



Richard J. Berry, Mayor

August 31, 2017

Mark Goodwin, P.E.
Mark Goodwin & Associates
PO Box 90606
Albuquerque, NM, 87199

**RE: Las Lomas Plaza – Phase 1
Grading Plan
Stamp Date: 8/22/17
Hydrology File: H10D031**

Dear Mr. Goodwin:

Based upon the information provided in your submittal received 8/24/2017, the Grading Plan **is not** approved for Building Permit. The following comments need to be addressed for approval of the above referenced project:

1. As stated this property is not in the 100 year flood zone. However, please provide the flood plain note with effective date.
2. Phase 1 is part of Tract 15 (1.24 ac) and Tract 16 (1.20 ac). The area noted for Phase 1 of 0.83 ac appears to be wrong and the grading plan for Phase 1 shows more than 1 acre of disturbance is being proposed. Therefore, an Erosion and Sediment Control Plan is required and has to be submitted to the storm water quality engineer (Curtis Cherne, PE, ccherne@cabq.gov). Hydrology's approval for Grading or Building Permit will not be given until the submittal of the ESC Plan.
3. For the first flush basins (the depressed landscape areas), please provide the volumes of each and indicate them on the Grading plan.
4. Please show some curb cuts so that the runoff can drain into the first flush basins and a curb cut so that the pond can drain. Also please show the drainage going into these basins and please provide weir calculations for the curb cuts.
5. Please show Cross Lot Drainage Easement agreement on the Grading & Drainage Plan specifying the beneficiary and maintenance agreement. If There is not agreement, a Cross Lot Drainage Easement Agreement is needed.

CITY OF ALBUQUERQUE



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6. Under Legal Description. Since this is just for Phase, please change the Tracts to just 15 & 16.
7. Please add the words, "Phase 1" to the project title.
8. Under Legend. Please add the two proposed Boxes showing the proposed TC & FL.
9. In general, please move the floating leaders for each of the TC & FL boxes to the correct curb location. There are multiple floating leaders.
10. Please add TC & FL information on the two islands in the Phase 1 parking area.

If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gov.

Sincerely,

Reneé C. Brissette

Reneé C. Brissette, P.E.
Senior Engineer, Hydrology
Planning Department

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

Project Title: _____ **Building Permit #:** _____ **City Drainage #:** _____
DRB#: _____ **EPC#:** _____ **Work Order#:** _____
Legal Description: _____
City Address: _____

Engineering Firm: _____ **Contact:** _____
Address: _____
Phone#: _____ **Fax#:** _____ **E-mail:** _____

Owner: _____ **Contact:** _____
Address: _____
Phone#: _____ **Fax#:** _____ **E-mail:** _____

Architect: _____ **Contact:** _____
Address: _____
Phone#: _____ **Fax#:** _____ **E-mail:** _____

Other Contact: _____ **Contact:** _____
Address: _____
Phone#: _____ **Fax#:** _____ **E-mail:** _____

Check all that Apply:

DEPARTMENT:

- HYDROLOGY/ DRAINAGE
- TRAFFIC/ TRANSPORTATION
- MS4/ EROSION & SEDIMENT CONTROL

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- BUILDING PERMIT APPROVAL
- CERTIFICATE OF OCCUPANCY
- PRELIMINARY PLAT APPROVAL
- SITE PLAN FOR SUB'D APPROVAL
- SITE PLAN FOR BLDG. PERMIT APPROVAL
- FINAL PLAT APPROVAL
- SIA/ RELEASE OF FINANCIAL GUARANTEE
- FOUNDATION PERMIT APPROVAL
- GRADING PERMIT APPROVAL
- SO-19 APPROVAL
- PAVING PERMIT APPROVAL
- GRADING/ PAD CERTIFICATION
- WORK ORDER APPROVAL
- CLOMR/LOMR

TYPE OF SUBMITTAL:

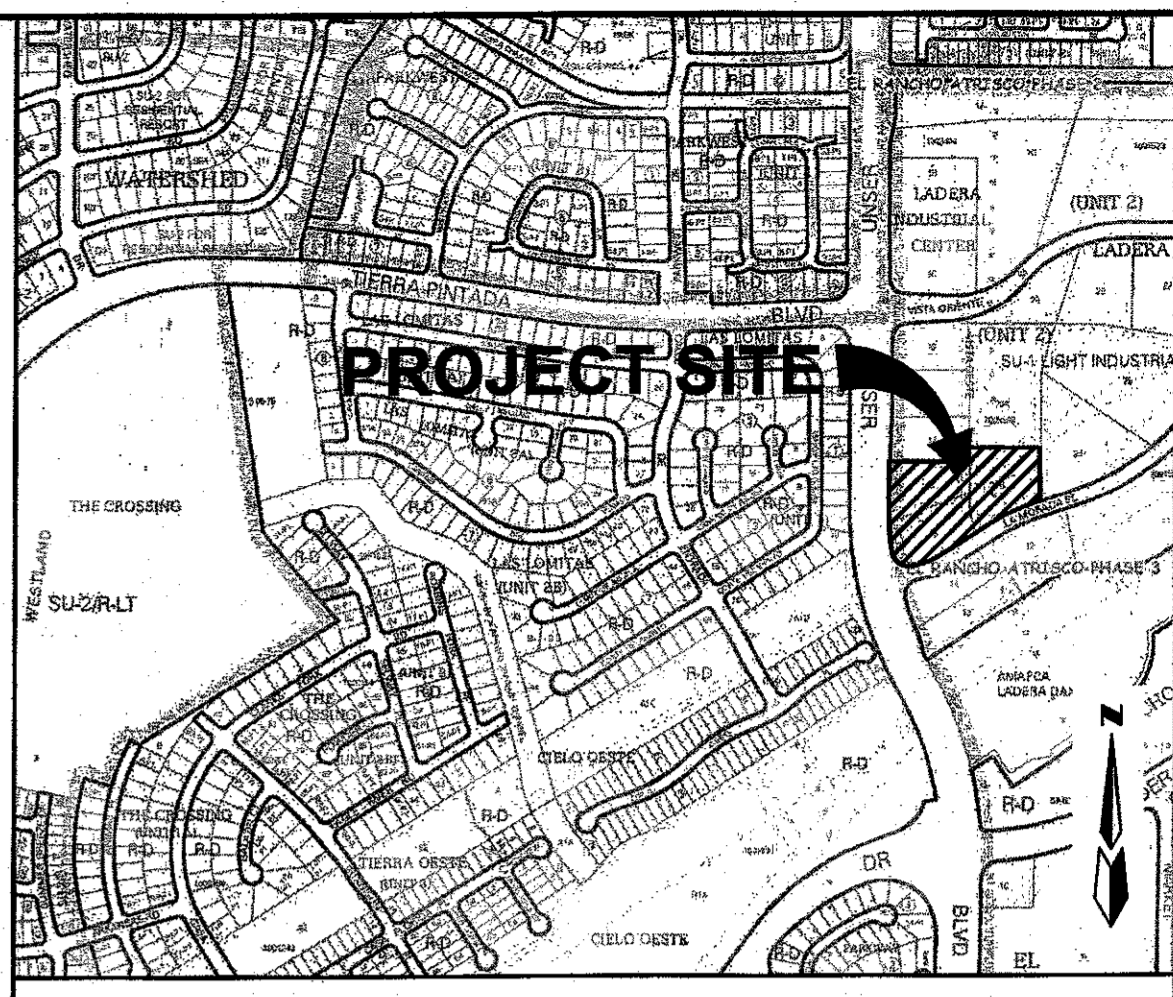
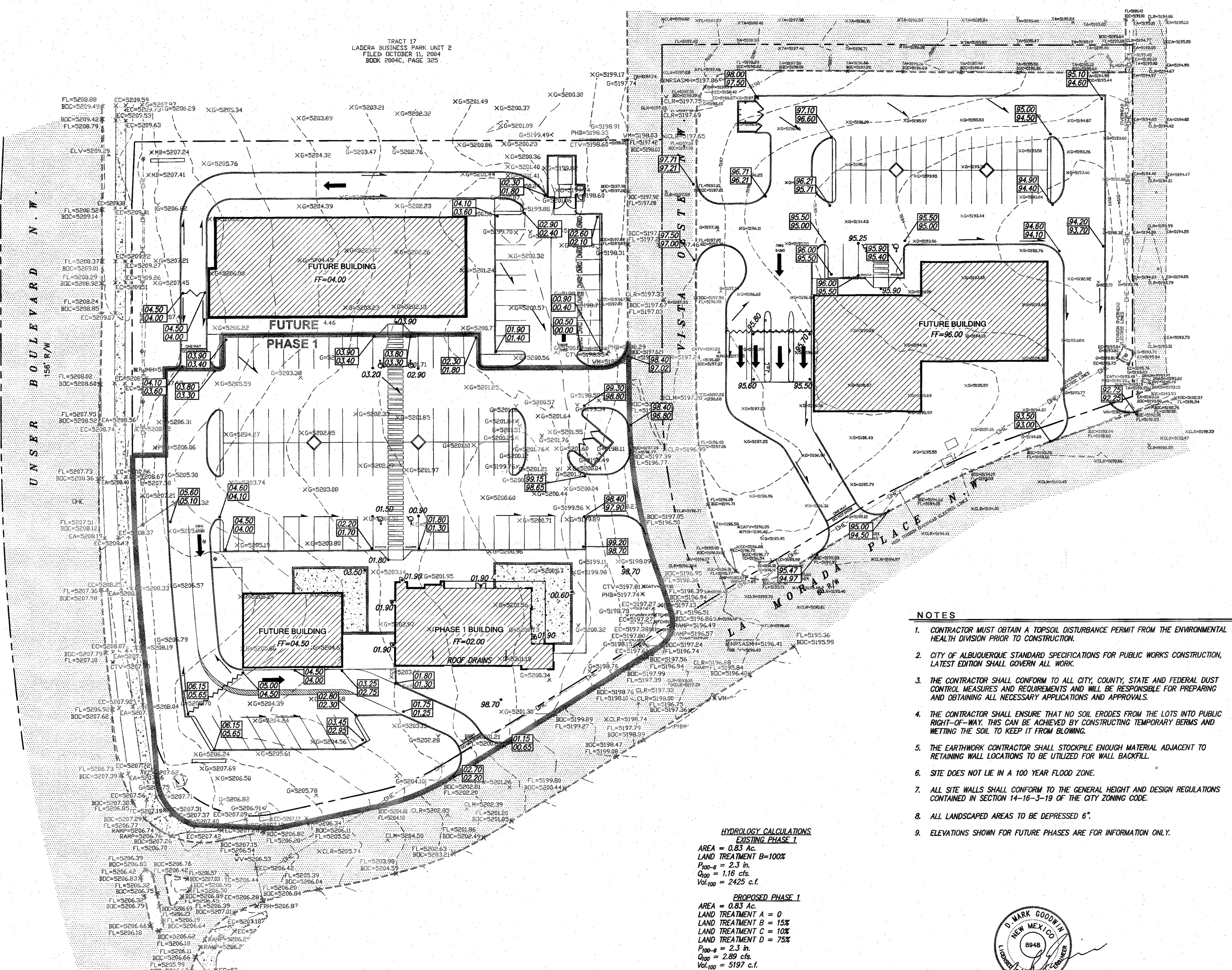
- ENGINEER/ ARCHITECT CERTIFICATION
- CONCEPTUAL G & D PLAN
- GRADING PLAN
- DRAINAGE MASTER PLAN
- DRAINAGE REPORT
- CLOMR/LOMR
- TRAFFIC CIRCULATION LAYOUT (TCL)
- TRAFFIC IMPACT STUDY (TIS)
- EROSION & SEDIMENT CONTROL PLAN (ESC)
- OTHER (SPECIFY) _____

- PRE-DESIGN MEETING
- OTHER (SPECIFY) _____

IS THIS A RESUBMITTAL?: Yes No

DATE SUBMITTED: _____ By: _____

COA STAFF: _____ ELECTRONIC SUBMITTAL RECEIVED: _____



VICINITY MAP ZONE MAP: H-9-Z

ACS BENCHMARK
 ELEVATIONS ARE BASED ON CITY OF ALBUQUERQUE STATION No. "4-H9", HAVING AN ELEVATION OF 5209.315, NAVD 1988

LEGAL DESCRIPTION
 TRACTS NUMBERED THIRTEEN (13), FOURTEEN (14), FIFTEEN (15) AND SIXTEEN (16) OF PLAT FOR LADERA BUSINESS PARK, UNIT 1, WITHIN THE TOWN OF ATRISCO GRANT, PROJECTED SECTION 9 AND 10, TOWNSHIP 10 NORTH, RANGE 2 EAST, N.M.P.M., CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, AS THE SAME ARE SHOWN AND DESIGNATED ON THE PLAT OF SAID SUBDIVISION, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON JANUARY 22, 2004, IN PLAT BOOK 2004C, PAGE 24.
 TRACT 20-B, LADERA BUSINESS PARK UNIT 2, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON JUNE 7, 2007, IN MAP BOOK 2007C, FOLIO 155.

LEGEND

---	EXISTING CONTOUR (MAJOR)
---	EXISTING CONTOUR (MINOR)
X G=5190.20	EXISTING GROUND SPOT ELEVATION
X FL=5190.20	EXISTING FLOWLINE ELEVATION
X BOC=5190.20	EXISTING BACK OF CURB ELEVATION
▨	EXISTING ASPHALT PAVEMENT
▨	EXISTING CONCRETE
---	EXISTING CURB & GUTTER
---OHE---	EXISTING OVERHEAD ELECTRIC LINE
---	EXISTING GUY WIRE
○	EXISTING POWER POLE
▨	EXISTING VALT/PEDESTAL
▨	NEW STANDARD CURB & GUTTER
▨	NEW RIGHT-OF-WAY
---	NEW CENTERLINE
---	NEW LOT LINES
---	NEW EASEMENTS
▨	NEW RETAINING WALL
▨	NEW STORM DRAIN
.81.77	NEW SPOT ELEVATIONS
---	NEW FLOW DIRECTION
---	NEW WATER BLOCK
• 00.00TW	TOP OF RETAINING WALL
• 00.00BW	BOTTOM OF RETAINING WALL

- NOTES
1. CONTRACTOR MUST OBTAIN A TOPSOIL DISTURBANCE PERMIT FROM THE ENVIRONMENTAL HEALTH DIVISION PRIOR TO CONSTRUCTION.
 2. CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, LATEST EDITION SHALL GOVERN ALL WORK.
 3. THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE AND FEDERAL DUST CONTROL MEASURES AND REQUIREMENTS AND WILL BE RESPONSIBLE FOR PREPARING AND OBTAINING ALL NECESSARY APPLICATIONS AND APPROVALS.
 4. THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE LOTS INTO PUBLIC RIGHT-OF-WAY. THIS CAN BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS AND WETTING THE SOIL TO KEEP IT FROM BLOWING.
 5. THE EARTHWORK CONTRACTOR SHALL STOCKPILE ENOUGH MATERIAL ADJACENT TO RETAINING WALL LOCATIONS TO BE UTILIZED FOR WALL BACKFILL.
 6. SITE DOES NOT LIE IN A 100 YEAR FLOOD ZONE.
 7. ALL SITE WALLS SHALL CONFORM TO THE GENERAL HEIGHT AND DESIGN REGULATIONS CONTAINED IN SECTION 14-16-3-19 OF THE CITY ZONING CODE.
 8. ALL LANDSCAPED AREAS TO BE DEPRESSED 6".
 9. ELEVATIONS SHOWN FOR FUTURE PHASES ARE FOR INFORMATION ONLY.

HYDROLOGY CALCULATIONS

EXISTING PHASE 1
 AREA = 0.83 Ac.
 LAND TREATMENT B=100%
 $P_{100} = 2.3$ in.
 $Q_{100} = 1.16$ cfs.
 $V_{100} = 2425$ c.f.

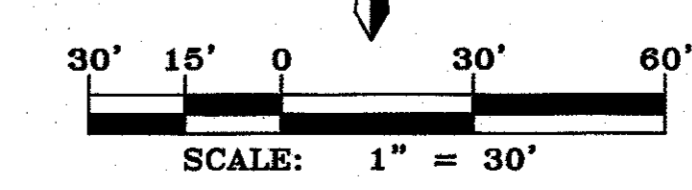
PROPOSED PHASE 1
 AREA = 0.83 Ac.
 LAND TREATMENT A = 0
 LAND TREATMENT B = 15%
 LAND TREATMENT C = 10%
 LAND TREATMENT D = 75%
 $P_{100} = 2.3$ in.
 $Q_{100} = 2.89$ cfs.
 $V_{100} = 5197$ c.f.

FIRST FLUSH PHASE 1

IMPERVIOUS AREA = 27,116 s.f.
 FIRST FLUSH VOL. REQD. = $(1A)(0.34)(1/12)$
 = $(27,116)(.34)(1/12)$
 = 768 c.f.
 LANDSCAPED AREA = 5423 s.f.
 FIRST FLUSH VOLUME PROVIDED = $(5423)(0.5) = 2712$ c.f.

DRAINAGE SUMMARY

THE PROJECT ENTAILS PHASE 1 CONSTRUCTION OF 1 OF 4 BUILDINGS WITHIN THE MASTER PLANNED LADERA BUSINESS PARK. DIRECT DISCHARGE IS TO THE EXISTING PAVED VISTA GULCH AND LA MORADA PLAZA FOR CONVEYANCE DOWNSTREAM. THE LANDSCAPE AREAS WILL BE DEPRESSED TO ACCOMMODATE THE "FIRST FLUSH". EACH PHASE WILL REQUIRE AN UP-DATED GRADING & DRAINAGE PLAN.



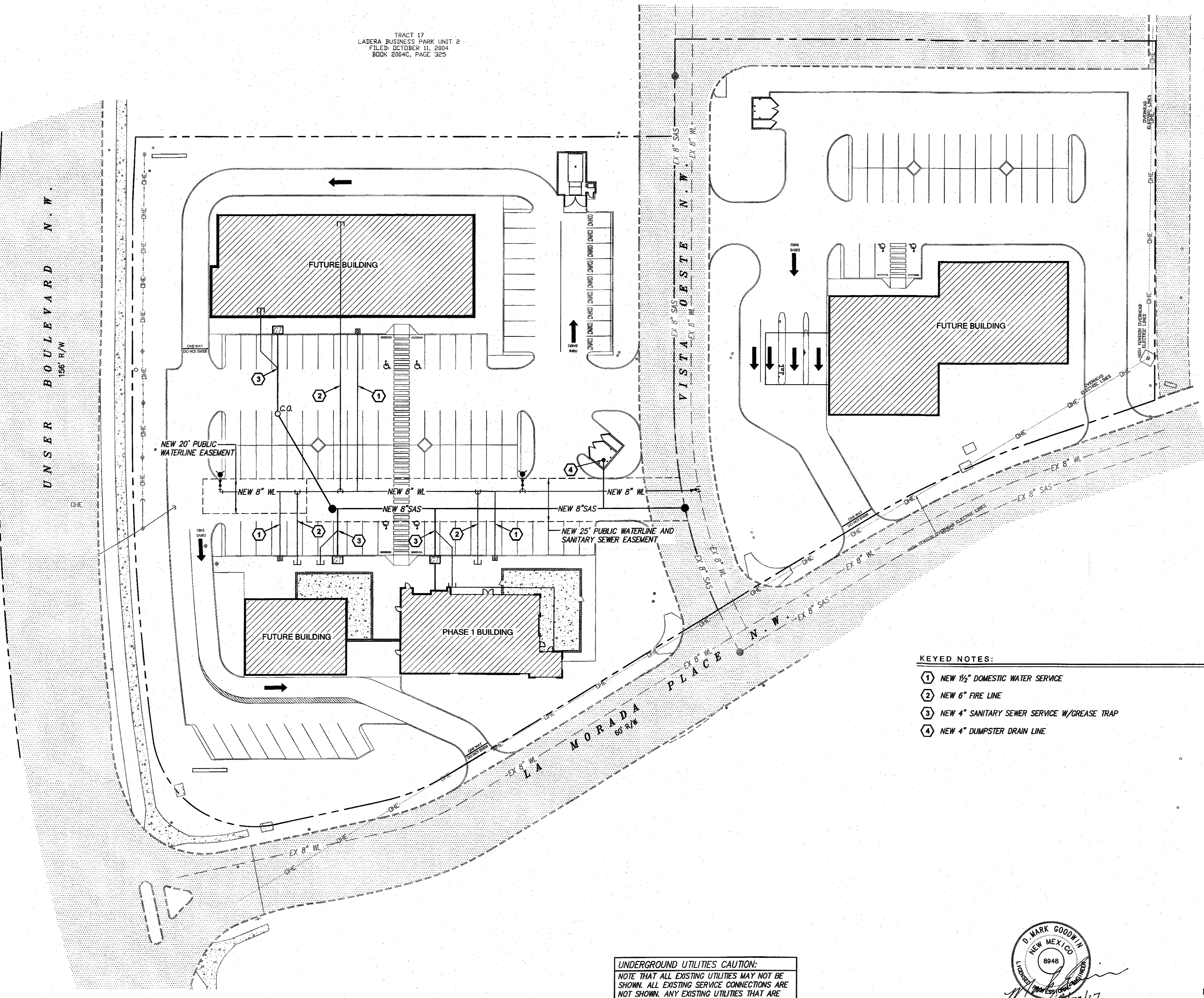
LAS LOMITAS PLAZA
 GRADING & DRAINAGE PLAN

dmg MARK GOODWIN & ASSOCIATES, P.A.
 CONSULTING ENGINEERS
 P.O. BOX 90606
 ALBUQUERQUE, NEW MEXICO 87199
 (505)828-2200, FAX (505)797-9539

Designed: DMG	Drawn: DER	Checked: DMG	Sheet
Scale: 1" = 1'	Date: 8/9/17	Job: A17040	C-1 of 2

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TRACT 17
 LADERA BUSINESS PARK UNIT 2
 FILED: OCTOBER 11, 2004
 BOOK 2004C, PAGE 325



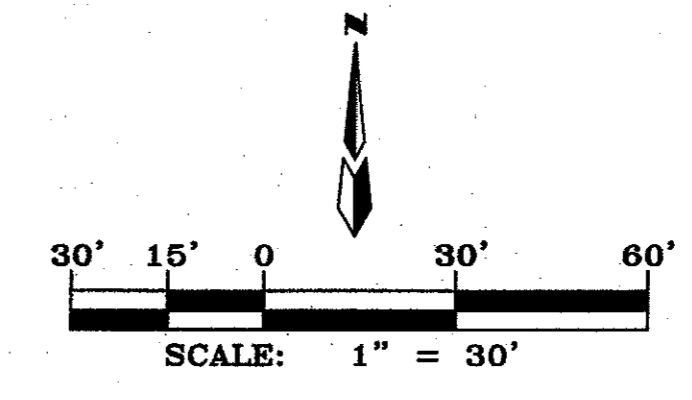
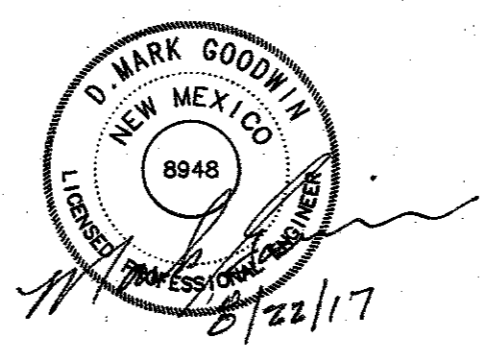
LEGEND

— EX WL —	EXISTING WATERLINE
⊗	EXISTING GATE VALVE
⊙	EXISTING FIRE HYDRANT
— EX SAS —	EXISTING SANITARY SEWER
●	EXISTING SANITARY SEWER MANHOLE
▨	EXISTING ASPHALT PAVEMENT
▩	EXISTING CONCRETE
---	EXISTING CURB & GUTTER
— CHE —	EXISTING OVERHEAD ELECTRIC LINE
—	EXISTING GUY WIRE
○	EXISTING POWER POLE
⊕	EXISTING VALT/PEDESTAL
---	NEW STANDARD CURB & GUTTER
---	NEW RIGHT-OF-WAY
---	NEW CENTERLINE
---	NEW LOT LINES
---	NEW EASEMENTS
---	NEW RETAINING WALL
---	NEW 24" RCP
⊙	NEW STORM DRAIN MANHOLE
— 6" WL —	NEW WATERLINE
⊗	NEW GATE VALVE
⊕	NEW TEE
⊙	NEW FIRE HYDRANT
⊕	NEW WATERLINE SERVICE & METER BOX
— 8" SAS —	NEW SANITARY SEWER LINE
●	NEW SANITARY SEWER MANHOLE
⊕	NEW SANITARY SEWER SERVICE
⊕	NEW SANITARY SEWER CLEANOUT
⊕	NEW SANITARY SEWER SERVICE GREASE TRAP

- KEYED NOTES:**
- ① NEW 1/2" DOMESTIC WATER SERVICE
 - ② NEW 6" FIRE LINE
 - ③ NEW 4" SANITARY SEWER SERVICE W/GREASE TRAP
 - ④ NEW 4" DUMPSTER DRAIN LINE

- STANDARD UTILITY NOTES:**
1. All waterline is C-900 PVC pipe and all sanitary sewer is SDR35 PVC pipe and all storm drain is RCP Class III unless noted otherwise on the plans.
 2. EMD's shall be installed on all waterline and sanitary sewer appurtenances as per section 170 of Standard Specifications.
 3. All waterline services shall be 1 1/2" unless noted otherwise on plans.
 4. All Gate Valve per Std Dwg 2326 and 2328.
 5. Manholes Type "C" per Std Dwg 2101.
 6. Manholes Type "E" per Std Dwg 2102.
 7. Water services per Standard Dwg 2367 (for 1-1/2" and 2" services).
 8. SAS services into main line per Std Dwg 2125.
 9. SAS services into manholes per Std Dwg 2118.

UNDERGROUND UTILITIES CAUTION:
 NOTE THAT ALL EXISTING UTILITIES MAY NOT BE SHOWN. ALL EXISTING SERVICE CONNECTIONS ARE NOT SHOWN. ANY EXISTING UTILITIES THAT ARE SHOWN ARE APPROXIMATE LOCATION ONLY. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONTACT ALL THE UTILITY OWNERS AND TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATIONS TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS.



LAS LOMITAS PLAZA
ON-SITE UTILITY PLAN

dmg MARK GOODWIN & ASSOCIATES, P.A.
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