

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

May 2, 2023

Martin Garcia, P.E.
Anchor Engineering LLC
1035 S. Bosque Loop
Bosque Farms, NM, 87123

RE: T&M Self Storage
2301 Vista Oriente St NW
Permanent C.O. – Accepted
Engineer's Certification Date: 04/20/23
Engineer's Stamp Date: 02/12/19
Hydrology File: H10D032

Dear Mr. Garcia:

PO Box 1293

Based on the Certification received 04/21/2023 and site visit on 04/28/2023, this letter serves as a “green tag” from Hydrology Section for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

Albuquerque

If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gov .

NM 87103

Sincerely,

www.cabq.gov

Renée C. Brissette, P.E. CFM
Senior Engineer, Hydrology
Planning Department



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 10/2018)

Project Title: _____ **Building Permit #:** _____ **Hydrology File #:** _____

DRB#: _____ **EPC#:** _____ **Work Order#:** _____

Legal Description: _____

City Address: _____

Applicant: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Other Contact: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

TYPE OF DEVELOPMENT: _____ PLAT (# of lots) _____ RESIDENCE _____ DRB SITE _____ ADMIN SITE

IS THIS A RESUBMITTAL? _____ Yes _____ No

DEPARTMENT: _____ TRAFFIC/TRANSPORTATION _____ HYDROLOGY/DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

- _____ ENGINEER/ARCHITECT CERTIFICATION
- _____ PAD CERTIFICATION
- _____ CONCEPTUAL G & D PLAN
- _____ GRADING PLAN
- _____ DRAINAGE MASTER PLAN
- _____ DRAINAGE REPORT
- _____ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- _____ ELEVATION CERTIFICATE
- _____ CLOMR/LOMR
- _____ TRAFFIC CIRCULATION LAYOUT (TCL)
- _____ TRAFFIC IMPACT STUDY (TIS)
- _____ OTHER (SPECIFY) _____
- _____ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

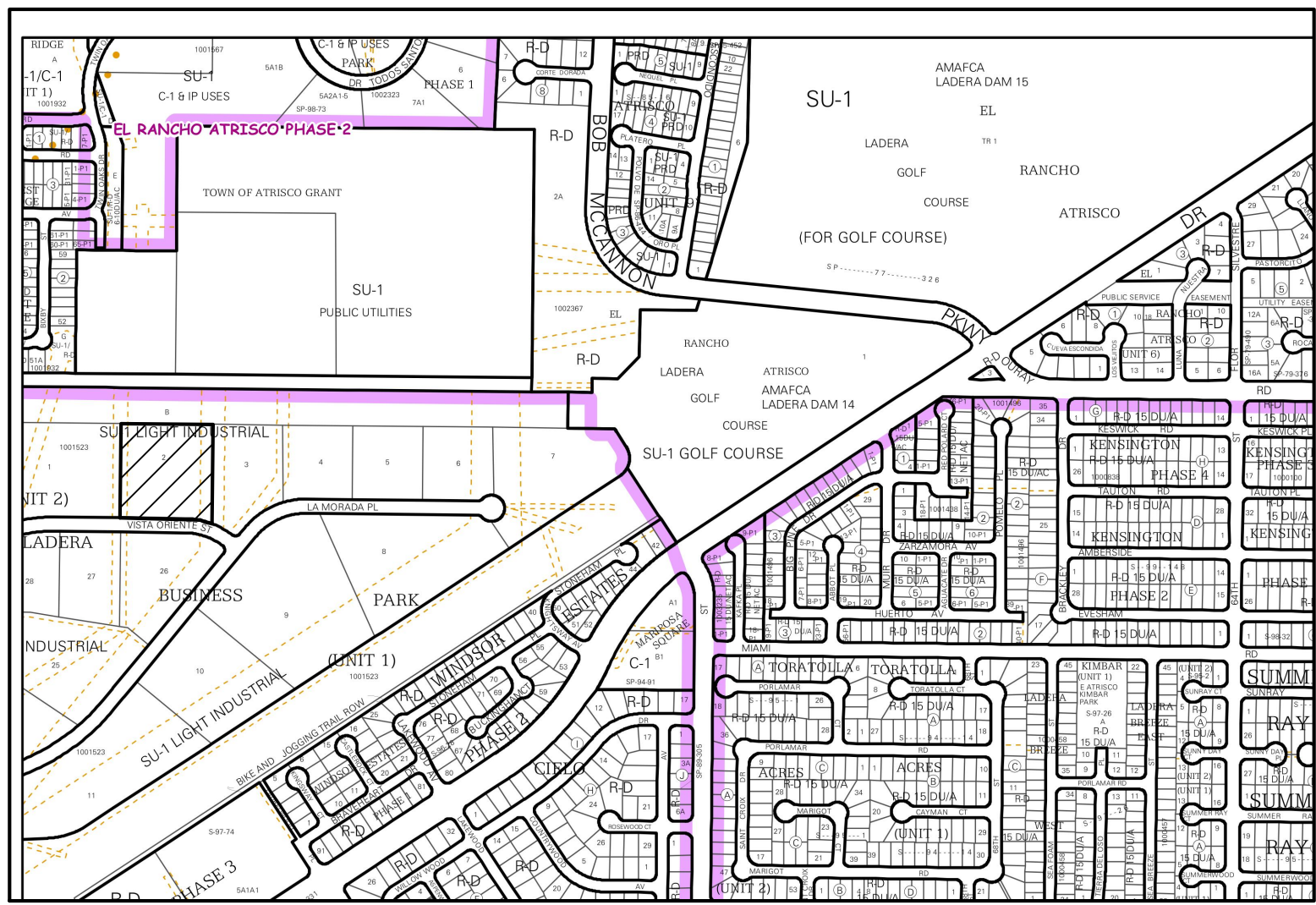
- _____ BUILDING PERMIT APPROVAL
- _____ CERTIFICATE OF OCCUPANCY
- _____ PRELIMINARY PLAT APPROVAL
- _____ SITE PLAN FOR SUB'D APPROVAL
- _____ SITE PLAN FOR BLDG. PERMIT APPROVAL
- _____ FINAL PLAT APPROVAL
- _____ SIA/ RELEASE OF FINANCIAL GUARANTEE
- _____ FOUNDATION PERMIT APPROVAL
- _____ GRADING PERMIT APPROVAL
- _____ SO-19 APPROVAL
- _____ PAVING PERMIT APPROVAL
- _____ GRADING/ PAD CERTIFICATION
- _____ WORK ORDER APPROVAL
- _____ CLOMR/LOMR
- _____ FLOODPLAIN DEVELOPMENT PERMIT
- _____ OTHER (SPECIFY) _____

DATE SUBMITTED: _____ **By:** _____

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____



Drainage Narrative

THE PURPOSE OF THIS GRADING AND DRAINAGE PLAN FOR 2301 VISTA ORIENTE STREET N.W. IS TO ACCOMMODATE A NEW SELF STORAGE FACILITY AND PROVIDE FOR POSITIVE DRAINAGE AWAY FROM ALL STRUCTURES AS DEMONSTRATED HEREON.

CURRENTLY THE SITE IS AN UNIMPROVED LOT BOUNDED TO THE WEST AND EAST BY UNIMPROVED LOTS, TO THE NORTH BY THE LADERA DIVERSION CHANNEL AND TO THE SOUTH BY VISTA ORIENTE STREET, AND CURRENTLY SLOPES FROM THE WEST TO THE EAST AT A SLOPE OF 2.2% ACCEPTING THE OFFSITE FLOWS FROM THE WEST AND DISCHARGING TO THE VACANT LOT TO THE EAST. THE PROPOSED GRADING AND DRAINAGE PLAN WOULD ACCOMMODATE ALL OF THE RUN-OFF FROM THE PROPOSED CONSTRUCTION TO DRAIN TO THE SOUTHEAST TO A STORM WATER QUALITY POND WITH A STORM DRAIN INLET THAT WILL CONNECT TO THE EXISTING 18" CMP STUB AS SHOWN. THE SITE HAS FREE DISCHARGE INTO THE STORM DRAIN.

THE SITE IS OUTSIDE OF THE FLOOD PLAIN AS DESIGNATED AS ZONE "X" PER FEMA FLOOD PLAIN PANEL 35001C0326J, DATED NOVEMBER 4, 2016.

Drainage Calculations

VISTA ORIENTE SELF STORAGE

Hydrology Calculations

DPM - Section 22.2

Volume 2, January 1993

Precipitation Zone **1**

100 Year Storm Depth, P (360) **2.2**

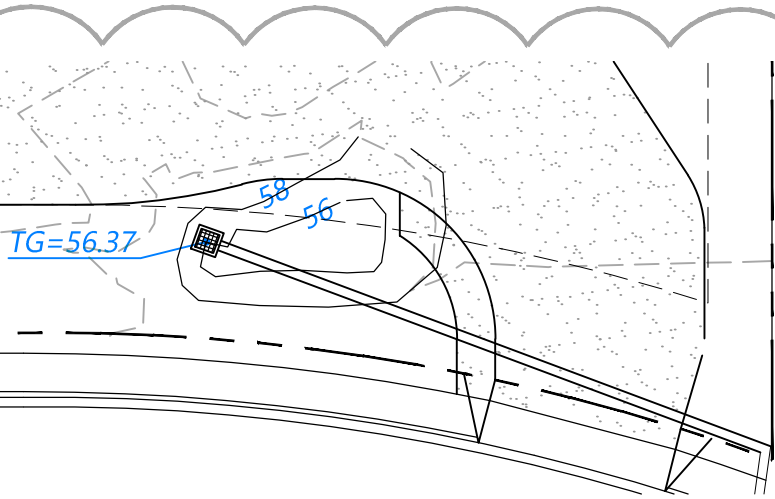
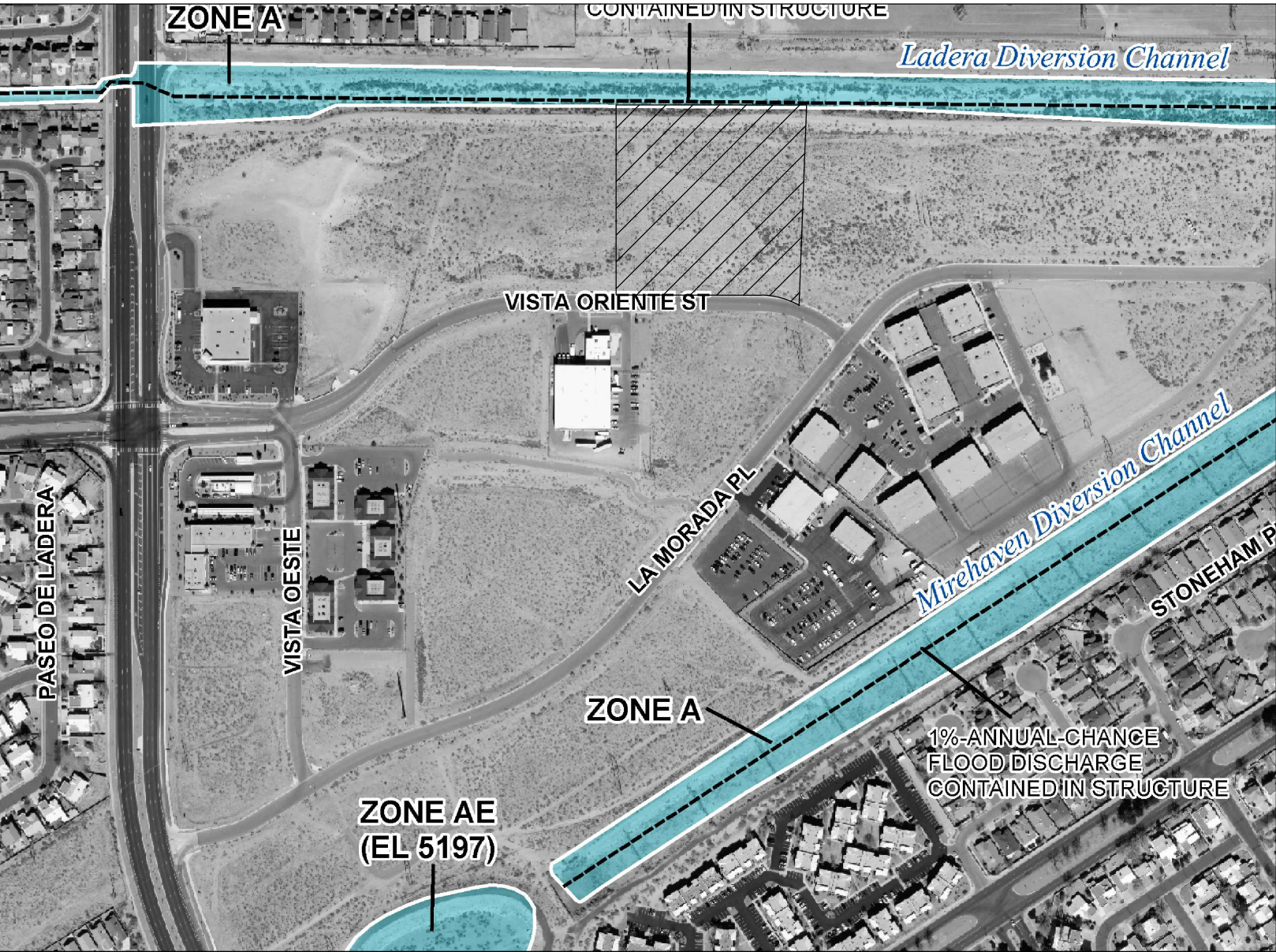
Treatment Area	A	B	C	D
Excess Precipitation Factors	0.44	0.67	0.99	1.97
Peak Discharge Factors	1.29	2.03	2.87	4.37

Land Treatment Area	Acres	Existing	Proposed
Type "D" (Roof)		0	2.85
Type "C" (Unpaved Roadway)		0	0.27
Type "B" (Irrigated Lawns)		0	0.44
Type "A" (Undeveloped)		3.56	0.00

Total (Acres)	3.56	3.56
Excess Precipitation(in)	0.44	1.74

Volume (100), cf	5686.03	22421.06
Volume (10),cf	3809.64	15022.11
Q (100), cfs	4.59	14.12
Q (10), cfs	3.08	9.46

FEMA Map



A56 = 227.40
A57 = 785.68
A58 = 1343.97

227.40+785.68+1343.97 = 2,217.16 CF

NOTE: THE PLAN ABOVE SHOWS THE AS-BUILT POND CONDITIONS PER SURVEY PROVIDED APRIL 12, 2023, BY FIERRO & COMPANY

AS-BUILT POND

SCALE: 1" = 30'

Pond Calculations

STORM WATER POND

IMPERVIOUS AREA — 2.85 x 43560 = 124146.00 SF

PONDING REQUIRED — $124146.00 \times \frac{34}{12} = 3517.47$ CF

PONDING PROVIDED:

A57 = 1015.85 SF
A58 = 1754.38 SF
A59 = 3331.09 SF

$VOL\ 57,\ 58\ \&\ 59: 1015.85+1754.38+3331.09 = \frac{6101.32}{3} \times 2 = 3559.10\ CF$

SEE CALCULATIONS ABOVE

As-Built Certification

I, MARTIN J. GARCIA, of the firm, Anchor Engineering LLC, a Registered Professional Engineer in the state of New Mexico, do hereby certify, to the best of my knowledge and belief, that the grading shown on this plan has been inspected by me and the site has been constructed in accordance with the approved plans and that the original design intent of the approved plans has been met, except as noted by me on the as-built construction drawings. This certification is based survey information performed by Fierro & Company, July 2021 & April 2023 during the construction process.



GRADING AND DRAINAGE PLAN

SCALE: 1" = 30'

Legend

---	PROPERTY BOUNDARY	---	EXISTING CURB AND GUTTER
-5169-	EXISTING CONTOUR	---	NEW STRUCTURE
---	EXISTING SETBACK	---	NEW CONTOUR
PP	EXISTING POWER POLE	69	SPOT ELEVATION
TEL	EXISTING HYDRANT	69.00	NEW PERIMETER FENCE
---	EXISTING TELEPHONE PEDESTAL	FF	FINISH FLOOR

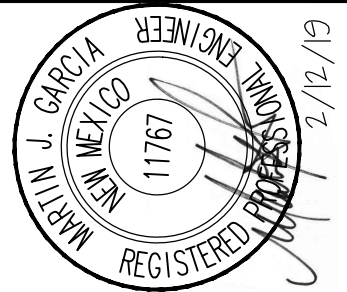
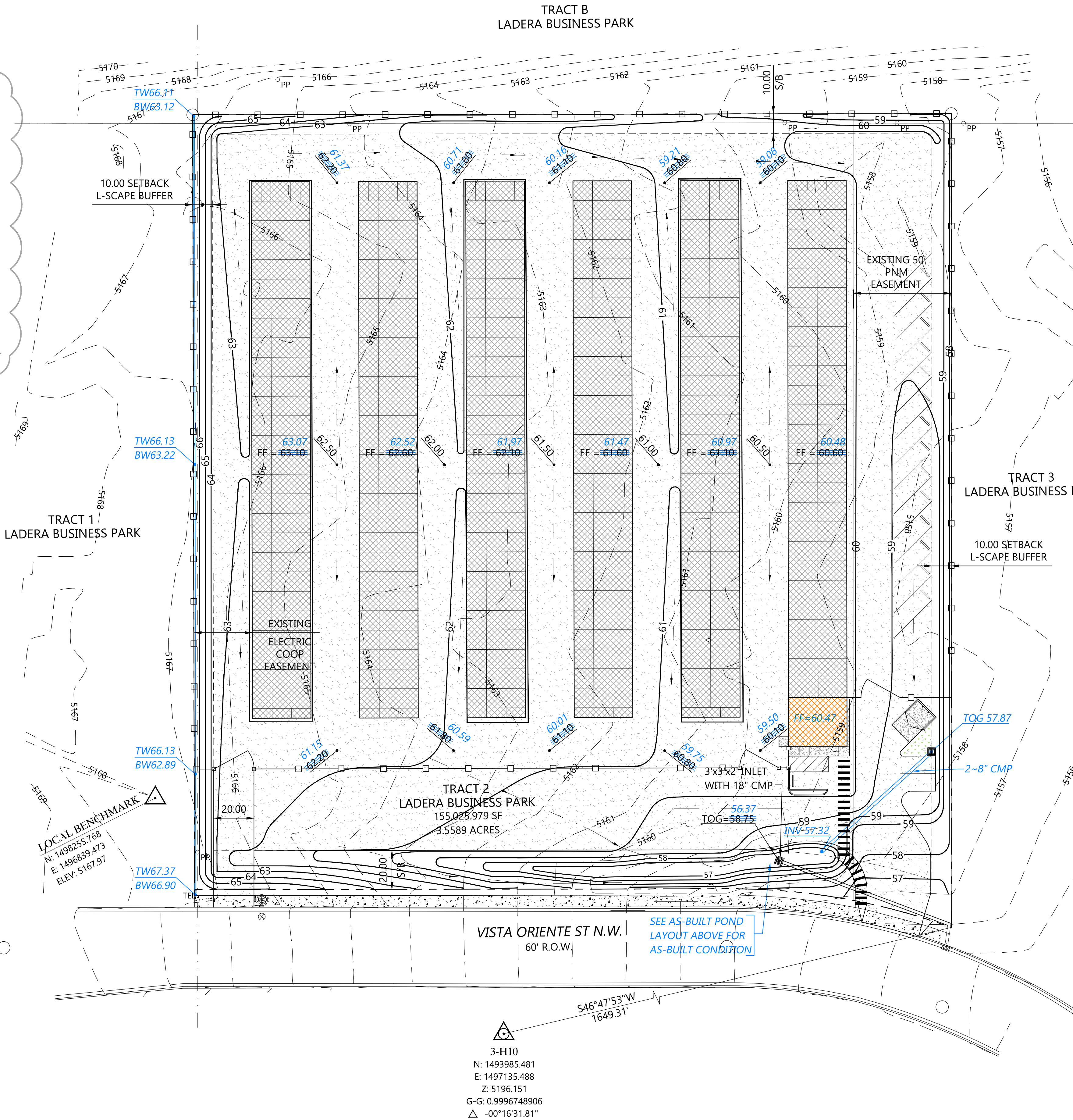
Project Benchmark

PROJECT BENCHMARK:
THE PROJECT BENCHMARK FOR THIS SITE IS AN ACS BRASS MONUMENT STAMPED "3-H10"
N: 1493985.481
E: 1497135.488 (NAD83)
ELEV = 5196.151 (NAVD88)



0 15 30 60
1" = 30'

LOCAL BENCHMARK:
A SET NAIL WITH FLAGGING AS SHOWN HEREON
N: 1498255.768
E: 1496839.473
ELEV: 5167.97



Anchor Engineering, LLC

1160 Bosque Farms Blvd, Suite E, Bosque Farms, NM 87068
martin@anchoreng.net
905.361.1530

NO.	DATE	COMMENTS
1		
2		
3		
4		
5		
6		
7		
8		
9		
10		
11		
12		
13		
14		
15		
16		
17		
18		
19		
20		
21		
22		
23		
24		
25		
26		
27		
28		
29		
30		
31		
32		
33		
34		
35		
36		
37		
38		
39		
40		
41		
42		
43		
44		
45		
46		
47		
48		
49		
50		
51		
52		
53		
54		
55		
56		
57		
58		
59		
60		
61		
62		
63		
64		
65		
66		
67		
68		
69		
70		
71		
72		
73		
74		
75		
76		
77		
78		
79		
80		
81		
82		
83		
84		
85		
86		
87		
88		
89		
90		
91		
92		
93		
94		
95		
96		
97		
98		
99		
100		

PROJECT NO.	DATE	DRAWN BY	CHECKED BY	SCALE
17-077	FEB 2019	F. PHILLIPS	M. GARCIA	1" = 30'

PROJECT TITLE	T&M SELF STORAGE 2301 VISTA ORIENTE STREET N.W. ALBUQUERQUE, NEW MEXICO
SHEET TITLE	GRADING AND DRAINAGE PLAN

SHEET

C2