

# CITY OF ALBUQUERQUE



April 3, 2019

Anchor Engineering  
Martin J. Garcia  
1160 Bosque Farms Blvd Suite E,  
Albuquerque, NM 87068

**Re: T&M self storage**  
**2301 Vista Oriente Street NW**  
**Traffic Circulation Layout**  
Engineer's/Architect's Stamp **02-12-2019** (H10D032)

Dear Mr. Garcia,

The TCL submittal received 04-01-2019 is approved for Building Permit with. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

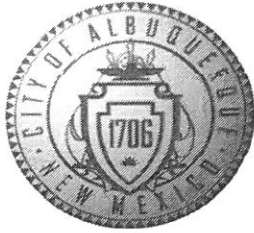
When the site construction is completed and a Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

Mojgan Maadandar, E.I.  
Associate Engineer, Planning Dept.  
Development Review Services

/MM via: email  
C: File



# City of Albuquerque

Planning Department  
Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 11/2018)

Project Title: T&M Self Storage Building Permit #: \_\_\_\_\_ Hydrology File #: H10D031 **2**  
DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ Work Order#: \_\_\_\_\_  
Legal Description: Tract 2, Ladera Business Park  
City Address: 2301 Vista Oriente Street N.W.

Applicant: Anchor Engineering Contact: Martin J. Garcia  
Address: 1160 Bosque Farms Blvd Suite E, Bosque Farms, NM 87068  
Phone#: 505.362.1530 Fax#: \_\_\_\_\_ E-mail: martin@anchoreng.net  
Owner: Robert Hills Contact: \_\_\_\_\_  
Address: 2005 Redondo Peak NW Albuquerque, NM 87120  
Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

TYPE OF SUBMITTAL: \_\_\_\_\_ PLAT ( \_\_\_\_\_ # OF LOTS) \_\_\_\_\_ RESIDENCE \_\_\_\_\_ DRB SITE ☒ ADMIN SITE

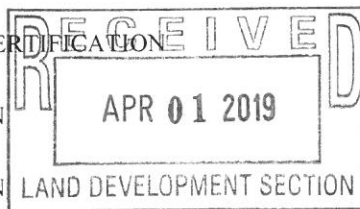
IS THIS A RESUBMITTAL?: ☒ Yes \_\_\_\_\_ No

DEPARTMENT: ☒ TRAFFIC/ TRANSPORTATION \_\_\_\_\_ HYDROLOGY/ DRAINAGE

Check all that Apply:

### TYPE OF SUBMITTAL:

- \_\_\_\_\_ ENGINEER/ARCHITECT CERTIFICATION
- \_\_\_\_\_ PAD CERTIFICATION
- \_\_\_\_\_ CONCEPTUAL G & D PLAN
- \_\_\_\_\_ GRADING PLAN
- \_\_\_\_\_ DRAINAGE MASTER PLAN
- \_\_\_\_\_ DRAINAGE REPORT
- \_\_\_\_\_ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- \_\_\_\_\_ ELEVATION CERTIFICATE
- \_\_\_\_\_ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
- \_\_\_\_\_ TRAFFIC IMPACT STUDY (TIS)
- \_\_\_\_\_ OTHER (SPECIFY) \_\_\_\_\_
- \_\_\_\_\_ PRE-DESIGN MEETING?



### TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- \_\_\_\_\_ BUILDING PERMIT APPROVAL
- \_\_\_\_\_ CERTIFICATE OF OCCUPANCY
- \_\_\_\_\_ PRELIMINARY PLAT APPROVAL
- \_\_\_\_\_ SITE PLAN FOR SUB'D APPROVAL
- \_\_\_\_\_ SITE PLAN FOR BLDG. PERMIT APPROVAL
- \_\_\_\_\_ FINAL PLAT APPROVAL
- \_\_\_\_\_ SIA/ RELEASE OF FINANCIAL GUARANTEE
- \_\_\_\_\_ FOUNDATION PERMIT APPROVAL
- \_\_\_\_\_ GRADING PERMIT APPROVAL
- \_\_\_\_\_ SO-19 APPROVAL
- \_\_\_\_\_ PAVING PERMIT APPROVAL
- \_\_\_\_\_ GRADING/ PAD CERTIFICATION
- \_\_\_\_\_ WORK ORDER APPROVAL
- \_\_\_\_\_ CLOMR/LOMR
- \_\_\_\_\_ FLOODPLAIN DEVELOPMENT PERMIT
- \_\_\_\_\_ OTHER (SPECIFY) \_\_\_\_\_

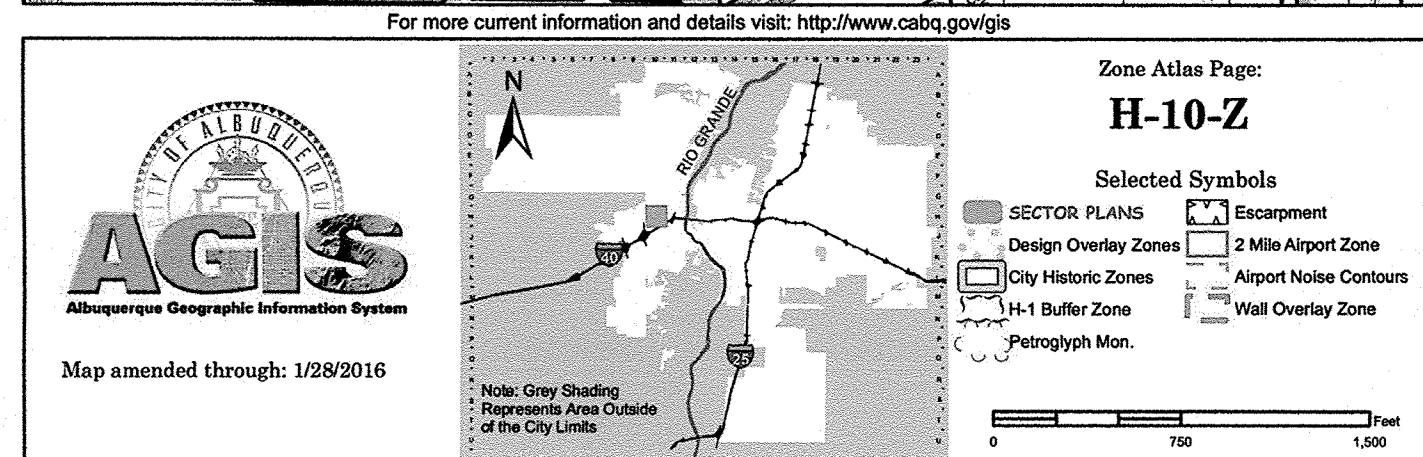
DATE SUBMITTED: 3/28/19 By: Francis Phillips

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_

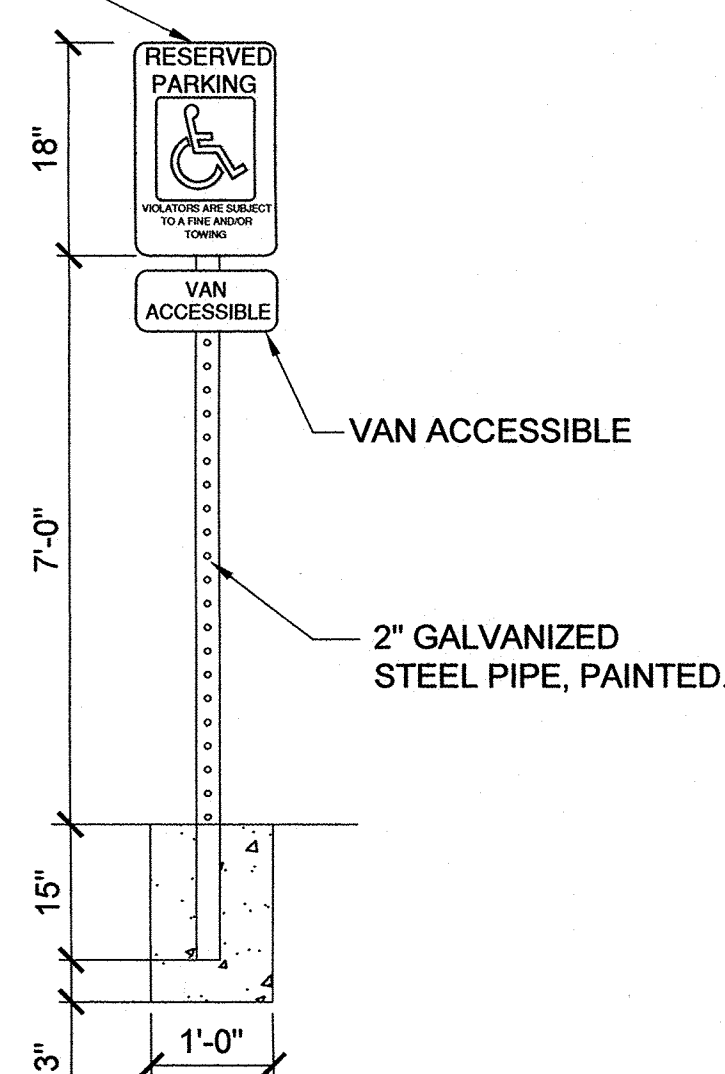
FEE PAID: \_\_\_\_\_





**Parcel Information**  
 Site Address:  
 2301 Vista Oriente Road N.W.  
 Albuquerque, NM  
 UPC: 1-010-059-058-354-201-09  
 Zoning Designation: NR-C

12x18 SIGN WITH INTERNATIONAL HANDICAP SYMBOL AND "HANDICAP PARKING" MESSAGE



**SIGNAGE DETAILS**  
 SCALE: NTS

**Parking Analysis**  
 1 SPACE REQUIRED PER EVERY 200 SQ FT (OFFICE SPACE)  
 1 SPACE REQUIRED FOR EVERY 2000 SQ FT (GARAGE SPACE)  
 10% REDUCTION PERMITTED PER CITY OF ALBUQUERQUE PARKING ORDINANCE FOR PROXIMITY TO PUBLIC TRANSPORTATION.

$$49950 \text{ SF} / 3000 = 16.65$$

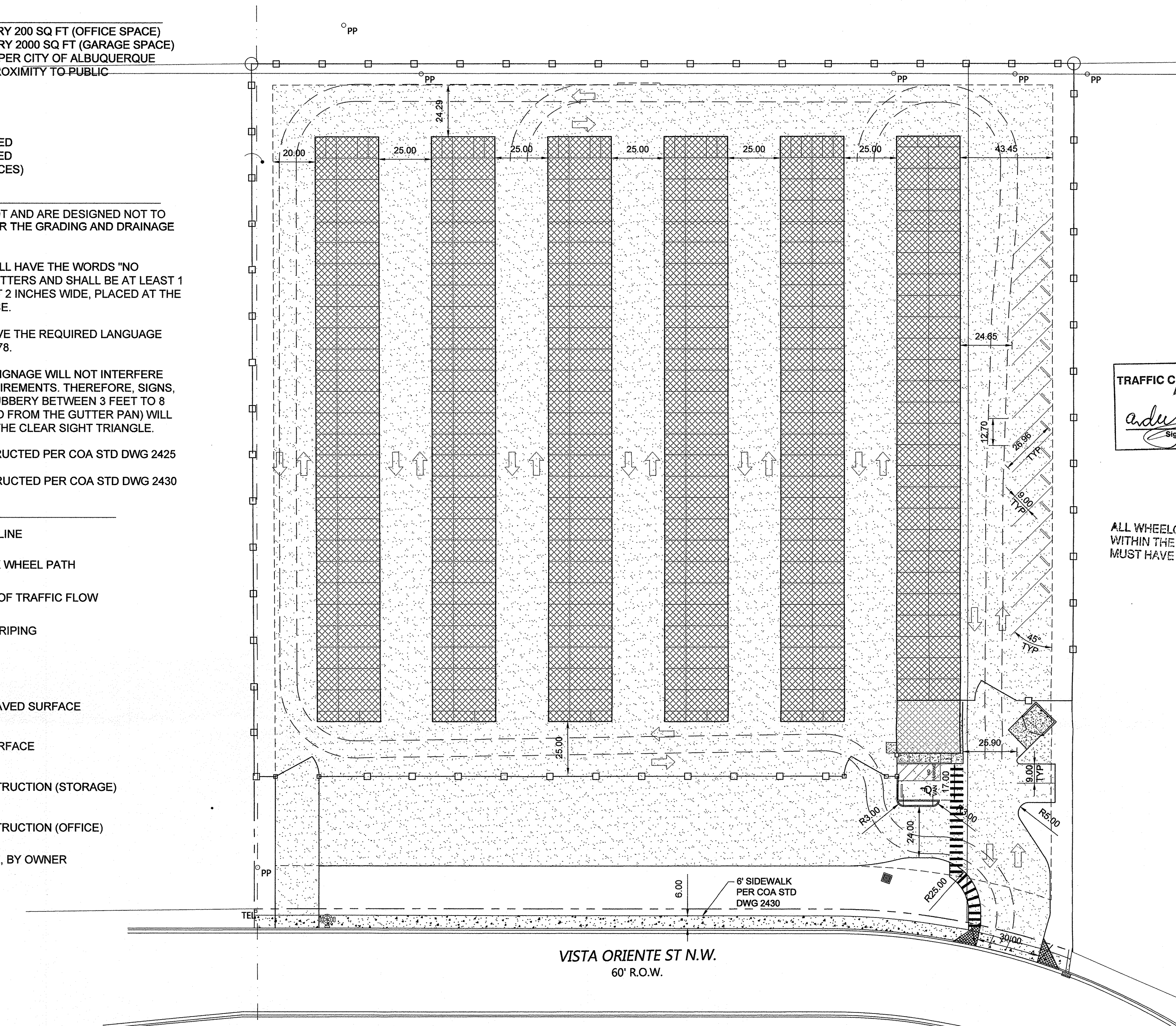
17 PARKING SPACES REQUIRED  
 17 PARKING SPACES PROVIDED  
 (INCLUDING 1 HANDICAP SPACES)

**General Notes**

- SLOPES FOR PARKING LOT AND ARE DESIGNED NOT TO EXCEED 2% SLOPE AS PER THE GRADING AND DRAINAGE PLAN. SEE SHEET C2.
- ADA ACCESS AISLES SHALL HAVE THE WORDS "NO PARKING" IN CAPITALS LETTERS AND SHALL BE AT LEAST 1 FOOT HIGH AND AT LEAST 2 INCHES WIDE, PLACED AT THE REAR OF THE AISLE SPACE.
- ALL ADA SIGNAGE TO HAVE THE REQUIRED LANGUAGE PER 66-7-352.4C NMSA 1978.
- ALL LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 FEET TO 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
- DRIVEPAD TO BE CONSTRUCTED PER COA STD DWG 2425
- SIDEWALK TO BE CONSTRUCTED PER COA STD DWG 2430

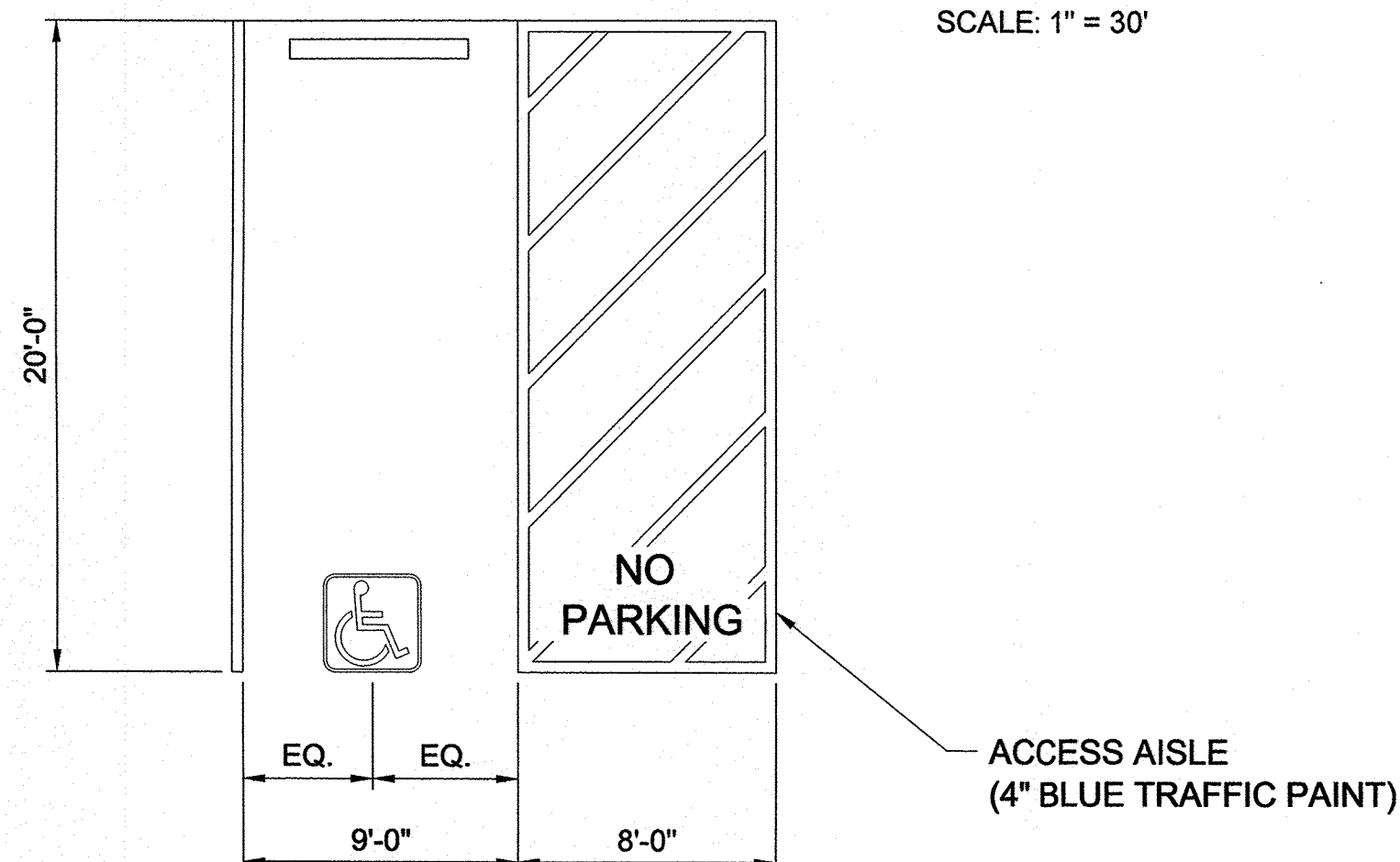
**Legend**

- PROPERTY LINE
- FIRE TRUCK WHEEL PATH
- DIRECTION OF TRAFFIC FLOW
- PAINTED STRIPING
- CONCRETE
- ASPHALT PAVED SURFACE
- GRAVEL SURFACE
- NEW CONSTRUCTION (STORAGE)
- NEW CONSTRUCTION (OFFICE)
- NEW FENCE, BY OWNER



**TRAFFIC CIRCULATION PLAN**

SCALE: 1" = 30'

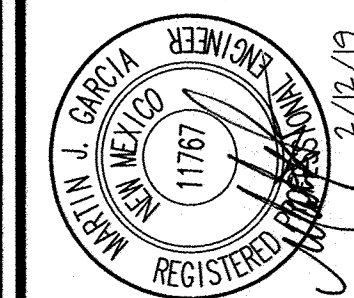


**HANDICAP PARKING LAYOUT DETAIL**  
 SCALE: NTS

TRAFFIC CIRCULATION LAYOUT APPROVED  
 Signed: [Signature] Date: 04/03/2019

ALL WHEELCHAIR RAMPS LOCATED WITHIN THE PUBLIC RIGHT OF WAY MUST HAVE TRUNCATED DOMES.

RECEIVED  
 APR 01 2019  
 LAND DEVELOPMENT SECTION



**Anchors Engineering, LLC**  
 1160 Bosque Farms Blvd. Suite E. Bosque Farms, NM 87068  
 505.846.1500  
 main@anchorseng.net

NO.	DATE	COMMENTS
1	3-27-19	ADD SIDEWALK AND ADA PATH
2	3-27-19	ADD COA STD DWG NOTES

PROJECT NO.	17-077
DATE:	FEB 2019
DRAWN BY:	F. PHILLIPS
CHECKED BY:	M. GARCIA
SCALE:	1" = 30'

PROJECT TITLE	T&M SELF STORAGE
SHEET TITLE	TRAFFIC CIRCULATION PLAN
2301 VISTA ORIENTE STREET N.W.	
ALBUQUERQUE, NEW MEXICO	

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