

CITY OF ALBUQUERQUE



April 13, 2016

Kent Trauernight
AKT Architects
P.O. Box 3366
Albuquerque, NM 87190

**Re: Western United Electric
7311 La Morada NW
Request for Certificate of Occupancy- Transportation Development
DRB Approval dated 7-9-15 (H10-D029)
Certification dated 4-12-16**

Dear Mr. Trauernight,

Based upon the information provided in your submittal received 4-12-16, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

If you have any questions, please contact Gary Sandoval at (505) 924-3675 or me at (505)924-3991.

Sincerely,

Racquel M. Michel, P.E.
Traffic Engineer, Planning Dept.
Development Review Services

\gs via: email
C: CO Clerk, File



P. O. B O X 3 3 6 6
ALBUQUERQUE, NM 87190
T: (505) 281 - 9560
F: (505) 286 - 1055
C: (505) 259 - 7919
aktarch@earthlink.net

April 12, 2016

City of Albuquerque
Public Works Department
Transportation Development Services
600 2nd Street NW
Albuquerque, NM 87102

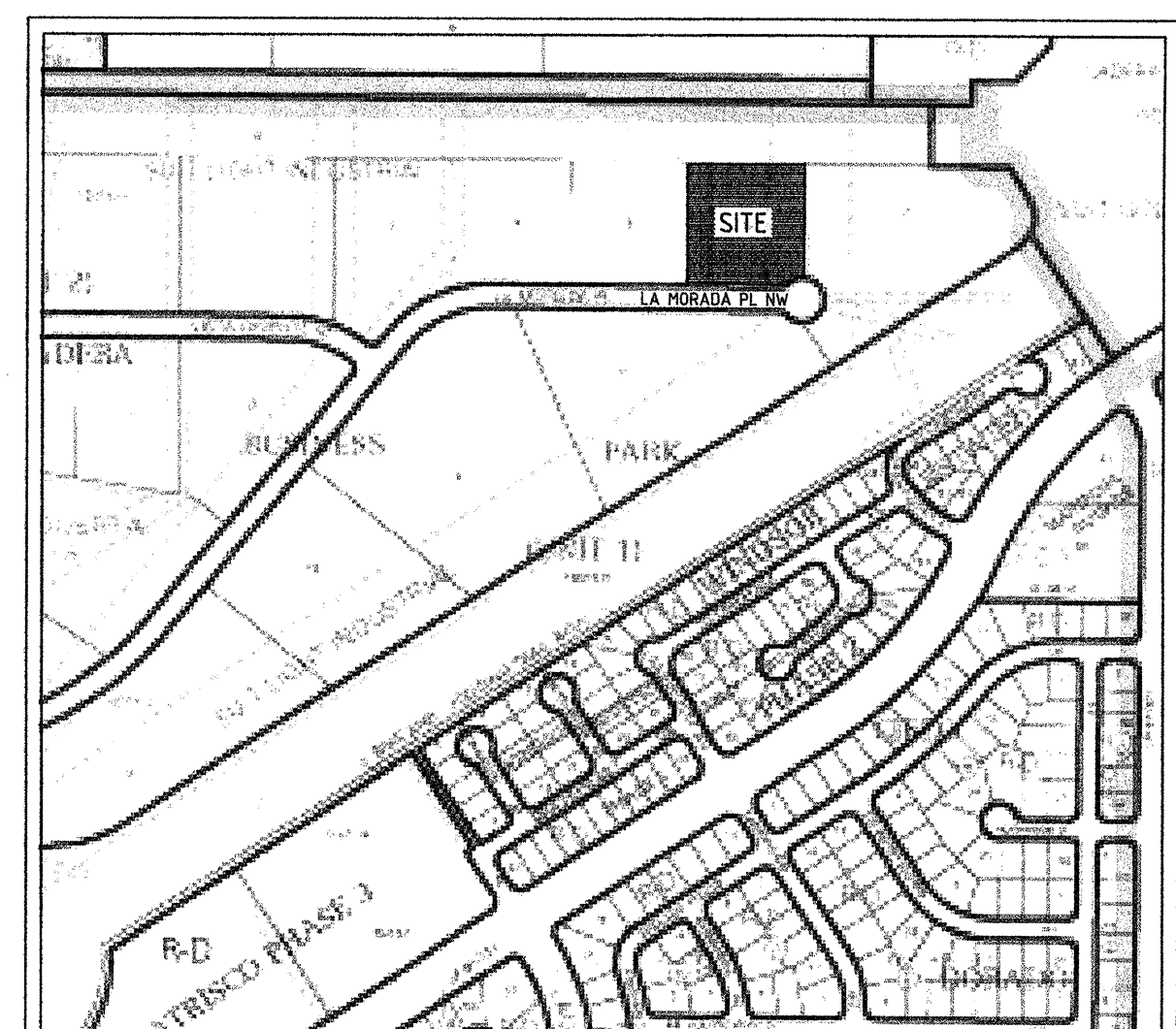
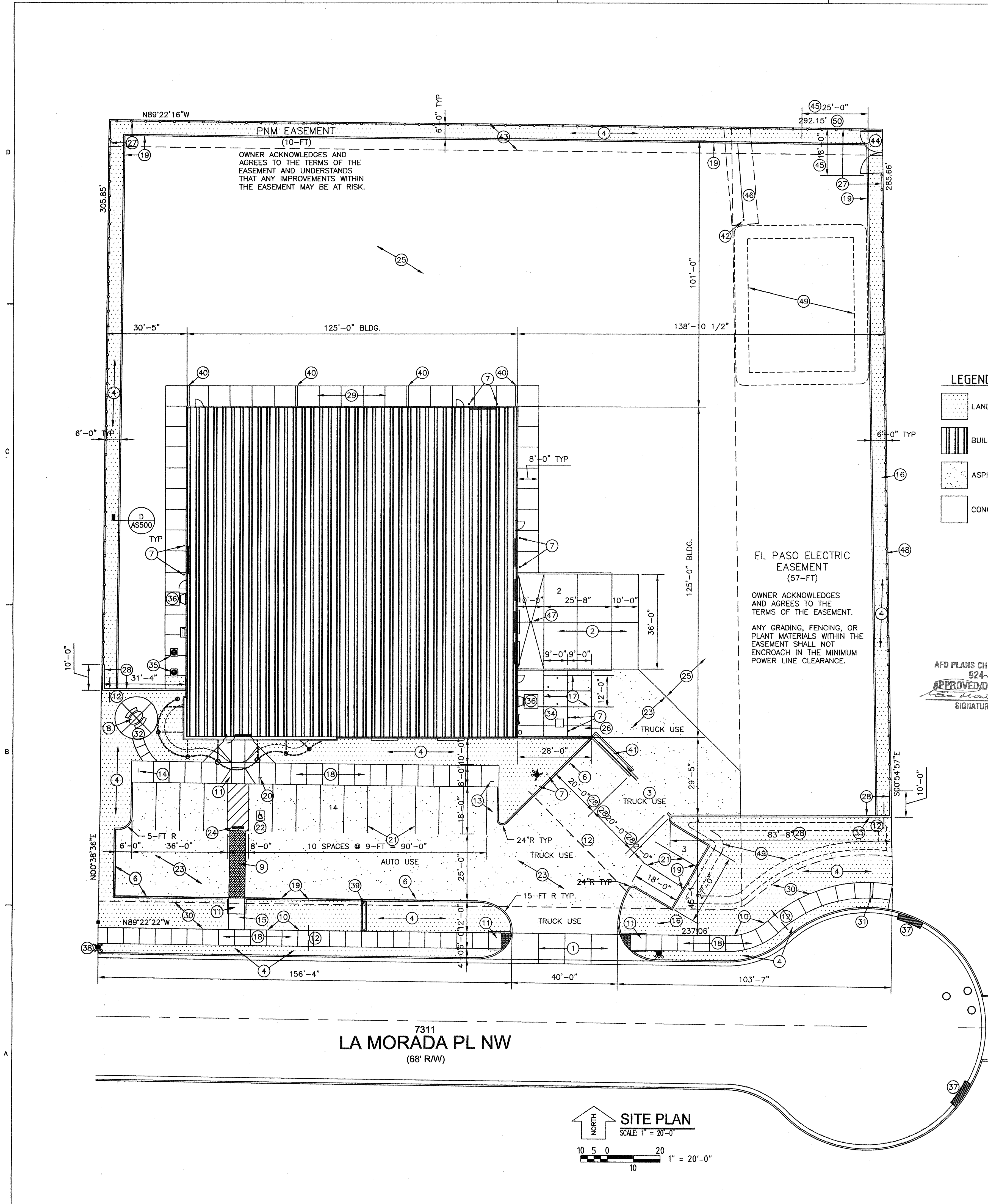
RE: Traffic Circulation Layout – Certification
Site Development Plan for Building Permit
United Western Electric Corp., Office/Warehouse
7311 La Marada Place NW
Albuquerque, NM 87120

I, Kent Trauernicht, AKT Architects LLC, certify that this project is in substantial compliance and accordance with the design intent of the attached Traffic Circulation Layout/site plan, approved 08/26/15, project number CABQ1001523 (enclosed). I visited the site and determined by visual inspection that the Traffic Circulation Layout site plan is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is for the "Traffic Circulation Layout" substantial construction completion.

The record information presented is not necessarily complete and is intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose. This document neither expresses nor implies a warranty.



April 12, 2016



LEGEND

- LANDSCAPE AREA
- BUILDING ROOF
- ASPHALT PAVED AREAS
- CONCRETE

GENERAL NOTES:

- THE GRADE AT ALL LANDSCAPE OR PLANTED AREAS THAT ADJUT CONCRETE WALKS OR CURBS SHALL BE DEPRESSED SO THAT THE LANDSCAPING SOIL AND/OR ROCK MATERIAL WILL BE FLUSH WITH THE TOP OF ADJOINING CONCRETE.
- PROVIDE CURB CUTS FOR DRAINAGE AS REQUIRED BY THE GRADING AND DRAINAGE PLAN.
- ALL EARTHWORK AND SITE PREPARATION SHALL COMPLY WITH THE GRADING AND DRAINAGE PLAN AND GEOTECHNICAL REPORT.
- THE CONTRACTOR SHALL REMOVE ALL EXISTING SITE IMPROVEMENTS, UTILITIES, AND PLANT MATERIALS AND SHALL DISPOSE OF THEM AS REQUIRED.
- SCREENING OF TRANSFORMERS, ELECTRICAL BOXES AND OTHER UTILITY STRUCTURES SHALL NOT IMPEDE ACCESS FOR SAFE REPAIR AND MAINTENANCE OF THE EQUIPMENT.
- PROVIDE LEVEL CONCRETE HOUSE KEEPING SLAB AT ALL OUTDOOR EQUIPMENT LOCATIONS. RAISE A MINIMUM OF 1-1/2" ABOVE THE SURROUNDING CONCRETE WALKS WHERE EQUIPMENT IS LOCATED. COORDINATE SIZE OF PAD WITH EQUIPMENT SUPPLIERS.
- ALL SITE LIGHTING SHALL BE BUILDING MOUNTED, SEE ELEVATIONS AND ELECTRICAL. EXTERIOR FIXTURES SHALL BE SHIELDED WITH CUT OFFS PER CABQ NIGHT SKY ORDINANCE.
- SIGNAGE IS NOT IN CONTRACT AND SHALL BE BY SEPARATE PERMIT.

SITE DATA

ADDRESS: 7311 LA MORADA PL NW, ABO 87120
PROPERTY: TRACT 6, LADERA BUSINESS PARK, UNIT 1
ZONING: SU-1 (LIGHT INDUSTRIAL USES)
LOT SIZE: 89,790 SF (2.0613 ACRES)
LAND USE: OFFICE WAREHOUSE
REQUIRED LANDSCAPE AREA (15% NET LOT AREA)
LOT AREA: 89,790 SF (2.0613 ACRE)
NET LOT AREA: 89,790 SF-15,625 SF (BLDG)=74,165 SF
REQUIRED LANDSCAPE (15% NET LOT AREA):
0.15 x 74,165 SF = 11,125 SF
LANDSCAPE PROVIDED: 13,220 SF
ON-SITE PARKING PROVIDED: 19 SPACES INCLUDES 1 ACCESSIBLE PARKING SPACE (VAN) PER NM BLDG CODE
REQUIRED PARKING
OFFICES: 2100 SF / 200 = 11 SPACE
WAREHOUSE: 12,417 SF / 2000 = 7 SPACE
WAREHOUSE MEZZ: 1995 SF/2000 = 1 SPACE
REQUIRED ON-SITE PARKING: 19 SPACES
1 BICYCLE RACK SPACE REQUIRED AND PROVIDED
1 MOTORCYCLE PARKING SPACE REQUIRED AND PROVIDED

PROJECT NUMBER: 1001523	
APPLICATION NUMBER:	
DRB APPROVAL: SITE DEVELOPMENT PLAN FOR BUILDING PERMIT	
DRB CHAIRPERSON	9-23-15
CITY ENGINEER	8-26-15
TRANSPORTATION DEVELOPMENT	8/26/15
UTILITY DEVELOPMENT	09/23/10
PARKS AND RECREATION	8-26-15
SOLID WASTE MANAGEMENT	7/9/15

KEYED NOTES

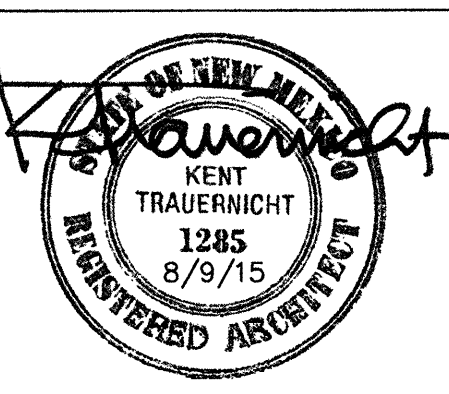
- CURB CUT AND CONCRETE DRIVEPAD, PER COABQ STANDARD DETAIL 2426
- RECESSED TRUCK LOADING DOCK (CONCRETE PAVING), SEE DETAILS SHEET AS-501.
- MANUAL 20'-FT WIDE SLIDING GATE, SEE O/AS-500
- LANDSCAPE AREA, SEE LANDSCAPE PLAN.
- EXISTING RESIDENTIAL LANDSCAPE AND RETAINING WALL, VARIES 6' TO 9' HIGH ON PROJECT SIDE
- 4-INCH HIGH WHITE LETTERS "FIRE LANE NO PARKING" OVER RED PAINTED CURB. SHOWN ON PLAN AS A HEAVY LINE AT REQUIRED CURBS.
- PIPE BOLLARD, SEE DETAIL I/AS-500.
- PRECAST CONCRETE PICNIC TABLES (42"x72"OVAL, MATERIALS INC. 'FIESTA') ON 16'-FT DIAMETER CONCRETE PATIO AS SHOWN.
- BEIGE COLORED, & TEXTURED CONCRETE PEDESTRIAN WALK, 6'-FT WIDE TYPICAL.
- PROPERTY LINE.
- WHEELCHAIR RAMP, PER COABQ STANDARD DETAIL 2441, ALL RAMP SHALL COMPLY WITH ADA REQUIREMENTS, 1:12 MAX SLOPE AND 1:10 MAX SLOPE AT SIDE FLARES, WITH TRUNCATED DOME MAT FOR THE FIRST 36-INCHES AT BOTTOMS OF RAMP WITHIN R.O.W. SEE DETAIL K/AS-500.
- 3" PVC PIPE UNDER PAVEMENT FOR INSTALLATION OF IRRIGATION LINES. STUB UP AT IRRIGATION CONTROLLER. COORDINATE WITH LANDSCAPE CONTRACTOR.
- 4"x8" MOTORCYCLE PARKING SPACE WITH MINIMUM 12"x18" SIGN DESIGNATING "MOTORCYCLE PARKING", MOUNT ON SIGN STANDARD WITH BOTTOM OF SIGN NO LESS THAN 48" ABOVE FINISH GRADE.
- BICYCLE RACK, SEE DETAIL L/AS-500.
- CONCRETE WALK, AS SHOWN, PER COABQ STANDARD DETAIL 2430, ADA ACCESSIBLE (MAX 1:12 SLOPE) PEDESTRIAN PATHWAY FROM PUBLIC SIDEWALK TO BUILDING ENTRANCE. RAMP AS SHOWN AND AS REQUIRED, SEE DETAIL.
- NEW FIRE HYDRANT WITH FIRE LINE EASEMENT AS REQUIRED, PER COABQ REQUIREMENTS AND WORK ORDERS.
- REFUSE CONTAINER PAD, SEE Q/AS-500.
- CONCRETE WALK AS SHOWN, PER COABQ STANDARD DETAIL, SEE DETAILS A&F/AS-500.
- CONCRETE CURB, TYPICAL AROUND ALL VEHICULAR TRAFFIC AND PARKING AREAS AS SHOWN. SEE DETAIL SHEET B&C/AS-500.
- ACCESSIBLE PARKING SIGN FOR VAN PARKING. SEE DETAIL J/AS-500.
- TWO COATS TRAFFIC PAINT. 4-INCH WIDE STRIPING (YELLOW ON CONCRETE, WHITE ON ASPHALT), AS SHOWN THROUGHOUT TRAFFIC/PARKING AREAS.
- HANDICAPPED PARKING SYMBOL PER COABQ STANDARD DETAIL 2426. SEE DETAIL H/AS-500.
- ASPHALT PAVING PER GEOTECHNICAL REPORT, SEE DETAIL SHEET AS-500.
- TRAFFIC PAINTED "NO PARKING" DESIGNATION. MINIMUM 12"H AND 5-1/2"W LETTERS. PLACED AS SHOWN.
- WAREHOUSE YARD: CRUSHED ROCK BASE COURSE FINISH, SEE GEOTECHNICAL REPORT FOR SPECIFICATION. SEE E/AS-500
- 4-INCH CONCRETE PAVING WITH 6x6-W1.4xW1.4 WWF, AROUND 6-INCH DUMPSTER PAD
- 6'-FT HIGH CHAINLINK FENCE ALL AROUND YARD, SEE DETAIL N/AS-500, GROUND THE FENCE ALONG EAST PROPERTY LINE WITH MINIMUM FOUR GROUNDING RODS.
- 6'-FT HIGH CMU WALL, SEE DETAIL E/S-300.
- 8'-FT WIDE 4-INCH CONC SKIRT ALL AROUND. SEE DETAILS A&F/AS-500.
- 10'-FT WIDE PUBLIC UTILITY EASEMENT, TYPICAL AT STREET.
- 12-INCH SIDEWALK TRENCH DRAIN PER CABQ STD. DWG. 2236, VERIFY LOCATION WITH G&D.
- 4-INCH CONCRETE PAD, 16-FT DIAMETER WITH 4-FT CONCRETE ACCESS WALK AS SHOWN.
- DRAIN HOLES THROUGH WALK AS REQUIRED BY GRADING AND DRAINAGE, SEE DETAIL O/AS-500.
- ELECTRICAL SERVICE TRANSFORMER ON CONCRETE PAD, SEE ELECTRICAL AND UTILITIES.
- REFRIGERATED AIR CONDENSING UNITS, SEE MECHANICAL.
- GROUND MOUNTED EVAPORATIVE COOLER, SEE MECHANICAL.
- EXISTING STORM SEWER INLETS.
- EXISTING FIRE HYDRANT.
- MONUMENT SIGN, LIGHTED, SEE DETAIL M/AS-500. COORDINATE WITH LANDSCAPE.
- CONCRETE WALK TRENCH DRAIN, SEE DETAIL G/AS-500. VERIFY DOWNSPOUT LOCATIONS.
- GATE RECESS, SEE DETAIL D/S-300.
- PIPE BOLLARD, SEE DETAIL I/AS-500. LOCATE AS REQUIRED TO PROTECT EXISTING GUY WIRE.
- 10'-FT WIDE PNM EASEMENT ALONG NORTH PROPERTY LINE.
- UTILITY COMPANIES' ACCESS GATE, 16'-FT WIDE AS SHOWN. GATE LOCK SHALL BE COMBINATION PADLOCK TYPE, WITH CODE PROVIDED TO UTILITY COMPANIES FOR ACCESS AT ANY TIME.
- ROLE OVER TYPE CONCRETE CURB FOR UTILITY COMPANIES ACCESS. LANDSCAPE SHRUBS SHALL BE LOCATED OUTSIDE THE CURBING AND GATE TO ALLOW TRUCK ACCESS IN AND OUT OF PROPERTY.
- PNM GUY WIRE EASEMENT.
- HEAVY DUTY AREA DRAIN: EPOXY COATED SIDE OUTLET WITH STEEL BODY AND TWO SECTION, EXTRA HEAVY DUTY, 24"SQ DUCTILE IRON GRATE. SUITABLE TO SET IN 6-INCH CONCRETE SLAB. SEE GRADING PLAN FOR DRAIN PIPE SIZE AND ROUTING.
- GROUND CHAINLINK FENCING WITHIN EASEMENT AS REQUIRED BY EL PASO ELECTRIC.
- DETENTION POND (24-INCH DEEP), SEE GRADING PLAN.
- PROVIDE OPENING IN CURB FOR DRAINAGE, SEE GRADING PLAN.

SCHEDULE OF DRAWINGS

- 1 OF 6 SITE PLAN
- 2 OF 6 SITE DETAILS
- 3 OF 6 LANDSCAPE PLAN
- 4 OF 6 CONCEPTUAL DRAINAGE PLAN
- 5 OF 6 SITE UTILITIES PLAN
- 6 OF 6 BUILDING ELEVATIONS

akt architects LLC
P.O. BOX 3368
ALBUQUERQUE, NM 87106
T: (505) 281-9560
F: (505) 286-1055
C: (505) 259-7919
aktarch@earthlink.net

CONSULTANT



PROJECT

WESTERN UNITED ELECTRIC CORPORATION

OFFICE WAREHOUSE LADERA BUSINESS PARK

PROJECT ADDRESS

7311 LA MORADA PL NW
ALBUQUERQUE 87120

MARK	DATE	DESCRIPTION
ISSUE DATE: 7/8/15		

PROJECT NO: 0635
COPYRIGHT AKT ARCHITECTS, LLC
SHEET TITLE

SITE PLAN FOR BUILDING PERMIT