

CITY OF ALBUQUERQUE

Planning Department
David Campbell, Director



Mayor Timothy M. Keller

January 3, 2019

Mark Goodwin, P.E.
Mark Goodwin & Associates
PO Box 90606
Albuquerque, NM, 87199

RE: Las Lomas Plaza – Unit 2 Bldg 1
2105 Vista Oeste NW
Permanent C.O. – Not Accepted
Temporary C.O. - Accepted
Engineer's Certification Dated 12/17/18
Engineer's Stamp Date: 03/28/18
Hydrology File: H10D031

PO Box 1293

Dear Mr. Goodwin:

Albuquerque

Based on the Certification received 12/18/18, this certification **is not** approved in support of Permanent Release of Occupancy by Hydrology but is approved in support of Temporary Release of Occupancy by Hydrology.

NM 87103

www.cabq.gov

Prior to Hydrology's approval of Permanent Release of Occupancy, since the Owner is electing to do Payment in Lieu for the required stormwater quality volume of 770 cubic feet since the stormwater quality pond was not installed. The Payment in Lieu payment (Amount = 770 CF x \$8/CF = \$6,160.00) for the required stormwater quality volume must be made using the attached City of Albuquerque Treasury Deposit form. The Owner needs to bring three copies to the cashier on the Building Permits side of the ground floor and pay the fee. Once this is done, please resubmit for Permanent Release of Occupancy and please provide Hydrology with one of the copies showing the receipt. This resubmittal will be at no cost.

If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gov.

Sincerely,

Renée C. Brissette, P.E. CFM
Senior Engineer, Hydrology
Planning Department



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: Las Lomas Plaza Building Permit #: _____ Hydrology File #: H10D031

DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: Tracts 13,14,15 and 16 of Plat for Ladera Business Park Unit 1

City Address: Unser and La Morada Place

Applicant: Acoma Business Enterprises Contact: John Mohr

Address: PO BOX 310, Acoma NM 87034

Phone#: _____ Fax#: _____ E-mail: jmohr@skycity.com

Other Contact: Mark Goodwin & Associates, PA Contact: Mark Goodwin

Address: PO BOX 90606, Albuquerque, NM 87199

Phone#: 828.2200 Fax#: _____ E-mail: mark@goodwinengineers.com

TYPE OF DEVELOPMENT: PLAT (# of lots) RESIDENCE DRB SITE X ADMIN SITE

IS THIS A RESUBMITTAL? Yes X No

DEPARTMENT TRANSPORTATION X HYDROLOGY/DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

- X ENGINEER/ARCHITECT CERTIFICATION
- PAD CERTIFICATION
- CONCEPTUAL G & D PLAN
- GRADING PLAN
- DRAINAGE REPORT
- DRAINAGE MASTER PLAN
- FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- ELEVATION CERTIFICATE
- CLOMR/LOMR
- TRAFFIC CIRCULATION LAYOUT (TCL)
- TRAFFIC IMPACT STUDY (TIS)
- STREET LIGHT LAYOUT
- OTHER (SPECIFY) _____
- PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- BUILDING PERMIT APPROVAL
- X CERTIFICATE OF OCCUPANCY
- PRELIMINARY PLAT APPROVAL
- SITE PLAN FOR SUB'D APPROVAL
- SITE PLAN FOR BLDG. PERMIT APPROVAL
- FINAL PLAT APPROVAL
- SIA/ RELEASE OF FINANCIAL GUARANTEE
- FOUNDATION PERMIT APPROVAL
- GRADING PERMIT APPROVAL
- SO-19 APPROVAL
- PAVING PERMIT APPROVAL
- GRADING/ PAD CERTIFICATION
- WORK ORDER APPROVAL
- CLOMR/LOMR
- FLOODPLAIN DEVELOPMENT PERMIT
- OTHER (SPECIFY) _____

DATE SUBMITTED: December 18, 2018

By: Mark Goodwin, PE

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____



D. Mark Goodwin & Associates, P.A.
Consulting Engineers

P.O. BOX 90606, ALBUQUERQUE, NM 87199
(505) 828-2200 FAX 797-9539

~ 2012 ACEC/NM Award Winner for Engineering Excellence ~
~ 2008 ACEC/NM Award Winner for Engineering Excellence ~
~ 2017 ENR Landscape/Urban Development Award of Merit ~
~ 2018 ENR Residential/Hospitality Award of Merit ~

December 18, 2018

Ms. Renee Brissette, PE
City of Albuquerque, Hydrology
600 2nd Street NW
Albuquerque, NM 87102

**Re: Las Lomas Plaza – Phase 2
File H10D031**

Dear Ms. Brissette,

Attached, please find our request in support of Permanent Release of Occupancy by Hydrology for the referenced project. During the course of obtaining a Building Permit, the applicant was required to place a sidewalk where the "First Flush" pond was to go. Therefore, we believe our client is responsible for a Cash-In-Lieu payment and we are requesting your confirmation of this and the amount.

If you have any questions, please feel free to contact our office.

Sincerely,
MARK GOODWIN & ASSOCIATES, PA

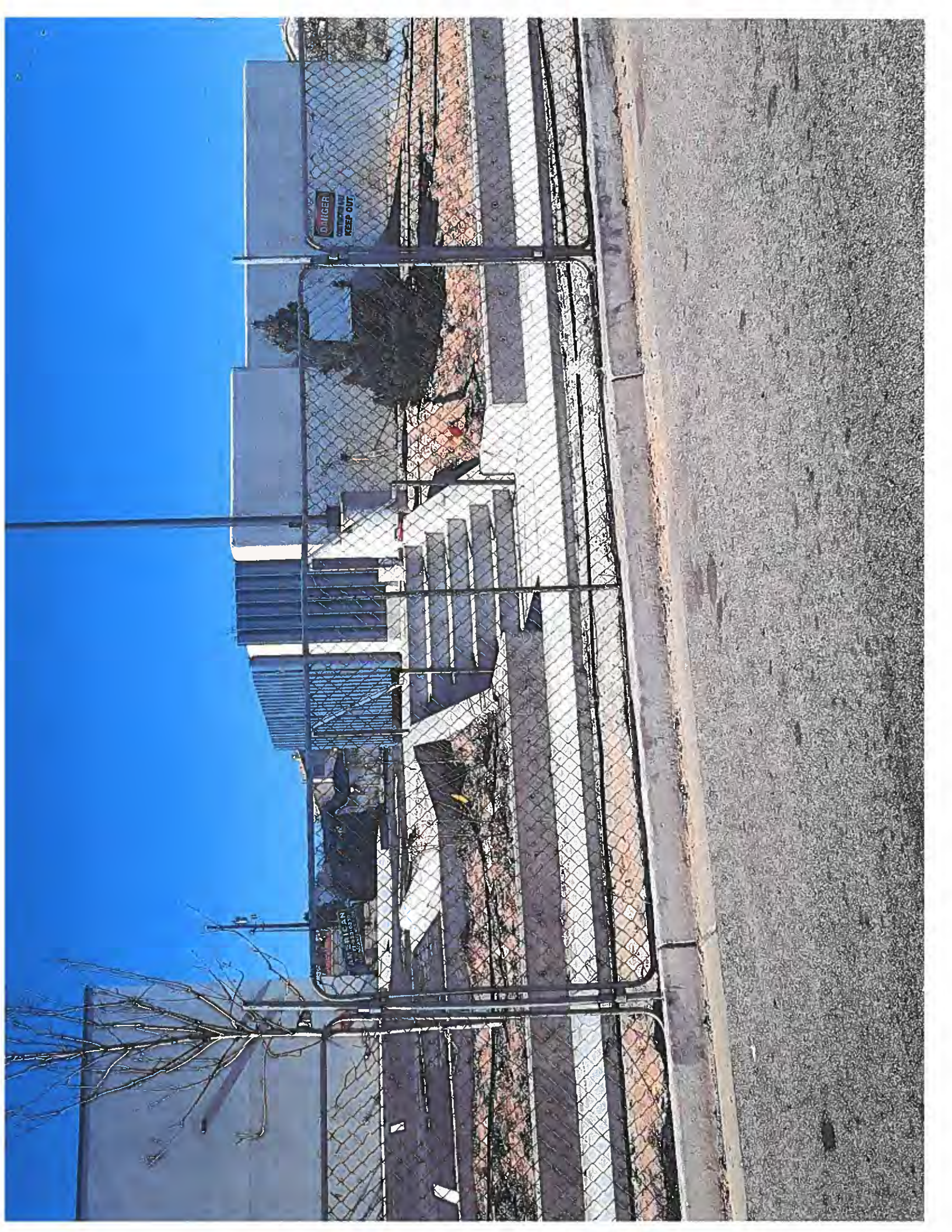
Mark Goodwin, PE
President

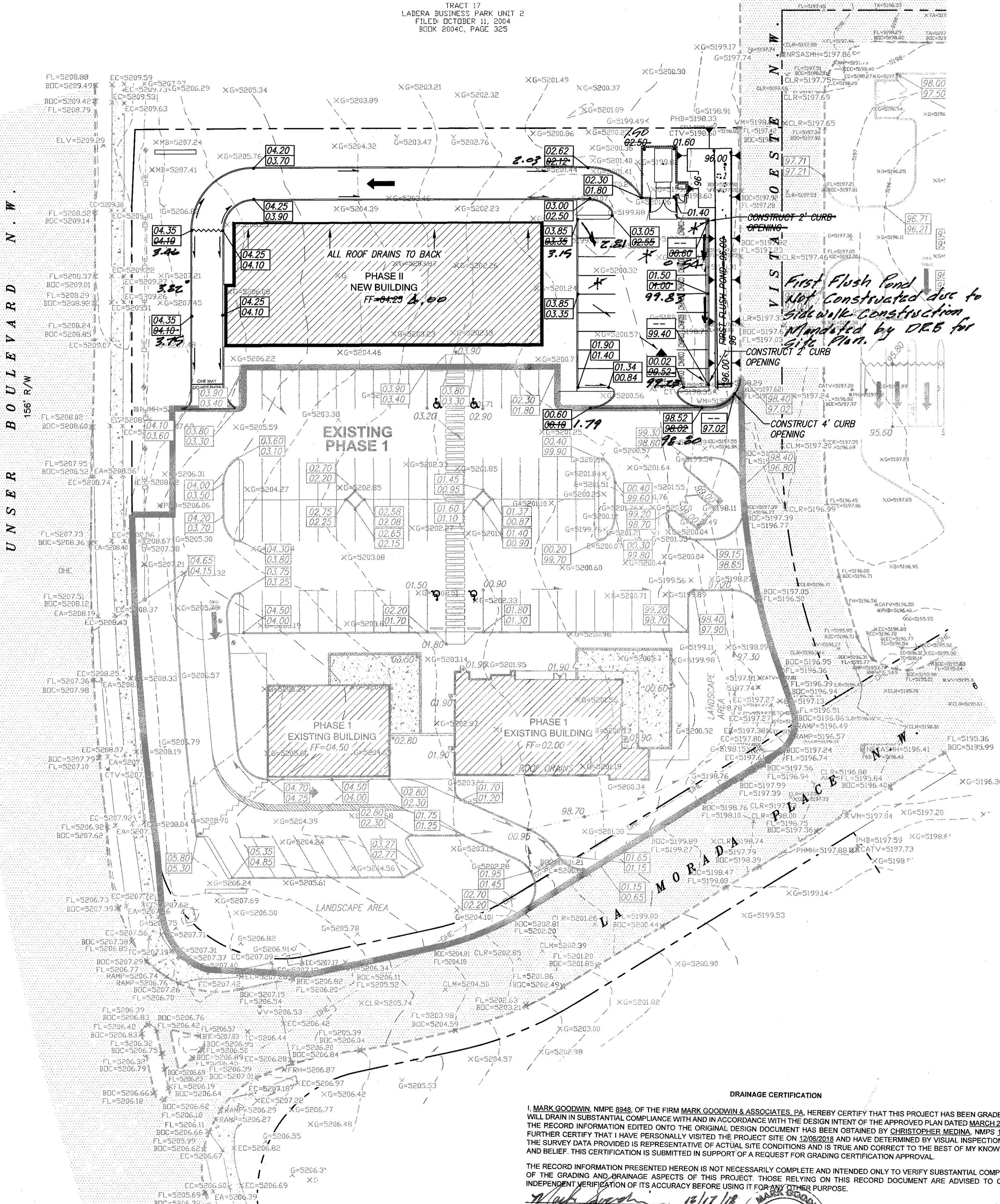
DMG/kb



(DANGER)
NO TRESPASSING

NO TRESPASSING





DRAINAGE SUMMARY

THE PROJECT ENTAILS PHASE 2 CONSTRUCTION OF 1 BUILDING WITHIN THE MASTER PLANNED LADERA BUSINESS PARK. DIRECT DISCHARGE IS TO THE EXISTING PAVED VISTA OESTE FOR CONVEYANCE DOWNSTREAM. ~~THE LANDSCAPE AREA WILL BE DEPRESSED TO ACCOMMODATE THE "FIRST FLUSH"~~

HYDROLOGY CALCULATIONS

EXISTING PHASE 2

AREA = 0.78 Ac.
LAND TREATMENT B=100%
P₁₀₀-s = 2.3 in.
Q₁₀₀ = 1.01 cfs.
Vol₁₀₀ = 1628 c.f.

PROPOSED PHASE 2

AREA = 0.78 Ac.
LAND TREATMENT A = 0
LAND TREATMENT B = 15%
LAND TREATMENT C = 10%
LAND TREATMENT D = 75%
P₁₀₀-s = 2.3 in.
Q₁₀₀ = 2.72 cfs.
Vol₁₀₀ = 4884 c.f.

FIRST FLUSH PHASE 2

IMPERVIOUS AREA = 27,181 s.f.
FIRST FLUSH VOL REQD. = (IA)(0.34)(1/12")
= (27,181)(.34)(1/12)
= 770 c.f.
LANDSCAPED AREA = 1100 s.f.
TOTAL FIRST FLUSH VOLUME PROVIDED = ~~(1100)(0.75) = 825 c.f.~~ 0

CURB OPENING CAPACITY

FOR 3' WIDE OPENING IN 6" CURB
Q = CLH^{3/2} = (3)(3)(.5)^{3/2} = 3.18 c.f.s.

- NOTES**
1. CONTRACTOR MUST OBTAIN A TOPSOIL DISTURBANCE PERMIT FROM THE ENVIRONMENTAL HEALTH DIVISION PRIOR TO CONSTRUCTION.
 2. CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, LATEST EDITION SHALL GOVERN ALL WORK.
 3. THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE AND FEDERAL DUST CONTROL MEASURES AND REQUIREMENTS AND WILL BE RESPONSIBLE FOR PREPARING AND OBTAINING ALL NECESSARY APPLICATIONS AND APPROVALS.
 4. THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE LOTS INTO PUBLIC RIGHT-OF-WAY. THIS CAN BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS AND WETTING THE SOIL TO KEEP IT FROM BLOWING.
 5. THE EARTHWORK CONTRACTOR SHALL STOCKPILE ENOUGH MATERIAL ADJACENT TO RETAINING WALL LOCATIONS TO BE UTILIZED FOR WALL BACKFILL.
 6. SITE DOES NOT LIE IN A 100 YEAR FLOOD ZONE PER F.I.R.M. PANEL 35001C0326J, DATED 11/14/16.
 7. ALL SITE WALLS SHALL CONFORM TO THE GENERAL HEIGHT AND DESIGN REGULATIONS CONTAINED IN SECTION 14-16-3-19 OF THE CITY ZONING CODE.
 8. ALL LANDSCAPED AREAS TO BE DEPRESSED 6".
 9. ELEVATIONS SHOWN FOR FUTURE PHASES ARE FOR INFORMATION ONLY.
 10. FUTURE PHASE ON THE NORTH SIDE OF THE PROJECT WILL REQUIRE A PRIVATE CROSS LOT DRAINAGE AGREEMENT.

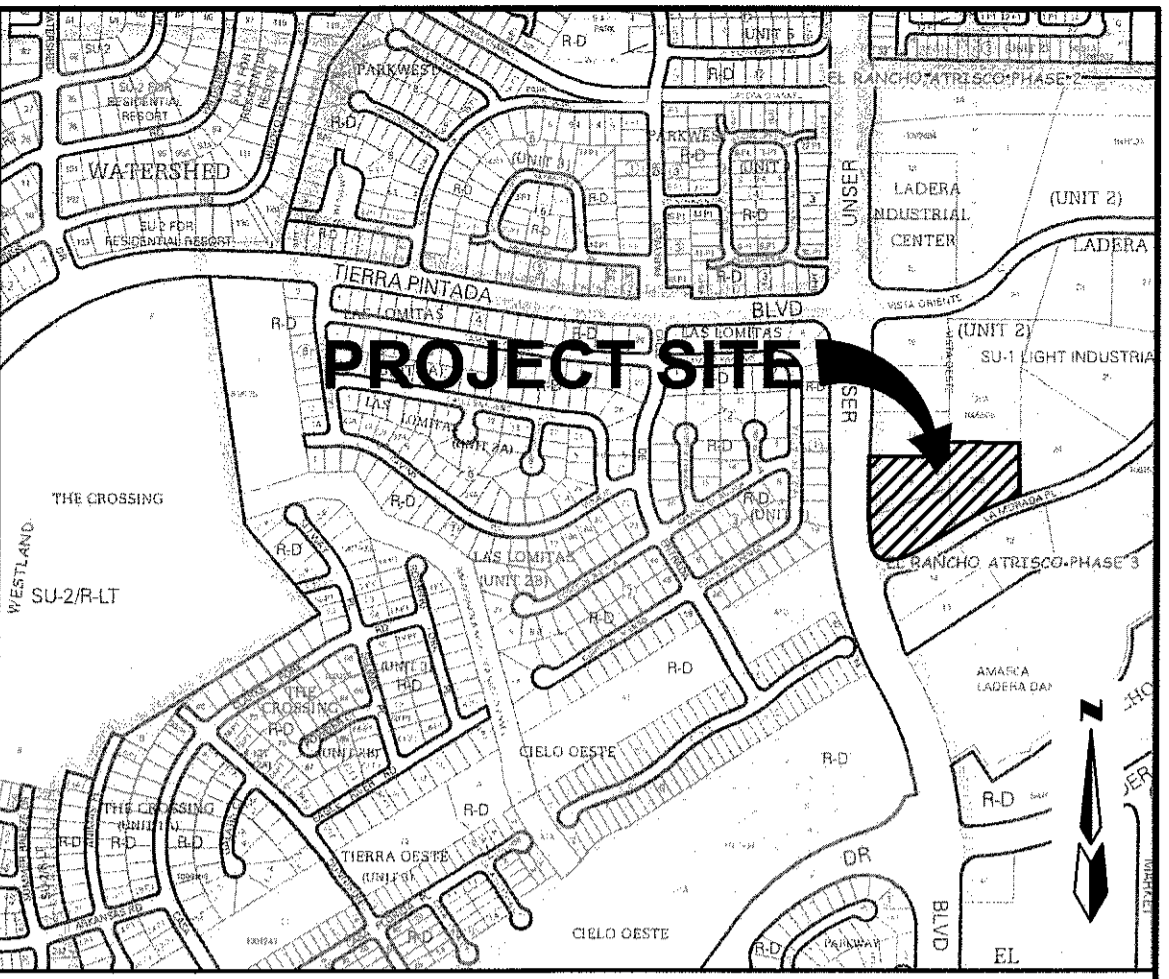
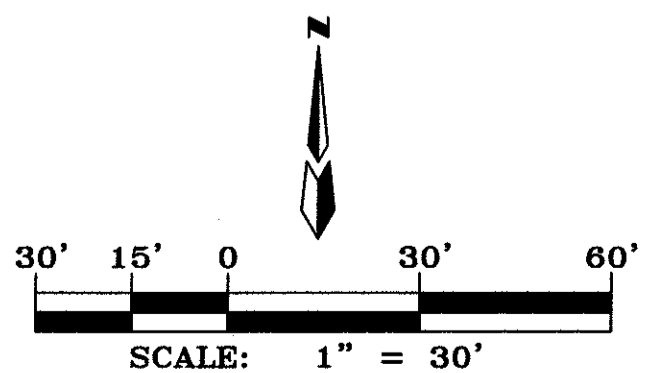
DRAINAGE CERTIFICATION

I, MARK GOODWIN, NMPE 8948, OF THE FIRM MARK GOODWIN & ASSOCIATES, P.A. HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED MARCH 28, 2018. THE RECORD INFORMATION EDITED ON THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY CHRISTOPHER MEDINA, NMPS 13202. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 12/05/2018 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR GRADING CERTIFICATION APPROVAL.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

Mark Goodwin 12/17/18
MARK GOODWIN, PE, NMPE 8948 DATE

Christopher Medina
CHRISTOPHER MEDINA, NMPS 13202
REGISTERED PROFESSIONAL ENGINEER



VICINITY MAP **ZONE MAP: H-9-Z**

ACS BENCHMARK

ELEVATIONS ARE BASED ON CITY OF ALBUQUERQUE STATION No. "4-H9", HAVING AN ELEVATION OF 5209.315, NAVD 1988

LEGAL DESCRIPTION

TRACTS NUMBERED FIFTEEN (15) AND SIXTEEN (16) OF PLAT FOR LADERA BUSINESS PARK, UNIT 1, WITHIN THE TOWN OF ATRISCO GRANT, PROJECTED SECTION 9 AND 10, TOWNSHIP 10 NORTH, RANGE 2 EAST, N.M.P.M., CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, AS THE SAME ARE SHOWN AND DESIGNATED ON THE PLAT OF SAID SUBDIVISION, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON JANUARY 22, 2004, IN PLAT BOOK 2004C, PAGE 24.

TRACT 20-B, LADERA BUSINESS PARK UNIT 2, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON JUNE 7, 2007, IN MAP BOOK 2007C, FOLIO 155.

LEGEND	
	EXISTING CONTOUR (MAJOR)
	EXISTING CONTOUR (MINOR)
	EXISTING GROUND SPOT ELEVATION
	EXISTING FLOWLINE ELEVATION
	EXISTING BACK OF CURB ELEVATION
	EXISTING ASPHALT PAVEMENT
	EXISTING CONCRETE
	EXISTING CURB & GUTTER
	EXISTING OVERHEAD ELECTRIC LINE
	EXISTING GUY WIRE
	EXISTING POWER POLE
	EXISTING VALT/PEDESTAL
	NEW STANDARD CURB & GUTTER
	NEW RIGHT-OF-WAY
	NEW CENTERLINE
	NEW LOT LINES
	NEW EASEMENTS
	NEW RETAINING WALL
	NEW STORY DRAIN
	NEW SPOT ELEVATION
	TOP OF CURB ELEVATION
	FLOWLINE ELEVATION
	TOP OF RETAINING WALL
	BOTTOM OF RETAINING WALL
	NEW FLOW DIRECTION
	NEW WATER BLOCK
	DRAINAGE SWALE

LAS LOMITAS PLAZA - PHASE II

GRADING & DRAINAGE PLAN

dmg MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS

P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505)828-2200, FAX (505)797-9539

Designed: DMG	Drawn: DER	Checked: DMG	Sheet 1 of 1
Scale: AS SHOWN	Date: 3/26/18	Job: A17040	