	---	ESTIMATED SPOT ELEVATION (SHADED)
-x-x-x-x-	EXISTING FENCE	---	TOP OF CURB
●	EXISTING SANITARY SEWER MANHOLE	---	FLOWLINE
○	EXISTING CLEANOUT	---	ROOF DRAIN
+	EXISTING WATER VALVE	---	3:1 SLOPE
◇	EXISTING FIRE HYDRANT	---	NEW RETAINING WALL (STRUCTURAL DESIGN BY OTHERS)
E, T, C, TV	EXISTING OVERHEAD UTILITY LINES		
•••	EXISTING POWER POLE		
---	EXISTING GUYWIRE		
---	EXISTING LIGHT POLE		
□	EXISTING TELEPHONE PEDESTAL		



CONCRETE CHANNEL SECTION
N.T.S.

RAIN SIX = 2.19 IN.
DT = 0.0333 HR.
AREA = 2.21 ACRES
PERCENT B = 20%
PERCENT D = 80%
Q₁₀ = 8.24 CFS
VOL₁₀ = 0.2988 AF

HYDROLOGY CALCULATIONS

- Total Site area = 96,303 sf
- New impervious Area = 62,356 sf
- %D = $\frac{62,356 \text{ sf}}{96,303 \text{ sf}} = 65\% < 80\% \text{ Design}$
- CURRENT CHANNEL/DESIGN STILL WORKS WITH CHANGES TO SITE PLAN.

SCALE: 1" = 30'

A4088SWG/A4088GD30/11-01-04 KJS NHE



VICINITY MAP ZONE MAP: H-9, H-10

TBM (TEMPORARY BENCHMARK)

TO BE DETERMINED

ACS BENCHMARK

TO BE DETERMINED

LEGAL DESCRIPTION

TRACT 27, LADERA BUSINESS PARK, UNIT II.

NOTES

- ROOF DRAINS PASS RUNOFF INTERNALLY THROUGH THE BUILDING AND THEN DISCHARGE EAST FROM THE EAST BUILDING FACADE INTO THE EAST PARKING LOT.
- RETAINING WALL SHALL BE DESIGNED BY OTHERS.
- EARTHWORK CONTRACTOR SHALL OBTAIN A SURFACE DISTURBANCE PERMIT PRIOR TO BEGINNING EARTHWORK OPERATIONS.

11/10/07

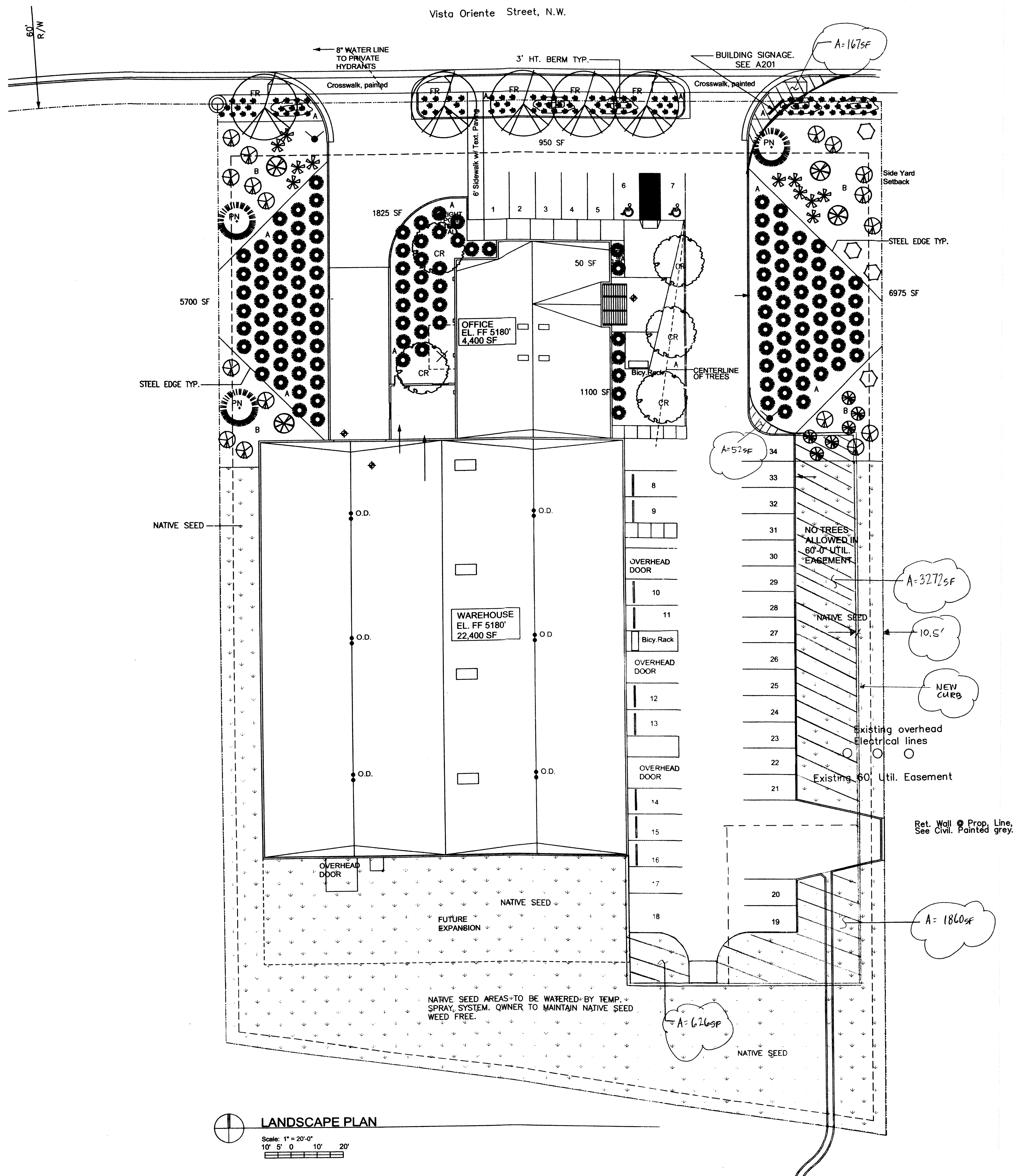
2-6-2015: CHANGES TO GRADING & DRAINAGE DUE TO INCREASED PARKING LOT AREA

PROPOSED
GRADING AND DRAINAGE PLAN
2-6-2015

SOUTHWEST GLASS & GLAZING
GRADING & DRAINAGE PLAN

MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505)828-2200, FAX (505)797-9539

Designed: JMM Drawn: KJS Checked: DMG Sheet 1 of 1
Scale: 1" = 30' Date: 10/04 Job: A04088



PLANT LEGEND

SYMBOL	QTY.	BOTANICAL NAME	COMMON NAME	SIZE
SHADE TREE 2" CAL				
FR	5	FRAXINUS	ASH	
ORNAMENTAL TREE 15 GAL				
CR	5	CRATAEGUS	HAWTHORN	
EVERGREEN TREE 5'-6" HT				
PN	3	PINUS NIGRA	AUSTRIAN PINE	
ORNAMENTAL SHRUB				
4		BUDDLEIA	BUTTERFLY BUSH	5 GAL
17		CHRYSOTHAMNUS	CHAMISA	1 GAL
136		YUCCA	SPANISH DAGGER	5 GAL
4		ARTEMISIA	PRAIRIE SAGE	5 GAL
6		PEROVSKIA	RUSSIAN SAGE	1 GAL
103		FESTUCA	'BIG BLUE' FESCUE	1 GAL
11		CYTISUS PURGANS	BROOM	5 GAL

GRAVEL LEGEND

A-SANTA FE BROWN CRUSHED ROCK
B-3/4" SANTA ANA TAN CRUSHED ROCK
C-3/4" SANTA ANA TAN CRUSHED ROCK

SITE DATA

GROSS LOT AREA	96,303 SF
LESS BUILDING	26,960 SF
NET LOT AREA	69,343 SF
REQUIRED LANDSCAPE	10,401 SF
15% OF NET LOT AREA	10,401 SF
PROPOSED LANDSCAPE	10,623 SF
PERCENT OF NET LOT AREA	15.3%

REQUIRED STREET TREES
PROVIDED AT 25' SPACING ALONG STREET

REQUIRED PARKING LOT TREES
1 PER 10 SPACES
35 SPACES/10=4 TREES MIN. PROVIDED

PLANTING RESTRICTIONS APPROACH

A MINIMUM OF 80% OF THE PLANTINGS TO BE
LOW OR MEDIUM WATER USE PLANTS
A MAXIMUM OF 20% OF THE LANDSCAPE AREA TO BE
HIGH WATER USE TURF

NOTE

MAINTENANCE OF LANDSCAPE PROVIDED BY OWNER

PLANTINGS TO BE WATERED BY AUTO. DRIP
IRRIGATION SYSTEM

WATER MANAGEMENT IS THE SOLE RESPONSIBILITY
OF THE PROPERTY OWNER

THIS PLAN IS TO COMPLY WITH C.O.A. LANDSCAPE
AND WATER WASTE ORDINANCE
PLANTING RESTRICTIONS APPROACH

IT IS THE INTENT OF THIS PLAN TO PROVIDE MIN.
75% LIVE GROUNDCOVER OF LANDSCAPE AREAS
AT MATURITY

LANDSCAPE AREAS TO BE MULCHED WITH CRUSHED ROCK
MULCH AT 2"-3" DEPTH

APPROVAL OF THE LANDSCAPE PLAN DOES NOT CONSTITUTE
OR IMPLY COMPLIANCE WITH, OR EXEMPTION FROM, THE
C.O.A. LANDSCAPE AND WATER WASTE ORDINANCE

TREES ARE NOT TO BE PLACED IN PUBLIC UTILITY EASEMENTS

NO PARKING SPACE SHALL BE MORE THEN 100'
FROM A TREE.

Native seed areas shall be irrigated and
established with a temporary sprinkler
system. Establishment and maintenance
shall be the responsibility of the property
owner. Weed infestation prevention shall
be the responsibility of the property owner.

LEGEND

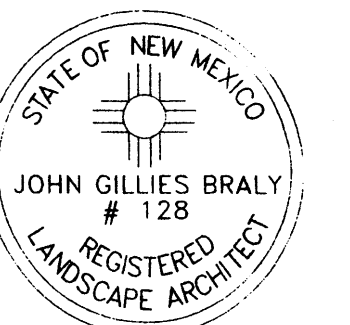
LANDSCAPED
AREA TO BE
REMOVED

1

Kira Sowanick, AIA
13412 Osage Orange Rd. NE
Albuquerque, NM 87111
505-417-1404
505-242-4308
ksowanick@comcast.net

EXIT ARCHITECTS

SOUTHWEST GLASS & GLAZING, INC.
Ladera Business Park
2220 Vista Oriente NW
Albuquerque, NM 87120



Sheet No.: L001

Sheet Title:
LANDSCAPE PLAN

Date: 11.11.04

PROPOSED LANDSCAPE PLAN 2-6-2015