

CITY OF ALBUQUERQUE



August 29, 2018

Douglas Heller, AIA, LEED AP
Mullen Heller Architecture, PC
1718 Central Ave SW Suite D
Albuquerque, NM 87104

Re: Las Lomas Plaza, Building 3
2101 Vista Oeste NW
Request for Certificate of Occupancy
Transportation Development Final Inspection
Engineer's/Architect's Stamp dated 8-22-18 (H10D031)
Certification dated 8-23-18

Dear Mr. Heller

Based upon the information provided in your submittal received 8-23-18, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

1. Please add truncated domes on corner of Unser & La Morada, and corner of La Morada & Vista Oeste when requesting CO for Building 2.
2. Please add sidewalk connection off Unser to Building 2 when requesting CO.

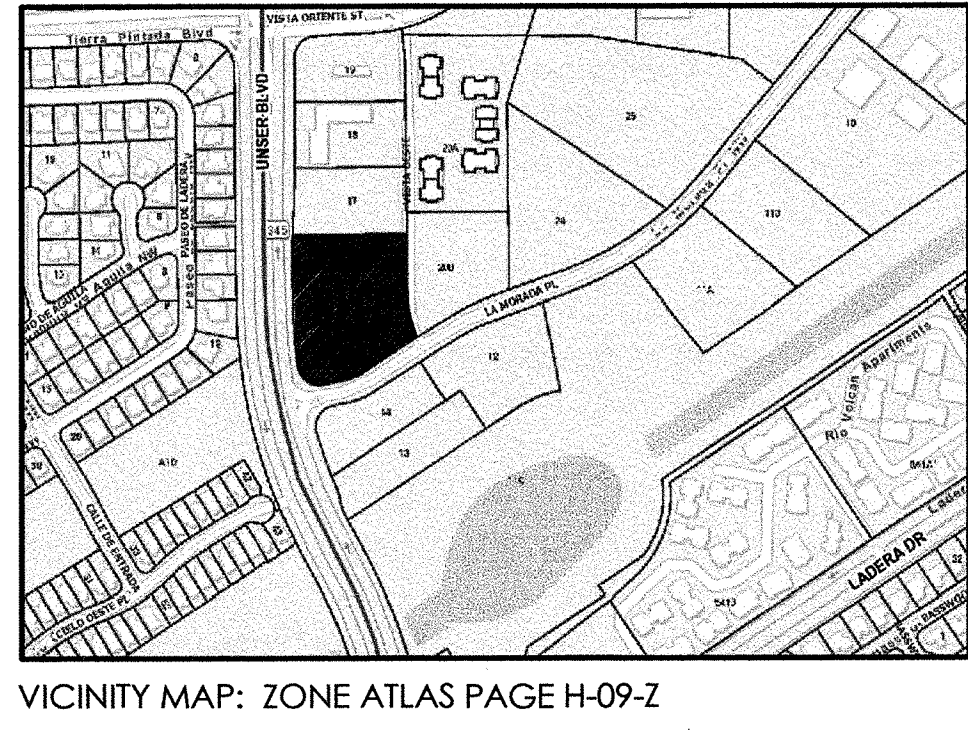
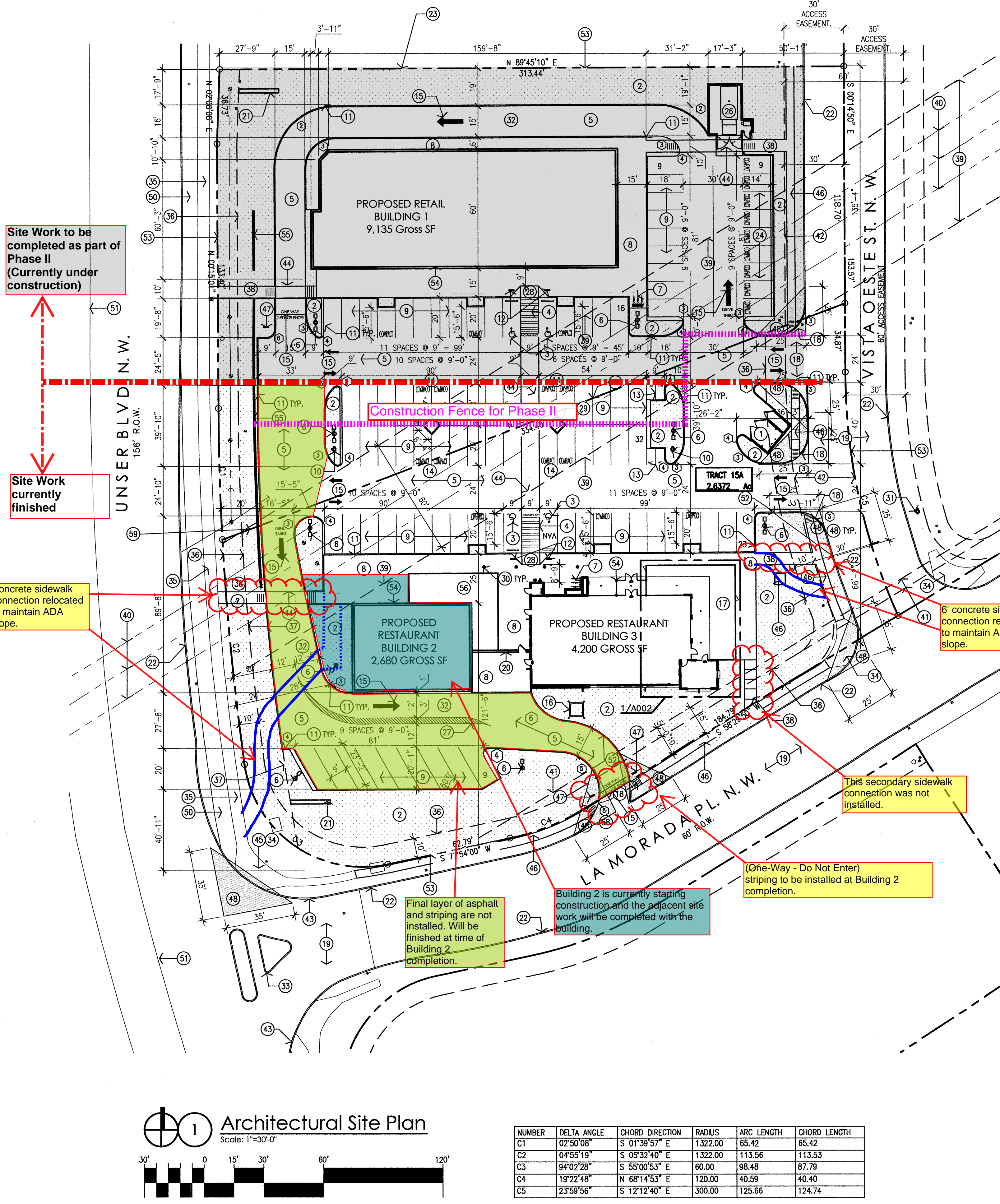
If you have any questions, please contact Ernie Gomez at (505) 924-3981.

Sincerely,

Ernie Gomez
Plan Checker, Planning Dept.
Development Review Services

Racquel M. Michel, P.E.
Traffic Engineer, Planning Dept.
Development Review Services

EG via: email
C: CO Clerk, File



PHASING NOTES:

THE FIRST PHASE OF THE PROJECT WILL BE THE CONSTRUCTION OF THE BUILDING 3 AND THE PARKING LOT. PHASE 2 WILL BE THE CONSTRUCTION OF BUILDING 1 AND 2 AND RELATED DRIVE AISLES AROUND THOSE BUILDINGS.

- RADIUS INFORMATION:**
- 1 = 14'-6"
 - 2 = 30'-0"
 - 3 = 15'-0"
 - 4 = 3'-0"
 - 5 = 21'-0"
 - 6 = 5'-0"
 - 7 = 10'-0"

PROJECT NUMBER: 1001523 **APPLICATION NUMBER:** 18-DRB-10058

IS AN INFRASTRUCTURE LIST REQUIRED? () YES () NO IF YES, THEN A SET OF APPROVED DRG PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.

DRB SITE DEVELOPMENT PLAN APPROVAL:

| | |
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| <i>Boquillero</i> TRAFFIC ENGINEER, TRANSPORTATION DIVISION | 3/21/18 |
| <i>ABCWUA</i> | 3-26-18 |
| <i>Parks and Recreation Department</i> | 3/21/18 |
| <i>James D. Reppel</i> CITY ENGINEER, HYDROLOG | 3/21/18 |
| <i>Code Enforcement</i> | 3/21/18 |
| <i>Environmental Health Department (Conditional)</i> | 4-19-18 |
| <i>Solid Waste Management</i> | 4-26-18 |
| <i>DRB Chairperson, Planning Department</i> | |
| <i>Environmental Health, if necessary</i> | |

- GENERAL NOTES:**
- [A] THE PARKING LOT DIMENSIONS ARE FROM FACE OF CURB TO FACE OF CURB.
 - [B] LANDSCAPING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA.
 - [C] ANY ENCROACHMENT OR OVERHANG INTO THE ROW FROM SIGNS, FENCES, CANOPY, ROOF LINES, ETC. WILL REQUIRE AN ANNUAL REVOCABLE ENCROACHMENT PERMIT.
 - [D] ALL CURBS SURROUNDING LANDSCAPING, SHALL PROVIDE WATER RUNOFF OPENINGS TO ALLOW SURFACE DRAINAGE INTO THE LANDSCAPED AREAS (WATER HARVESTING).
 - [E] ALL SIGNAGE AND FENCES WILL BE DONE UNDER SEPARATE PERMIT.
 - [F] ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST BE INCLUDED ON A PUBLIC WORK ORDER.
 - [G] SIDEWALK AREAS TO BE SHADED ALONG THE PRIMARY FACADE OF BUILDING.
 - [H] ALL IMPROVEMENTS LOCATED IN THE RIGHT-OF-WAY MUST BE INCLUDED IN A PUBLIC WORK ORDER.
 - [I] FUTURE BUILDING ELEVATIONS FOR BUILDING 2 WILL BE REQUIRED TO BE APPROVED VIA ADMINISTRATIVE AMENDMENT AND COMPLY WITH THE DESIGN REGULATIONS AND AESTHETICS CREATED BY THE TWO BUILDINGS IN THIS SUBMITTAL.

- KEYED NOTES:**
- [1] PROPOSED REFUSE ENCLOSURE. 1/A001.
 - [2] PROPOSED LANDSCAPING AREA. REFER TO LANDSCAPING PLAN.
 - [3] PROPOSED HANDICAP PAVEMENT SIGN.
 - [4] PROPOSED STRIPED HANDICAP AISLE WITH 12" HIGH PAINTED LETTERING "NO PARKING" PER 66-1-4.1.8 NMSA 1978.
 - [5] PROPOSED ASPHALT PAVING.
 - [6] PROPOSED SITE LIGHTING. SEE GENERAL NOTES.
 - [7] PROPOSED BIKE RACK WITH 3 SPACES. SEE 8/A003.
 - [8] PROPOSED CONCRETE SIDEWALK WITH CONTROL JOINTS EVERY 5'-0" AND EXPANSION JOINTS EVERY 20'-0". SEE 13/A003.
 - [9] PROPOSED PAINTED PARKING STRIPING.
 - [10] PROPOSED FIRE HYDRANT LOCATION. REFER TO UTILITY PLAN. 12/A003 & 3/A003.
 - [11] PROPOSED CONCRETE CURB. SEE GRADING & DRAINAGE PLAN.
 - [12] PROPOSED HANDICAP PARKING SIGN. "VAN" WHERE NOTED. SIGN TO BE NOTED PER 66-7-352.4C NMSA 1978. "VIOLATORS ARE SUBJECT TO A FINE AND/OR TOWING".
 - [13] PROPOSED 4'-6" WIDE x 8'-0" LONG MOTORCYCLE SPACES WITH SIGNAGE AT EACH SPACE. SEE 11/A003 FOR SIGNAGE. PROVIDE PAVEMENT MARKING AT END OF EACH SPACE.
 - [14] PROPOSED COMPACT 9'-0" x 15'-0" WITH PAINTED "COMPACT" PAVEMENT DESIGNATION AT LANDSCAPE ISLAND.
 - [15] PROPOSED PAINTED DIRECTIONAL ARROW/ SIGNAGE ON PAVEMENT.
 - [16] PROPOSED ELECTRICAL TRANSFORMER LOCATION. SEE ELECTRICAL.
 - [17] PROPOSED PATIO. SEE ENLARGED PLAN 1/A002.
 - [18] TIE NEW DRIVEWAY CURB INTO EXISTING CURB AND GUTTER SYSTEM. REFER TO GRADING AND DRAINAGE PLAN. REFER TO DETAIL 2426 FOR CITY STANDARD DRIVE ENTRY DETAILS.
 - [19] EXISTING ASPHALT ROAD TO REMAIN.
 - [20] PROPOSED 6'-0" TALL PATIO FENCE. 6/A002.
 - [21] PROPOSED 32 SF MONUMENT SIGN, MAX 4' TALL. SEE 7/A002.
 - [22] EXISTING CONCRETE CURB TO REMAIN.
 - [23] NOT USED.
 - [24] FUTURE COMPACT PARKING SPACES 9'-0"x15'-0" WITH PAINTED "COMPACT" PAVEMENT DESIGNATION.
 - [25] NOT USED.
 - [26] FUTURE TRASH COMPACTOR.
 - [27] PROPOSED PAVEMENT STRIPING.
 - [28] PROPOSED HC RAMP.
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 - [32] PROPOSED DRIVE THRU LANE.
 - [33] EXISTING TRAFFIC MEDIAN TO REMAIN.
 - [34] EXISTING CITY STANDARD HC RAMP.
 - [35] EXISTING CITY STANDARD SIDEWALK.
 - [36] EXISTING 10' PUBLIC UTILITY EASEMENT.
 - [37] EXISTING 20' PUBLIC WATERLINE EASEMENT.
 - [38] PROPOSED 6' SIDEWALK CONNECTION TO PUBLIC SIDEWALK.
 - [39] EXISTING 60' CONTINENTAL DIVIDE ELECTRIC COOPERATIVE EASEMENT FOR OVERHEAD POWER LINES.
 - [40] EXISTING OVERHEAD POWER LINES.
 - [41] EXISTING PNM EASEMENT.
 - [42] EXISTING 30' ACCESS EASEMENT.
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 - [44] PROPOSED SCORED CONCRETE PEDESTRIAN PATHWAY.
 - [45] EXISTING ADA PUBLIC RAMP. INSTALL TRUNCATED DOMES TO MEET CITY STANDARDS.
 - [46] PROPOSED 4' WIDE CONCRETE SIDEWALK. REFER TO CITY STANDARD SIDEWALK DETAIL 2430.
 - [47] PROPOSED STANDARD SIGNAGE TO READ "DO NOT ENTER".
 - [48] CLEAR SIGHT TRIANGLE: LANDSCAPING, FENCING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
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 - [52] PROPOSED CURB OPENING. SEE GRADING AND DRAINAGE PLANS.
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- SITE LIGHTING NOTES:**
- [A] THE LOCATION OF THE LIGHTING FIXTURES TOGETHER WITH ITS CUT-OFF ANGLE SHALL BE SUCH THAT IT DOES NOT DIRECTLY SHINE ON ANY PUBLIC RIGHT-OF-WAY OR ADJACENT RESIDENTIAL PROPERTY.
 - [B] THE MAXIMUM HEIGHT OF A LIGHT POLE MEASURED FROM THE FINISH GRADE TO THE TOP OF THE POLE SHALL BE 20'-0" MAXIMUM.
 - [C] LIGHTING TO BE GE100 WATT BRONZE LUMEN SHOEBOX TYPE LEXINGTON BRONZE POLE.
 - [D] LIGHTING SHALL BE CONSISTENT WITH THE PROVISIONS OF THE STATE OF NEW MEXICO'S NIGHT SKY ORDINANCE.

BUILDING AREAS:

OVERALL BUILDING AREAS 16,015 SF.

BUILDING 1- 9,135 SF
BUILDING 2- 2,680 SF
BUILDING 3- 4,200 SF

TOTAL LOT AREA (LOTS 15 AND 16) = 2.63 ACRES
2.63 ACRES = 114,562 SF
F.A.R. ALLOWED = (.35 OR) 40,097 SF
F.A.R. PROPOSED = 16,015 SF

PARKING CALCULATIONS:

BUILDING 1- 9,135 SF
9,135/200 = 46 SPACES
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150 SEATS/4^{1/2} = 38 SPACES

TOTAL REQUIRED SPACES 104 SPACES
*RESTAURANT WITHOUT A FULL LIQUOR LICENSE
*INTERIOR OCCUPANT LOAD. DOES NOT INCLUDE PATIO SEATING

TRANSIT REDUCTIONS:

104 SPACES REQ'D x 10% REDUCTION =
(PROXIMITY TO BUS ROUTE 94)
104 x 10% = 94 TOTAL SPACES REQUIRED

TOTAL PARKING SPACES REQUIRED: = 94 SPACES

TOTAL PARKING SPACES PROVIDED: = 98 SPACES

71 REGULAR SPACES
23 COMPACT SPACES
4 HANDICAP SPACES

COMPACT PARKING CALCULATION:

94 REQ'D SPACES x 33% = 31 SPACES ALLOWED
TOTAL COMPACT SPACES = 17 SPACES PROVIDED

DISABLED PARKING REQUIREMENTS:

TOTAL DISABLED SPACES REQUIRED = 4 SPACES
TOTAL DISABLED SPACES PROVIDED = 4 SPACES

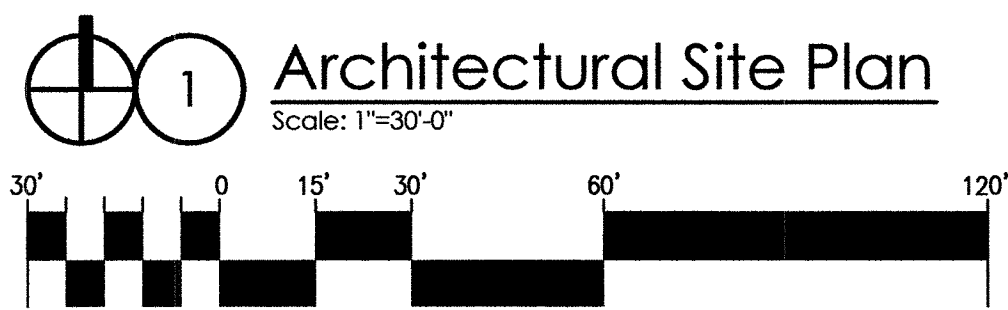
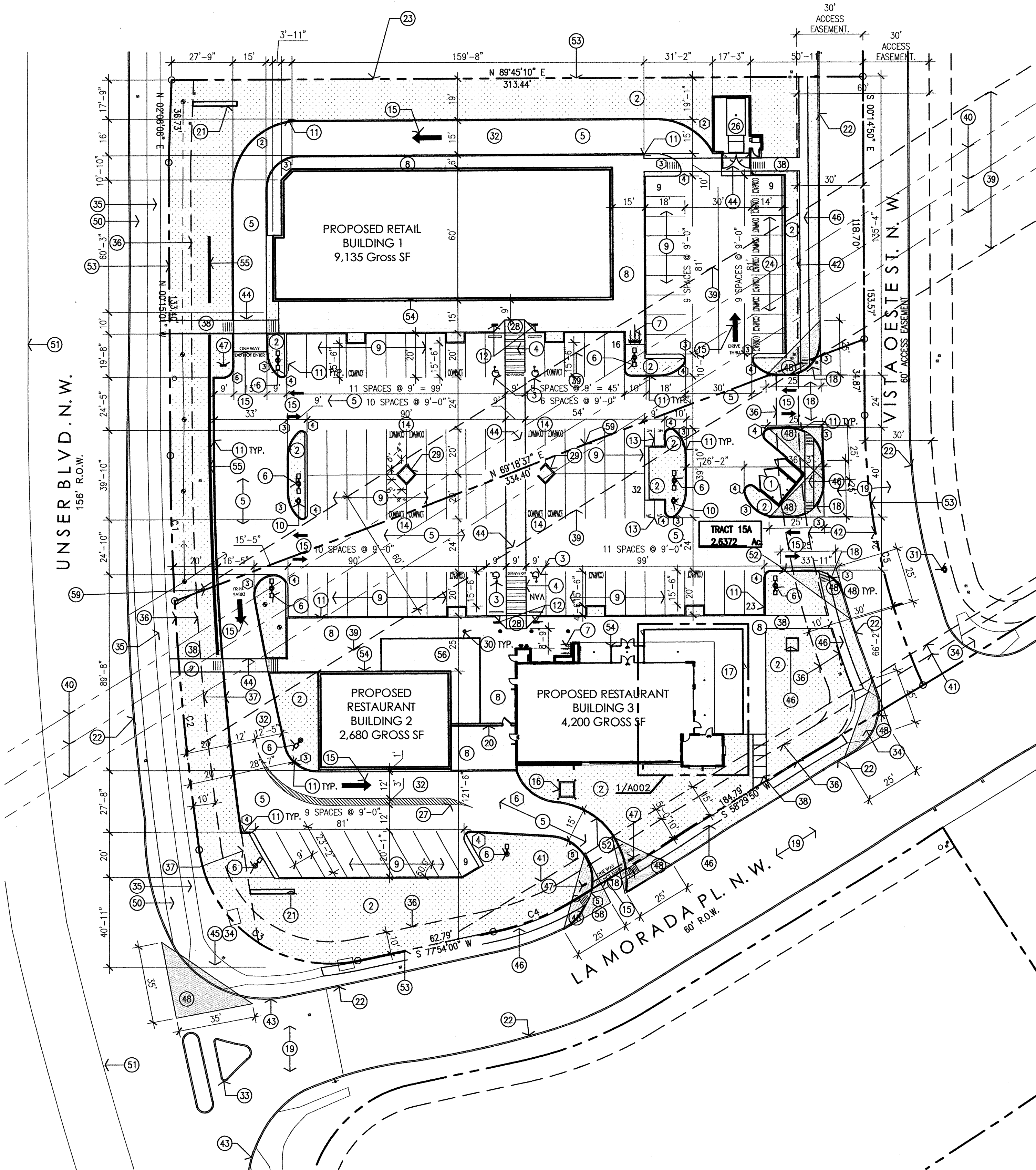
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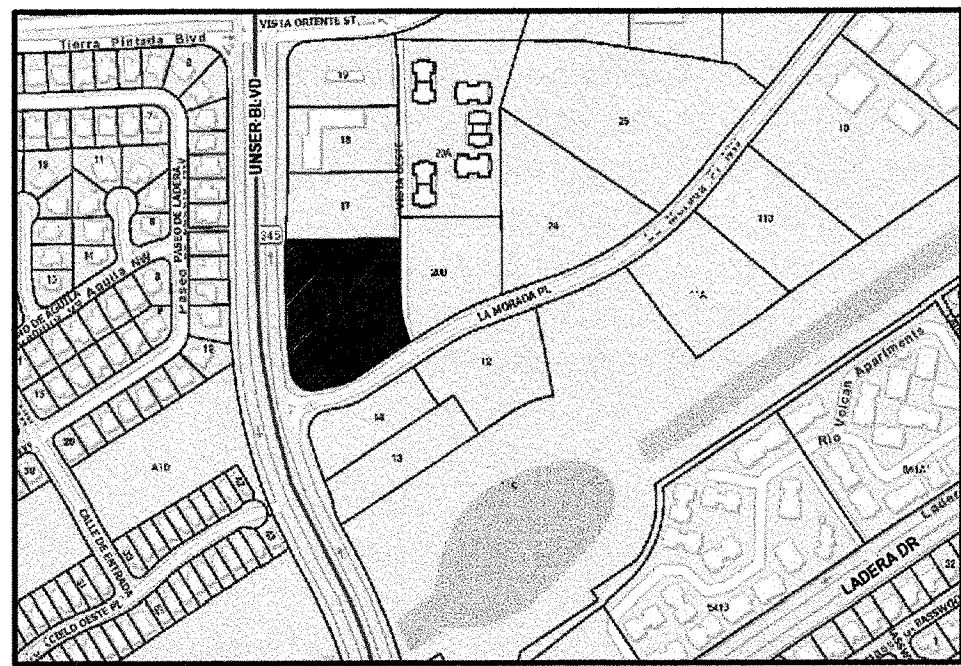
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1 BICYCLE SPACE FOR EACH 20 PARKING SPACES =
94 PARKING SPACES/20 = 5 TOTAL SPACE REQUIRED

TOTAL BICYCLE SPACES REQUIRED: = 5 SPACES
TOTAL BICYCLE SPACES PROVIDED: = 6 SPACES



| NUMBER | DELTA ANGLE | CHORD DIRECTION | RADIUS | ARC LENGTH | CHORD LENGTH |
|--------|-------------|-----------------|---------|------------|--------------|
| C1 | 02°50'08" | S 01°39'57" E | 1322.00 | 65.42 | 65.42 |
| C2 | 04°55'19" | S 05°32'40" E | 1322.00 | 113.56 | 113.53 |
| C3 | 94°02'28" | S 55°00'53" E | 60.00 | 98.48 | 87.79 |
| C4 | 19°22'48" | N 68°14'53" E | 120.00 | 40.59 | 40.40 |
| C5 | 23°59'56" | S 12°12'40" E | 300.00 | 125.66 | 124.74 |



VICINITY MAP: ZONE ATLAS PAGE H-09-Z

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(PROXIMITY TO BUS ROUTE 94)
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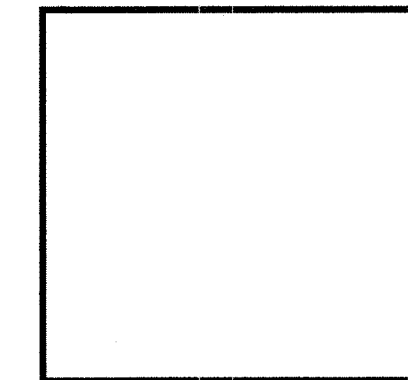
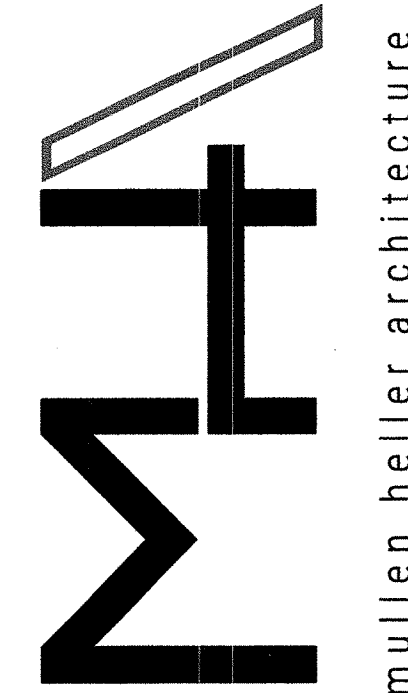
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| REV | DATE | DESCRIPTION |
|-----|------|-------------|
| 1 | | |
| 2 | | |
| 3 | | |
| 4 | | |
| 5 | | |



MULLEN HELLER ARCHITECTURE
1718 CENTRAL AVE SW | STE D
ALBUQUERQUE, NM 87104
P | 505.268.4144
F | 505.268.4244
www.mullenheller.com

JOB NUMBER 16-53

DRAWN BY AV

PROJECT MGR JDH

DATE 2-9-2018

PHASE CD

PROJECT
Las Limitas Plaza
2101 Vista Oeste
Albuquerque, NM 87120

TITLE
Architectural Site Plan

SHEET

A001

August 23, 2018

Racquel Michel, P.E., Transportation Development
Planning Department
Development and Building Services Division
City of Albuquerque
600 2nd Street NW.
Albuquerque, NM 87102

Re: **Permanent Certificate of Occupancy for
Las Lomas Plaza, Building 3 (Phase 1)
2101 Vista Oeste NW**

Dear Ms. Michel:

I, Douglas Heller, NMRA with Mullen Heller Architecture P.C., hereby certify that this project is in substantial compliance with and in accordance with the design intent of Approved DRB Site Development Plan dated April 26, 2018 (Project #1001523). The attached Site Development Plan show the "redlined" revisions made to the site plan during construction.

I further certify that I have personally visited the project site on August 19, 2018 and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief.

There have been a few minor changes to the site plan during construction, which are noted on the attached site plan. As each building in this development is phased to be finished and occupied one after the other, there are a few items that are not completed at this time but will be finished in subsequent phases. For example, the north half of the parking lot will be completed with Building 2, however accommodations have been made to ensure vehicular circulation is clear with no dead end aisles. Also, the green shaded area on the redlined site plan is paved, however the final lift of asphalt and related striping will be complete with Building 2.

Once Building 3 (first phase) is wrapped up, Building 2 and the related sitework is next. This is scheduled to be complete in early November 2018 with Building and the remainder of the site being complete mid-December 2018.

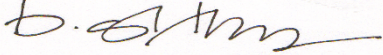
This certification is submitted in support of a request for Engineer's Certification (DRB Site Plan) for Permanent Certificate of Occupancy.

The record information presented herein is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

Please feel free to contact me if you have any questions.

Sincerely,

Mullen Heller Architecture, PC



Douglas Heller, AIA, LEED AP

Attachments: Approved DRB Site Development Plan for Building Permit, dated 4/26/18
 Approved DRB Site Development Plan for Building Permit with as-built redlines,
 dated 8/23/18



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: Las Lomas Plaza, Building 3 **Building Permit #:** 2017-39963 **Hydrology File #:** _____
DRB#: 18DRB-70050 **EPC#:** _____ **Work Order#:** _____
Legal Description: Tract 15A, Ladera Business Park Unit 1
City Address: 2101 Vista Oeste NW

Applicant: Acoma Business Enterprises **Contact:** John Mohr
Address: PO Box 310 Acoma, NM 87034
Phone#: 505-850-7934 **Fax#:** _____ **E-mail:** jmohr@skycity.com

Other Contact: Mullen Heller Architecture, PC **Contact:** Douglas Heller
Address: 1718 Central Ave SW Suite D Albuquerque, NM 87104
Phone#: 505-268-4144 **Fax#:** 505-268-4244 **E-mail:** doug@mullenheller.com

TYPE OF DEVELOPMENT: _____ PLAT (# of lots) _____ RESIDENCE ☒ DRB SITE _____ ADMIN SITE

IS THIS A RESUBMITTAL? _____ Yes ☒ No

DEPARTMENT ☒ TRANSPORTATION _____ HYDROLOGY/DRAINAGE

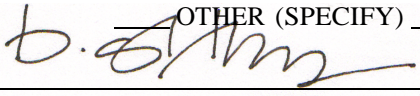
Check all that Apply:

TYPE OF SUBMITTAL:

- ☒ ENGINEER/ARCHITECT CERTIFICATION
☐ PAD CERTIFICATION
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ DRAINAGE REPORT
☐ DRAINAGE MASTER PLAN
☐ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
☐ ELEVATION CERTIFICATE
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ STREET LIGHT LAYOUT
☐ OTHER (SPECIFY) _____
☐ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY
☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR
☐ FLOODPLAIN DEVELOPMENT PERMIT
☐ OTHER (SPECIFY) _____

DATE SUBMITTED: 8/23/18 **By:** 

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____