

CITY OF ALBUQUERQUE

Planning Department
David Campbell, Director



Mayor Timothy M. Keller

January 4, 2019

Mark Goodwin, P.E.
Mark Goodwin & Associates
PO Box 90606
Albuquerque, NM, 87199

RE: Las Lomas Plaza – Unit 2 Bldg 1
2105 Vista Oeste NW
Permanent C.O. – Accepted
Engineer's Certification Dated 12/17/18
Engineer's Stamp Date: 03/28/18
Hydrology File: H10D031

Dear Mr. Goodwin:

Based on the Certification received 01/04/18 and payment receipt of the Payment in Lieu for the required stormwater quality volume, this certification is approved in support of Permanent Release of Occupancy by Hydrology.

If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gov.

Sincerely,

Renée C. Brissette, P.E. CFM
Senior Engineer, Hydrology
Planning Department

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov



TREASURY DIVISION DAILY DEPOSIT

Transmittals for:
PROJECTS Only

City of Albuquerque Treasury
J-24 Deposit

Date: 1/4/2019 Office: ANNEX
Station ID Cashier: E29569
Batch: 9941 Trans: 8
Fund: 305 Activity ID7547210
Account: 461615 Project ID24_MS4
Dept ID: Bus.Unit: PCDMD
Alloc Amt: \$6,160.00
Trans Amt: \$6,160.00
Check Tendered : \$6,160.00

Payment-in-Lieu for Storm Water Quality Volume Requirement

CASH COUNT	AMOUNT	ACCOUNT NUMBER	FUND NUMBER	BUSINESS UNIT	PROJECT ID	ACTIVITY ID	AMOUNT
TOTAL CHECKS	\$ 6,160	461615	305	PCDMD	24_MS4	7547210	\$ 6,160.00
TOTAL AMOUNT						TOTAL DEPOSIT	\$6,160.00

Hydrology#: H10D031 Name: Las Lomas Plaza – Unit 2 Bldg 1
Payment In-Lieu For Storm Water Quality
Volume Requirement

Address/Legal Description: 2105 Vista Oeste NW

DEPARTMENT NAME: Planning Department/Development Review Services, Hydrology

PREPARED BY Renée C. Brissette, P.E. CFM PHONE 505-924-3995

BUSINESS DATE December 21, 2018

DUAL VERIFICATION OF DEPOSIT Renée Brissette
EMPLOYEE SIGNATURE

AND BY _____
EMPLOYEE SIGNATURE

REMITTER: _____

AMOUNT: _____

BANK: _____

CHECK #: _____ DATE ON CHECK: _____

The Payment-in-Lieu can be paid at the Plaza del Sol Treasury, 600 2nd St. NW. **Bring three copies of this invoice to the Treasury** and provide a copy of the receipt to Hydrology, Suite 201, 600 2nd St. NW, or e-mail with the Hydrology submittal to PLNDRS@cabq.gov.



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: Las Lomas Plaza Building Permit #: _____ Hydrology File #: H10D031

DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: Tracts 13,14,15 and 16 of Plat for Ladera Business Park Unit 1

City Address: Unser and La Morada Place

Applicant: Acoma Business Enterprises Contact: John Mohr

Address: PO BOX 310, Acoma NM 87034

Phone#: _____ Fax#: _____ E-mail: jmohr@skycity.com

Other Contact: Mark Goodwin & Associates, PA Contact: Mark Goodwin

Address: PO BOX 90606, Albuquerque, NM 87199

Phone#: 828.2200 Fax#: _____ E-mail: mark@goodwinengineers.com

TYPE OF DEVELOPMENT: PLAT (# of lots) RESIDENCE DRB SITE X ADMIN SITE

IS THIS A RESUBMITTAL? Yes X No

DEPARTMENT TRANSPORTATION X HYDROLOGY/DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

- X ENGINEER/ARCHITECT CERTIFICATION
 PAD CERTIFICATION
 CONCEPTUAL G & D PLAN
 GRADING PLAN
 DRAINAGE REPORT
 DRAINAGE MASTER PLAN
 FLOODPLAIN DEVELOPMENT PERMIT APPLIC
 ELEVATION CERTIFICATE
 CLOMR/LOMR
 TRAFFIC CIRCULATION LAYOUT (TCL)
 TRAFFIC IMPACT STUDY (TIS)
 STREET LIGHT LAYOUT
 OTHER (SPECIFY) _____
 PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- X BUILDING PERMIT APPROVAL
X CERTIFICATE OF OCCUPANCY
 PRELIMINARY PLAT APPROVAL
 SITE PLAN FOR SUB'D APPROVAL
 SITE PLAN FOR BLDG. PERMIT APPROVAL
 FINAL PLAT APPROVAL
 SIA/ RELEASE OF FINANCIAL GUARANTEE
 FOUNDATION PERMIT APPROVAL
 GRADING PERMIT APPROVAL
 SO-19 APPROVAL
 PAVING PERMIT APPROVAL
 GRADING/ PAD CERTIFICATION
 WORK ORDER APPROVAL
 CLOMR/LOMR
 FLOODPLAIN DEVELOPMENT PERMIT
 OTHER (SPECIFY) _____

DATE SUBMITTED: December 18, 2018

By: Mark Goodwin, PE

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____



D. Mark Goodwin & Associates, P.A.
Consulting Engineers

P.O. BOX 90606, ALBUQUERQUE, NM 87199
(505) 828-2200 FAX 797-9539

~ 2012 ACEC/NM Award Winner for Engineering Excellence ~
~ 2008 ACEC/NM Award Winner for Engineering Excellence ~
~ 2017 ENR Landscape/Urban Development Award of Merit ~
~ 2018 ENR Residential/Hospitality Award of Merit ~

December 18, 2018

Ms. Renee Brissette, PE
City of Albuquerque, Hydrology
600 2nd Street NW
Albuquerque, NM 87102

**Re: Las Lomas Plaza – Phase 2
File H10D031**

Dear Ms. Brissette,

Attached, please find our request in support of Permanent Release of Occupancy by Hydrology for the referenced project. During the course of obtaining a Building Permit, the applicant was required to place a sidewalk where the "First Flush" pond was to go. Therefore, we believe our client is responsible for a Cash-In-Lieu payment and we are requesting your confirmation of this and the amount.

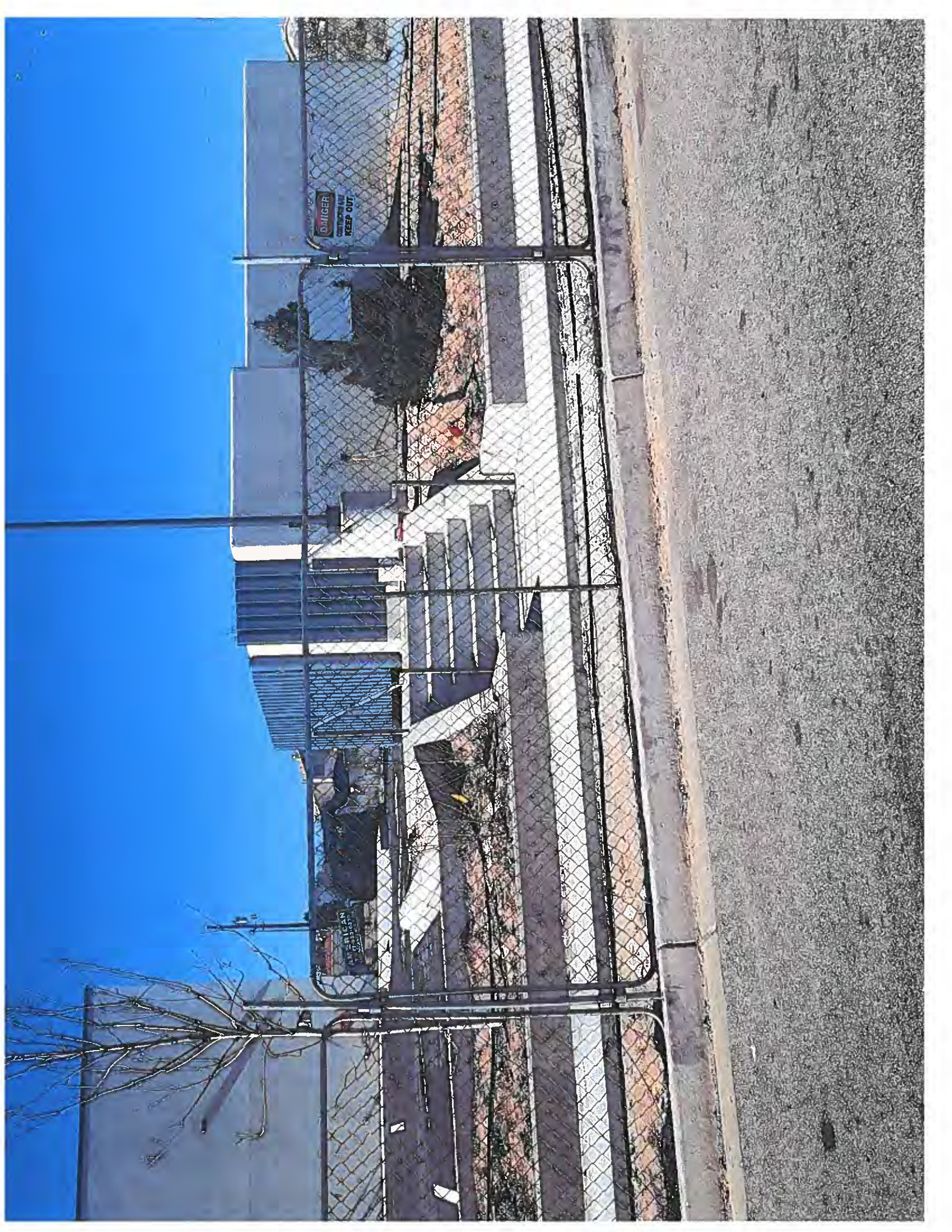
If you have any questions, please feel free to contact our office.

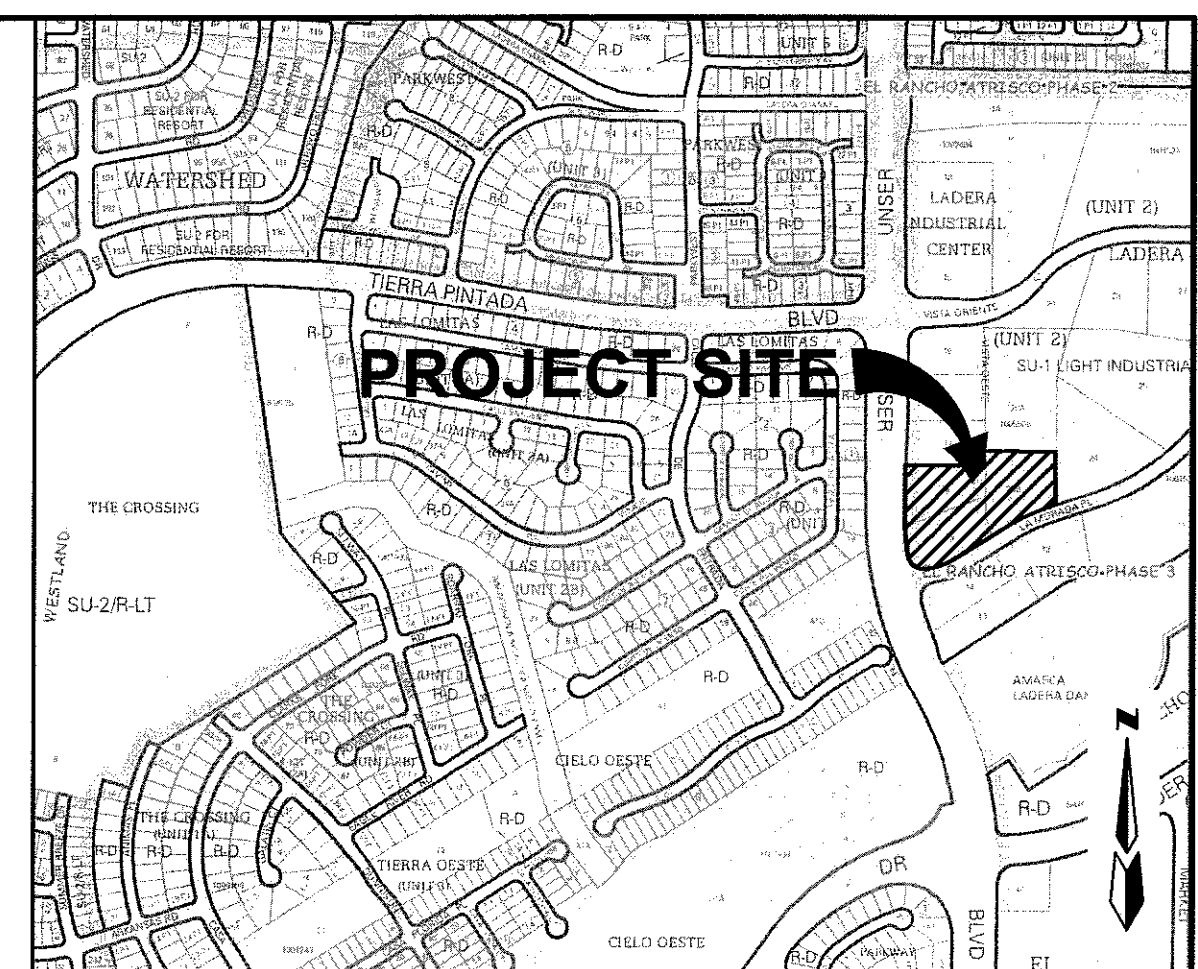
Sincerely,
MARK GOODWIN & ASSOCIATES, PA

Mark Goodwin, PE
President

DMG/kb







VICINITY MAP ZONE MAP: H-9-Z

ACS BENCHMARK














ELEVATIONS ARE BASED ON CITY OF ALBUQUERQUE STATION No. "4-H9",
HAVING AN ELEVATION OF 5209.315, NAVD 1988

LEGAL DESCRIPTION

TRACTS NUMBERED FIFTEEN (15) AND SIXTEEN (16) OF PLAT FOR LADERA BUSINESS PARK, UNIT 1, WITHIN THE TOWN OF ATRISCO CANTY, PROJECTED SECTION 9 AND 10, TOWNSHIP 10 NORTH, RANGE 2 EAST, N.M.P.M., CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, AS THE SAME ARE SHOWN AND DESIGNATED ON THE PLAT OF SAID SUBDIVISION, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON JANUARY 22, 2004, IN PLAT BOOK 2004C, PAGE 24.

TRACT 20-B, LADERA BUSINESS PARK UNIT 2, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON JUNE 7, 2007, IN MAP BOOK 2007C, FOLIO 155.

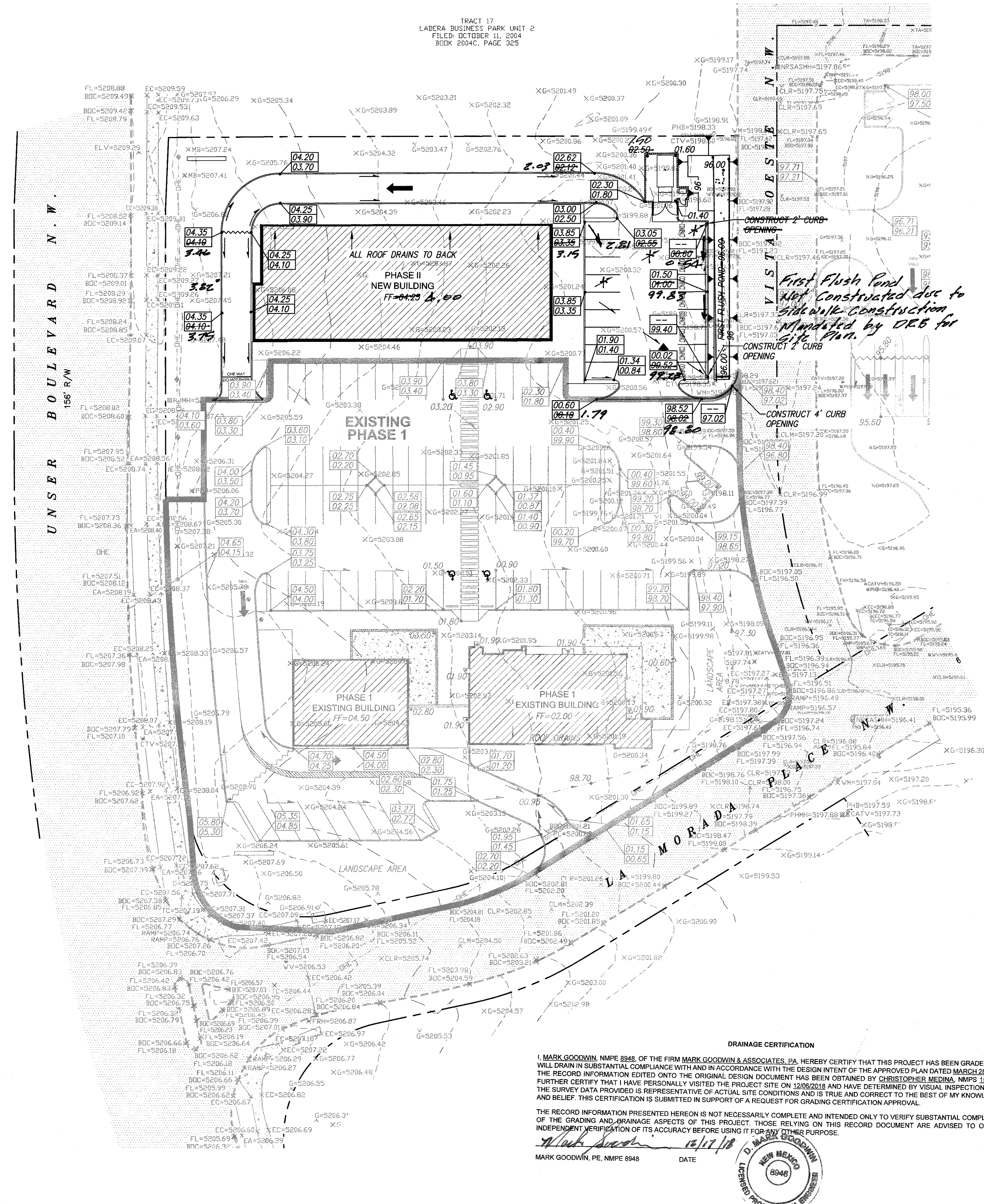
LEGEND

	EXISTING CONTOUR (MAJOR)		
	EXISTING CONTOUR (MINOR)		
X G=5190.20	EXISTING GROUND SPOT ELEVATION		
X FL=5190.20	EXISTING FLOWLINE ELEVATION		
X BOC=5190.20	EXISTING BACK OF CURB ELEVATION		
	EXISTING ASPHALT PAVEMENT		
	EXISTING CONCRETE		
	EXISTING CURB & GUTTER		
— OH —	EXISTING OVERHEAD ELECTRICAL LINE		
	EXISTING GUY WIRE		
	EXISTING POWER POLE		
	EXISTING VALT/PEDESTAL		
=====	NEW STANDARD CURB & GUTTER		
=====	NEW RIGHT-OF-WAY		
=====	NEW CENTERLINE		
=====	NEW LOT LINES		
=====	NEW EASEMENTS		
	NEW RETAINING WALL		
	NEW STORM DRAIN		
<i>82.00 94.77</i>	NEW SPOT ELEVATION		
<table border="1" data-bbox="2554 1475 2591 1506"><tr><td>99.20</td></tr><tr><td>98.70</td></tr></table>	99.20	98.70	TOP OF CURB ELEVATION
99.20			
98.70			
• 00.00TW	FLOWLINE ELEVATION		
• 00.00BW	TOP OF RETAINING WALL		
	BOTTOM OF RETAINING WALL		
	NEW FLOW DIRECTION		
	NEW WATER BLOCK		
	DRAINAGE SWALE		

LAS LOMITAS PLAZA - PHASE II GRADING & DRAINAGE PLAN

dmg MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505) 828-2200. FAX (505) 797-9539

Designed: <i>DMG</i>	Drawn: <i>DER</i>	Checked: <i>DMG</i>	Sheet 7 of 7
Scale: <i>4S SHOWN</i>	Date: <i>3/26/18</i>	Job: <i>417040</i>	



DRAINAGE SUMMARY

THE PROJECT ENTAILS PHASE 2 CONSTRUCTION OF 1 BUILDING WITHIN THE MASTER PLANNED LADERA BUSINESS PARK. DIRECT DISCHARGE IS TO THE EXISTING PAVED VISTA OESTE FOR CONVEYANCE DOWNSTREAM. ~~THE LANDSCAPE AREA WILL BE DEPRESSED TO ACCOMMODATE THE "FIRST FLUSH"~~

HYDROLOGY CALCULATIONS

EXISTING PHASE 2

AREA = 0.78 Ac.
 LAND TREATMENT B=100%
 $P_{100-6} = 2.3$ in.
 $Q_{100} = 1.01$ cfs.
 $Vol_{100} = 1628$ c.f.

PROPOSED PHASE 2

AREA = 0.78 Ac.
LAND TREATMENT A = 0
LAND TREATMENT B = 15%
LAND TREATMENT C = 10%
LAND TREATMENT D = 75%
 $P_{100-6} = 2.3$ in.
 $Q_{100} = 2.72$ cfs.
 $Vol_{100} = 4884$ c.f.

FIRST FLUSH PHASE 2

$$\begin{aligned} \text{IMPERVIOUS AREA} &= 27,181 \text{ s.f.} \\ \text{FIRST FLUSH VOL REQD.} &= (1A)(0.34'')(1'/12'') \\ &= (27,181)(.34)(1/12) \\ &= 770 \text{ c.f.} \end{aligned}$$

LANDSCAPED AREA = 1100 s.f.
TOTAL FIRST FLUSH VOLUME PROVIDED = ~~(1100)(0.75) = 825 c.f.~~ 0

CURB OPENING CAPACITY

FOR 3' WIDE OPENING IN 6" CURB
 $Q = CLH^{3/2} = (3)(3)(.5)^{3/2} = 3.18 \text{ c.f.s.}$

NOTES

1. CONTRACTOR MUST OBTAIN A TOPSOIL DISTURBANCE PERMIT FROM THE ENVIRONMENTAL HEALTH DIVISION PRIOR TO CONSTRUCTION.
2. CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, LATEST EDITION SHALL GOVERN ALL WORK.
3. THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE AND FEDERAL DUST CONTROL MEASURES AND REQUIREMENTS AND WILL BE RESPONSIBLE FOR PREPARING AND OBTAINING ALL NECESSARY APPLICATIONS AND APPROVALS.
4. THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE LOTS INTO PUBLIC RIGHT-OF-WAY. THIS CAN BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS AND WETTING THE SOIL TO KEEP IT FROM BLOWING.
5. THE EARTHWORK CONTRACTOR SHALL STOCKPILE ENOUGH MATERIAL ADJACENT TO RETAINING WALL LOCATIONS TO BE UTILIZED FOR WALL BACKFILL.
6. SITE DOES NOT LIE IN A 100 YEAR FLOOD ZONE PER F.I.R.M. PANEL 35001C0326J, DATED 11/14/16.
7. ALL SITE WALLS SHALL CONFORM TO THE GENERAL HEIGHT AND DESIGN REGULATIONS CONTAINED IN SECTION 14-16--3-19 OF THE CITY ZONING CODE.
8. ALL LANDSCAPED AREAS TO BE DEPRESSED 6".
9. ELEVATIONS SHOWN FOR FUTURE PHASES ARE FOR INFORMATION ONLY.
10. FUTURE PHASE ON THE NORTH SIDE OF THE PROJECT WILL REQUIRE A PRIVATE CROSS LOT DRAINAGE AGREEMENT.

