

CITY OF ALBUQUERQUE



December 20, 2018

Douglas Heller, AIA, LEED AP
Mullen Heller Architecture, PC
1718 Central Ave SW Suite D
Albuquerque, NM 87104

**Re: Las Lomas Plaza, Building 1 & 2, Phase 2
2101 & 2105 Vista Oeste NW
60-Day Temporary Certificate of Occupancy
Transportation Development Final Inspection**
Engineer's/Architect's Stamp dated 4-26-18 (H10D031)
Certification dated 12-12-18

Dear Mr. Grummer,

Based upon the information provided in your submittal received 12-14-18, Transportation Development has no objection to the issuance of a 60-day Temporary Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a 60-day Temporary Certificate of Occupancy to be issued by the Building and Safety Division.

Prior to the issuance of a permanent Certificate of Occupancy, the following items must be addressed:

1. Please add bicycle parking, Building 1.
2. Please paint COMPACT on all parking stalls listed as compact on approved TCL plan.
3. Please add 6ft wide accessible pedestrian pathway from public sidewalk to building entrance for Building #1 off Unser. Because of steep slope stairs will be okay.
4. Photos of corrections will be sufficient when requesting final CO.

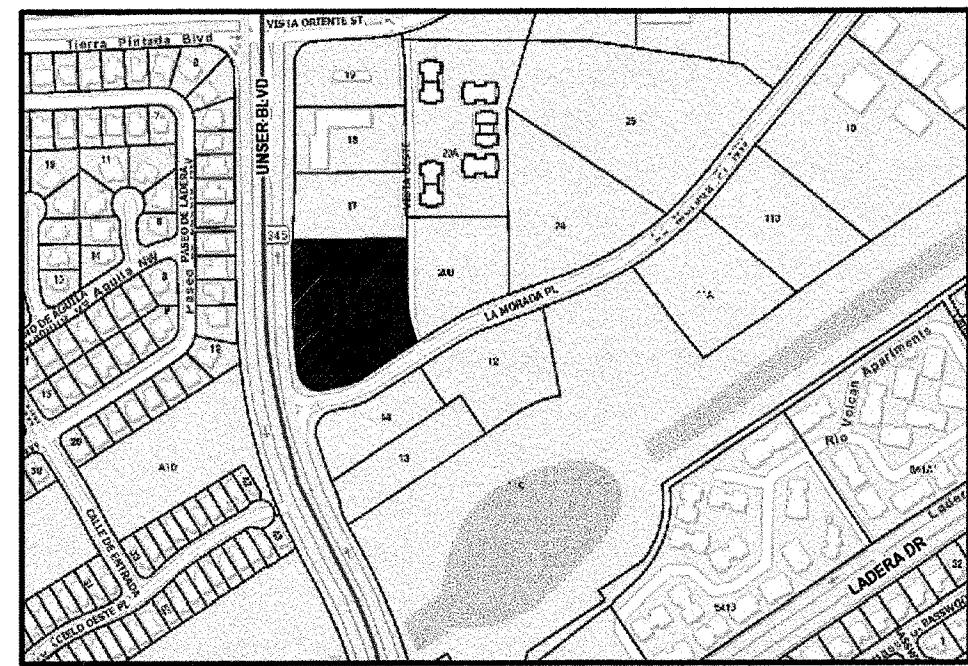
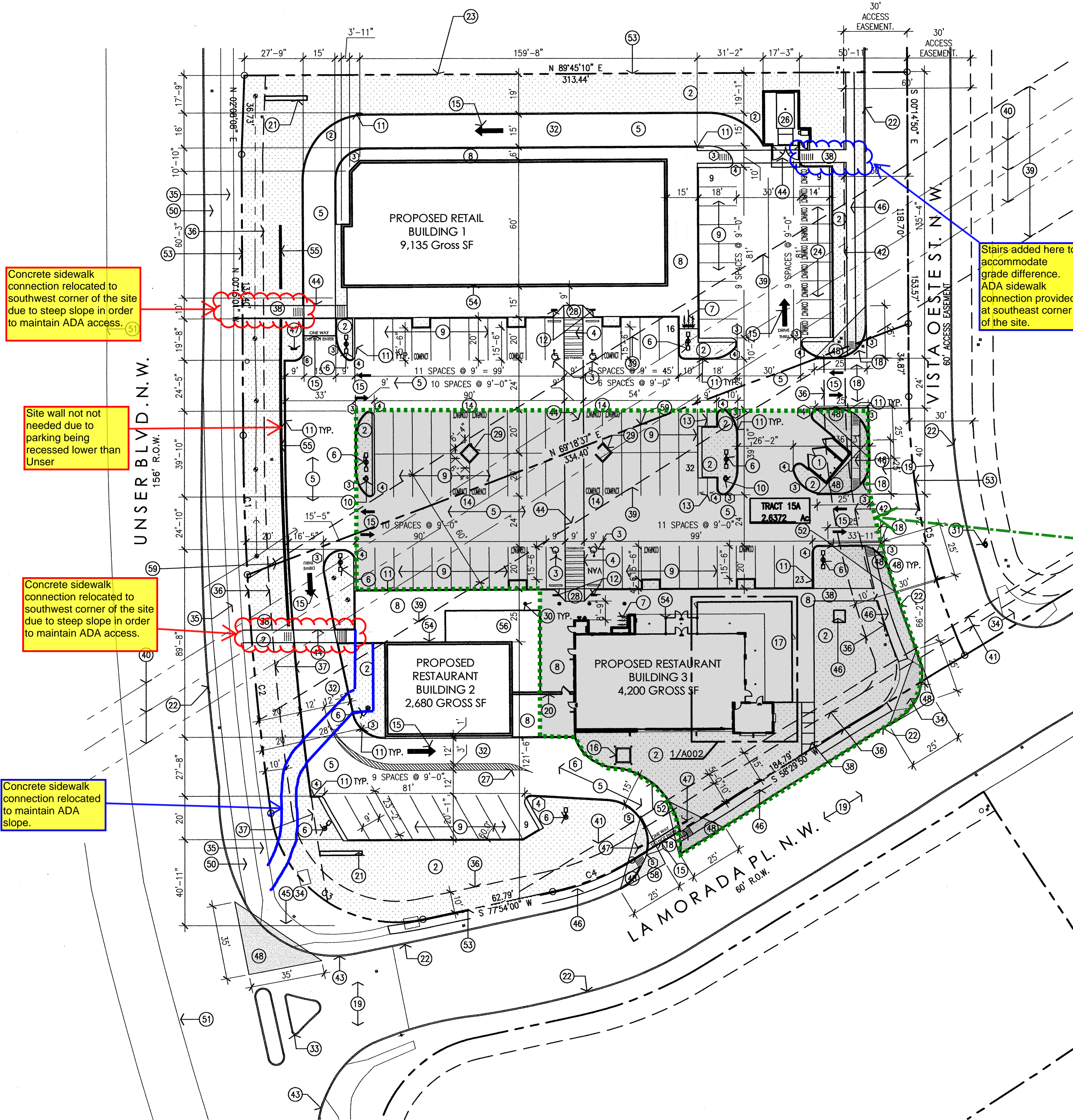
Once corrections are complete resubmit acceptable package along with fully completed Drainage Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation. For digital submittal and minor comments and/or repairs, please submit photos to PLNDRS@cabq.gov prior to submittal. If you have any questions, please contact me at (505) 924-3981.

Sincerely,

A handwritten signature in dark ink, appearing to read 'Ernie Gomez', with a stylized, flowing script.

Ernie Gomez
Plan Checker, Planning Dept.
Development Review Services

EG via: email
C: CO Clerk, File



PHASING NOTES:
THE FIRST PHASE OF THE PROJECT WILL BE THE CONSTRUCTION OF THE BUILDING 3 AND THE PARKING LOT. PHASE 2 WILL BE THE CONSTRUCTION OF BUILDING 1 AND 2 AND RELATED DRIVE AISLES AROUND THOSE BUILDINGS.

- RADIUS INFORMATION:
- 1 = 14'-6"
 - 2 = 30'-0"
 - 3 = 15'-0"
 - 4 = 3'-0"
 - 5 = 21'-0"
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Shaded area indicates previously approved Site Work Certification for Phase 1.

GENERAL NOTES:

- [A] THE PARKING LOT DIMENSIONS ARE FROM FACE OF CURB TO FACE OF CURB.
- [B] LANDSCAPING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA.
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BUILDING AREAS:

OVERALL BUILDING AREAS 16,015 SF.
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TOTAL LOT AREA (LOTS 15 AND 16) = 2.63 ACRES
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104 SPACES REQ'D x 10% REDUCTION =
(PROXIMITY TO BUS ROUTE 94)
104 x 10% = 94 TOTAL SPACES REQUIRED

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71 REGULAR SPACES
23 COMPACT SPACES
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94 PARKING SPACES/20 = 5 TOTAL SPACE REQUIRED

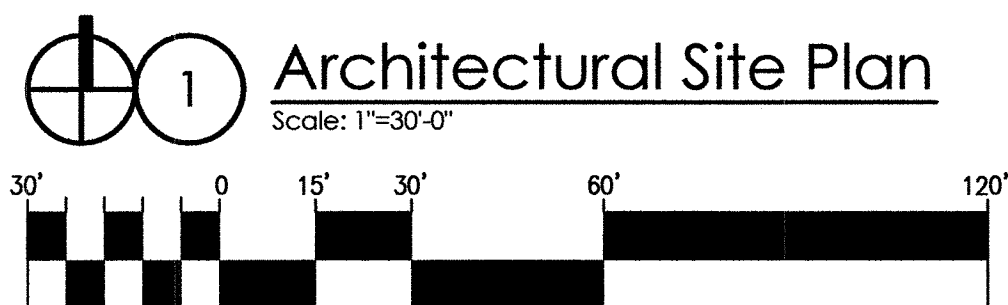
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PROJECT NUMBER: 1001523 APPLICATION NUMBER: 18-PP-1008

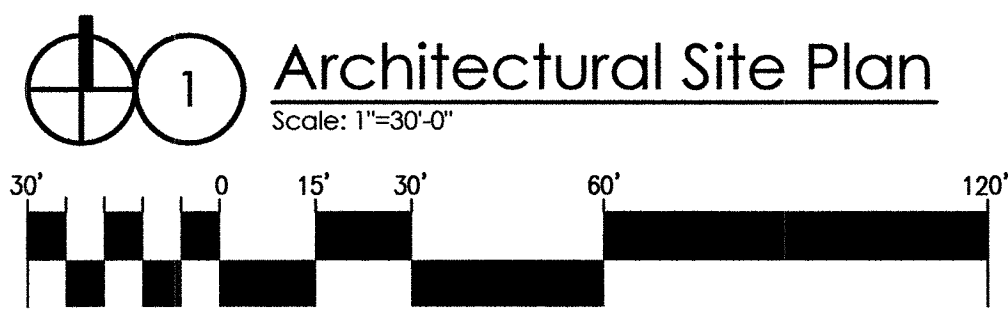
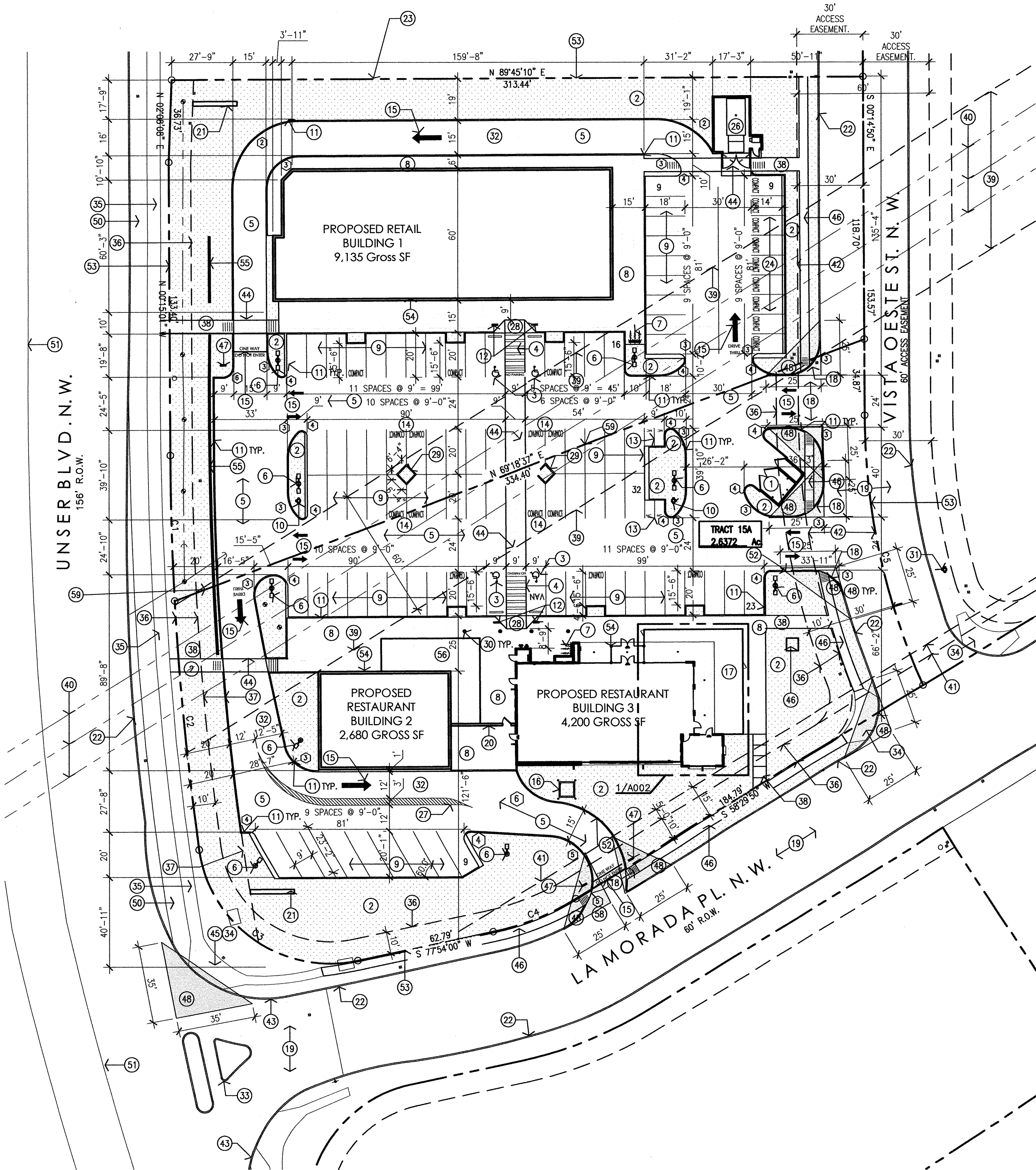
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DRB SITE DEVELOPMENT PLAN APPROVAL:

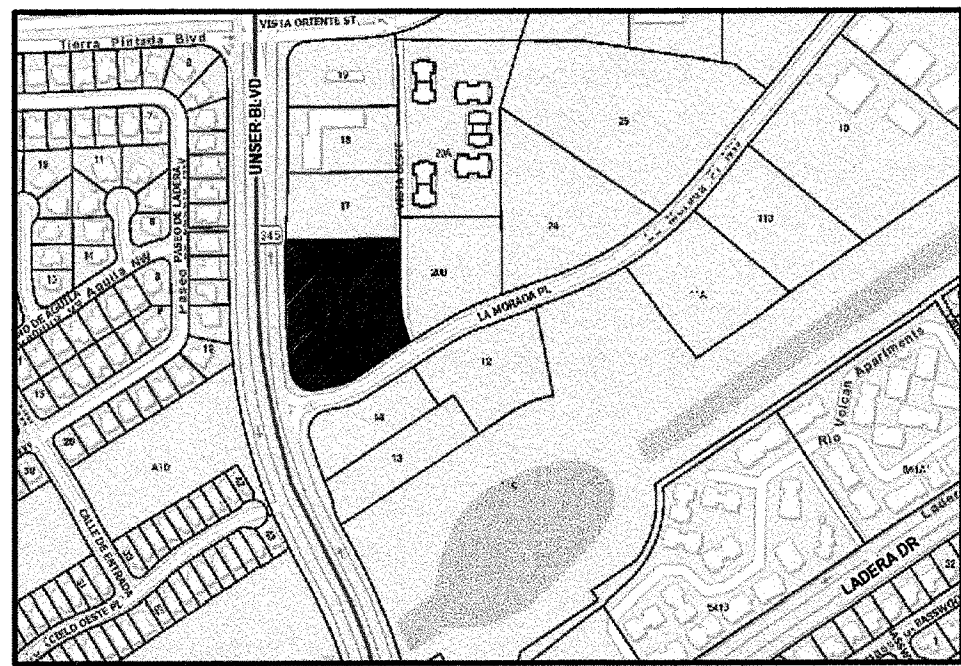
<i>Boquillat</i>	3/2/18
TRAFFIC ENGINEER, TRANSPORTATION DIVISION	Date
<i>ABCWUA</i>	3-26-18
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CITY ENGINEER, HYDROLOG	Date
<i>22</i>	3/2/18
CODE ENFORCEMENT	Date
<i>Chas. Williams</i>	4-19-18
ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL)	Date
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DRB CHAIRPERSON, PLANNING DEPARTMENT	Date
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NUMBER	DELTA ANGLE	CHORD DIRECTION	RADIUS	ARC LENGTH	CHORD LENGTH
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C3	94°02'28"	S 55°00'53" E	60.00	98.48	87.79
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VICINITY MAP: ZONE ATLAS PAGE H-09-Z

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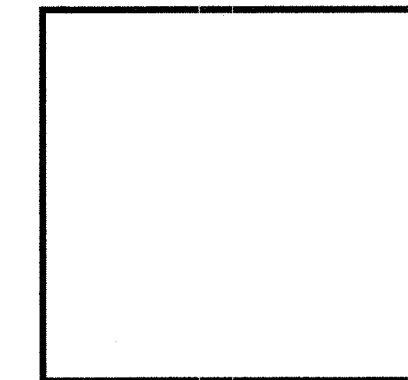
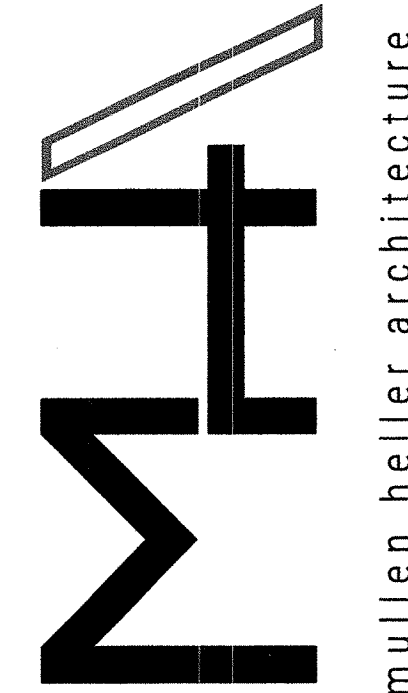
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TOTAL BICYCLE SPACES REQUIRED: = 5 SPACES

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REV	DATE	DESCRIPTION
1		
2		
3		
4		
5		



MULLEN HELLER ARCHITECTURE
1718 CENTRAL AVE SW | STE D
ALBUQUERQUE, NM 87104
P | 505.268.4144
F | 505.268.4244
www.mullenheller.com

JOB NUMBER 16-53

DRAWN BY AV

PROJECT MGR JDH

DATE 2-9-2018

PHASE CD

PROJECT
Las Limitas Plaza
2101 Vista Oeste
Albuquerque, NM 87120
TITLE
Architectural Site Plan

SHEET

A001

December 12, 2018

Racquel Michel, P.E., Transportation Development
Planning Department
Development and Building Services Division
City of Albuquerque
600 2nd Street NW.
Albuquerque, NM 87102

Re: **Permanent Certificate of Occupancy for
Las Lomas Plaza, Buildings 1 & 2 (Phase 2)
2101 Vista Oesta NW**

Dear Ms. Michel:

I, Douglas Heller, NMRA with Mullen Heller Architecture P.C., hereby certify that this project is in substantial compliance with and in accordance with the design intent of Approved DRB Site Development Plan dated April 26, 2018 (Project #1001523). The attached Site Development Plan show the "redlined" revisions made to the site plan during construction.

I further certify that I have personally visited the project site on December 10, 2018 and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief.

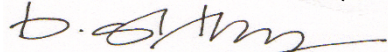
The site work that has been completed and is being reviewed as part of this submittal is the 2nd and final phase of the project, which includes the adjacent site work associated with Building #1 & Building #2. Phase 1, which included the associated site work to Building #3, was approved by for Permanent Certificate of Occupancy on August 29, 2018 and is shown shaded in grey on the attached site plan. There have been a few minor changes to the Phase 2 site plan during construction, which are noted on the attached drawing as well.

This certification is submitted in support of a request for Engineer's Certification (DRB Site Plan) for Permanent Certificate of Occupancy.

The record information presented herein is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

Please feel free to contact me if you have any questions.
Sincerely,

Mullen Heller Architecture, PC



Douglas Heller, AIA, LEED AP

Attachments: Approved DRB Site Development Plan for Building Permit, dated 4/26/18
Approved DRB Site Development Plan for Building Permit with as-built redlines,
dated 8/23/18



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: Las Lomitas Plaza, Buildings 1&2 **Building Permit #:** 2018-14739 & 2018-1931 **Hydrology File #:** _____
DRB#: 18DRB-70050 **EPC#:** _____ **Work Order#:** _____
Legal Description: Tract 15A, Ladera Business Park Unit 1
City Address: 2101 Vista Oeste NW

Applicant: Acoma Business Enterprises **Contact:** John Mohr
Address: PO Box 310 Acoma, NM 87034
Phone#: 505-850-7934 **Fax#:** _____ **E-mail:** jmohr@skycity.com

Other Contact: Mullen Heller Architecture, PC **Contact:** Douglas Heller
Address: 1718 Central Ave SW Suite D Albuquerque, NM 87104
Phone#: 505-268-4144 **Fax#:** 505-268-4244 **E-mail:** doug@mullenheller.com

TYPE OF DEVELOPMENT: _____ PLAT (# of lots) _____ RESIDENCE ☒ DRB SITE _____ ADMIN SITE

IS THIS A RESUBMITTAL? _____ Yes ☒ No

DEPARTMENT ☒ TRANSPORTATION _____ HYDROLOGY/DRAINAGE

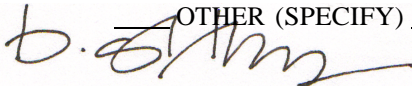
Check all that Apply:

TYPE OF SUBMITTAL:

- ☒ ENGINEER/ARCHITECT CERTIFICATION
☐ PAD CERTIFICATION
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ DRAINAGE REPORT
☐ DRAINAGE MASTER PLAN
☐ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
☐ ELEVATION CERTIFICATE
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ STREET LIGHT LAYOUT
☐ OTHER (SPECIFY) _____
☐ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY
☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR
☐ FLOODPLAIN DEVELOPMENT PERMIT
☐ OTHER (SPECIFY) _____

DATE SUBMITTED: 12/12/18 **By:** 

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____