

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

March 23, 2022

Robert Fierro, P.E.
Fierro & Company, LLC
6300 Montano Rd. NW
Albuquerque, NM 87120

**RE: United Concrete
7411 La Morada Pl NW
2nd revised Grading and Drainage Plan
Engineer's Stamp Date: 3/22/22
Hydrology File: H10D036**

Dear Mr. Fierro:

Based upon the information provided in your submittal received 3/22/22, the 2nd Revised Grading and Drainage Plan is approved for Grading Permit.

Once the grading is complete, a pad certification (meaning that the earthwork is complete) will be required prior to release from Hydrology during the Building Permit process. Also, at the time of pad certification approval, Hydrology will concurrently approve the Grading & Drainage Plan for Building Permit.

If the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, jhughes@cabq.gov, 924-3420) 14 days prior to any earth disturbance.

Please provide Drainage Covenant for the stormwater quality ponds per Article 6-15(C) of the DPM prior to Permanent Release of Occupancy. Please submit an electronic file of the Covenant and Exhibit for completeness to Marion G. Velasquez at mgvelasquez@cabq.gov Once the electronic file is approved for completeness, please submit the original copies along with the \$ 25.00 recording fee check made payable to Bernalillo County to Marion on the 4th floor of Plaza de Sol. Please note that Hydrology will need a pdf copy of the recorded Drainage Covenant prior to Hydrology's approval of Permanent Release of Occupancy.

If you have any questions, please contact me at 924-3695 or dggutierrez@cabq.gov.

Sincerely,

David G. Gutierrez, P.E.
Senior Engineer, Hydrology
Planning Department

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 11/2018)

Project Title: _____ **Building Permit #:** _____ **Hydrology File #:** _____

DRB#: _____ **EPC#:** _____ **Work Order#:** _____

Legal Description: _____

City Address: _____

Applicant: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Owner: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

TYPE OF SUBMITTAL: _____ PLAT (___# OF LOTS) _____ RESIDENCE _____ DRB SITE _____ ADMIN SITE

IS THIS A RESUBMITTAL?: _____ Yes _____ No

DEPARTMENT: _____ TRAFFIC/ TRANSPORTATION _____ HYDROLOGY/ DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

- _____ ENGINEER/ARCHITECT CERTIFICATION
- _____ PAD CERTIFICATION
- _____ CONCEPTUAL G & D PLAN
- _____ GRADING PLAN
- _____ DRAINAGE MASTER PLAN
- _____ DRAINAGE REPORT
- _____ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- _____ ELEVATION CERTIFICATE
- _____ CLOMR/LOMR
- _____ TRAFFIC CIRCULATION LAYOUT (TCL)
- _____ TRAFFIC IMPACT STUDY (TIS)
- _____ OTHER (SPECIFY) _____
- _____ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

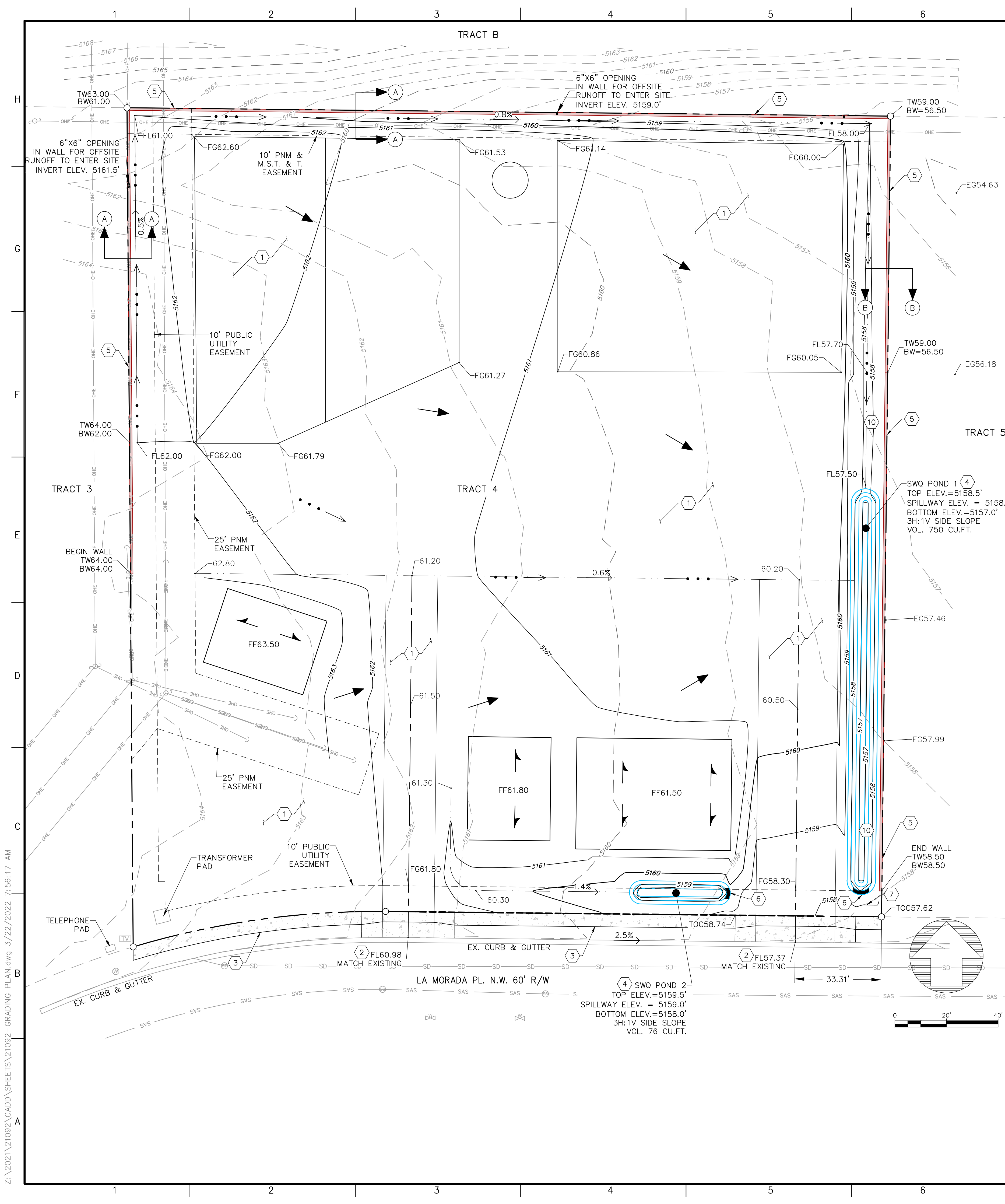
- _____ BUILDING PERMIT APPROVAL
- _____ CERTIFICATE OF OCCUPANCY
- _____ PRELIMINARY PLAT APPROVAL
- _____ SITE PLAN FOR SUB'D APPROVAL
- _____ SITE PLAN FOR BLDG. PERMIT APPROVAL
- _____ FINAL PLAT APPROVAL
- _____ SIA/ RELEASE OF FINANCIAL GUARANTEE
- _____ FOUNDATION PERMIT APPROVAL
- _____ GRADING PERMIT APPROVAL
- _____ SO-19 APPROVAL
- _____ PAVING PERMIT APPROVAL
- _____ GRADING/ PAD CERTIFICATION
- _____ WORK ORDER APPROVAL
- _____ CLOMR/LOMR
- _____ FLOODPLAIN DEVELOPMENT PERMIT
- _____ OTHER (SPECIFY) _____

DATE SUBMITTED: _____ **By:** _____

COA STAFF:

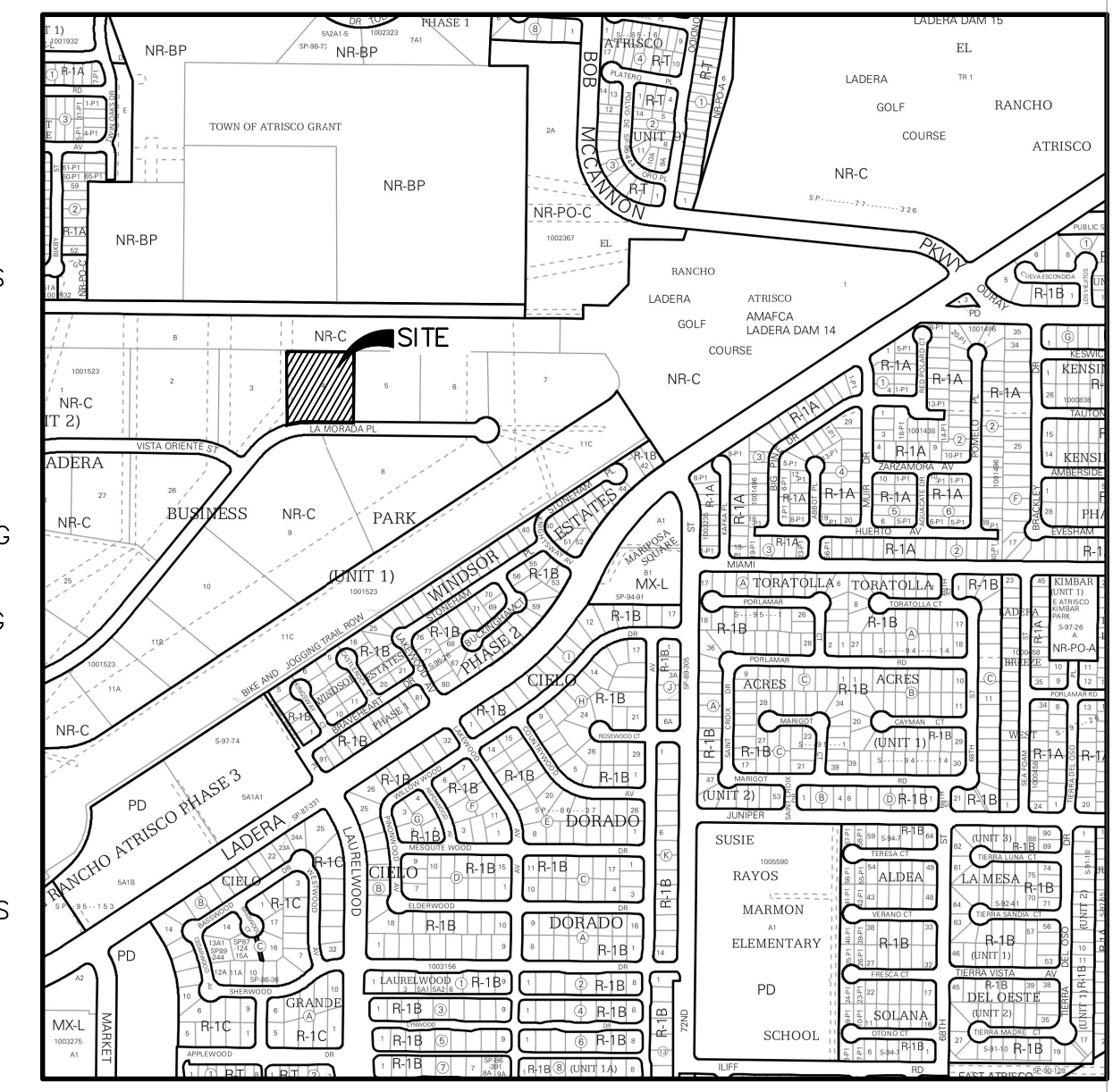
ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____

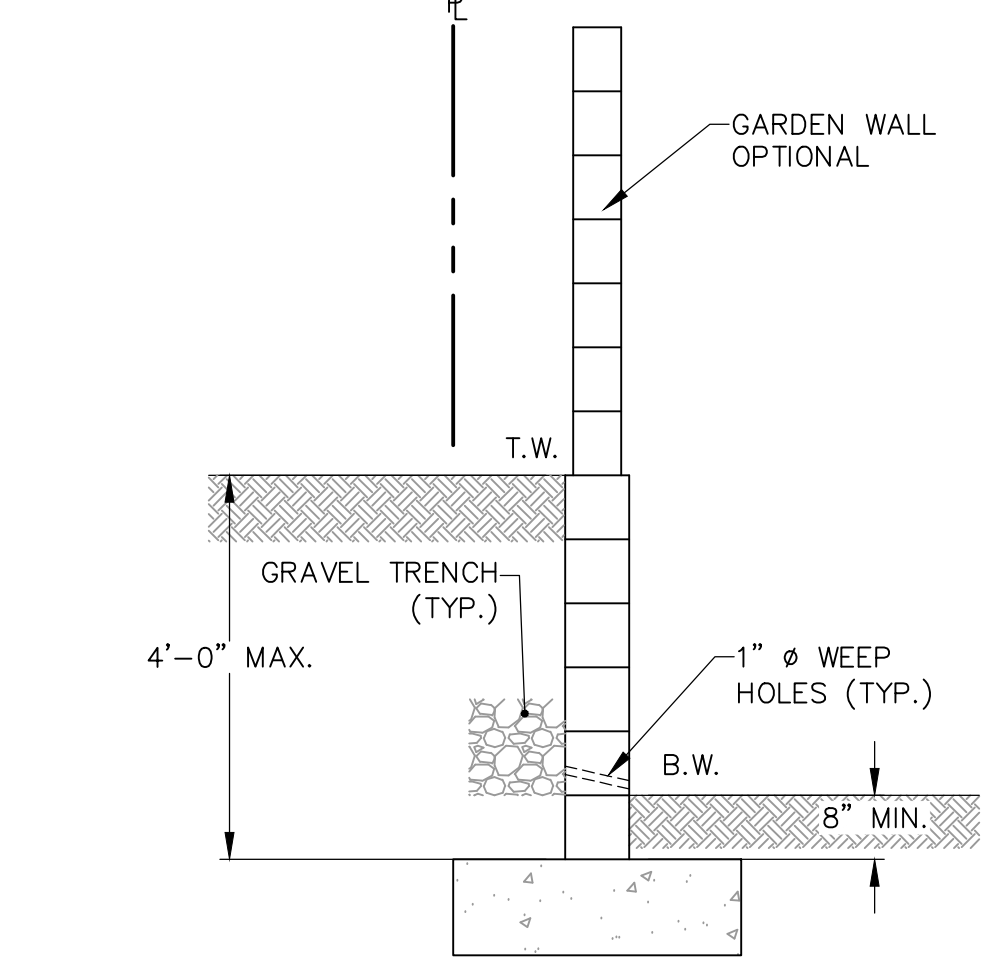


GENERAL GRADING NOTES:

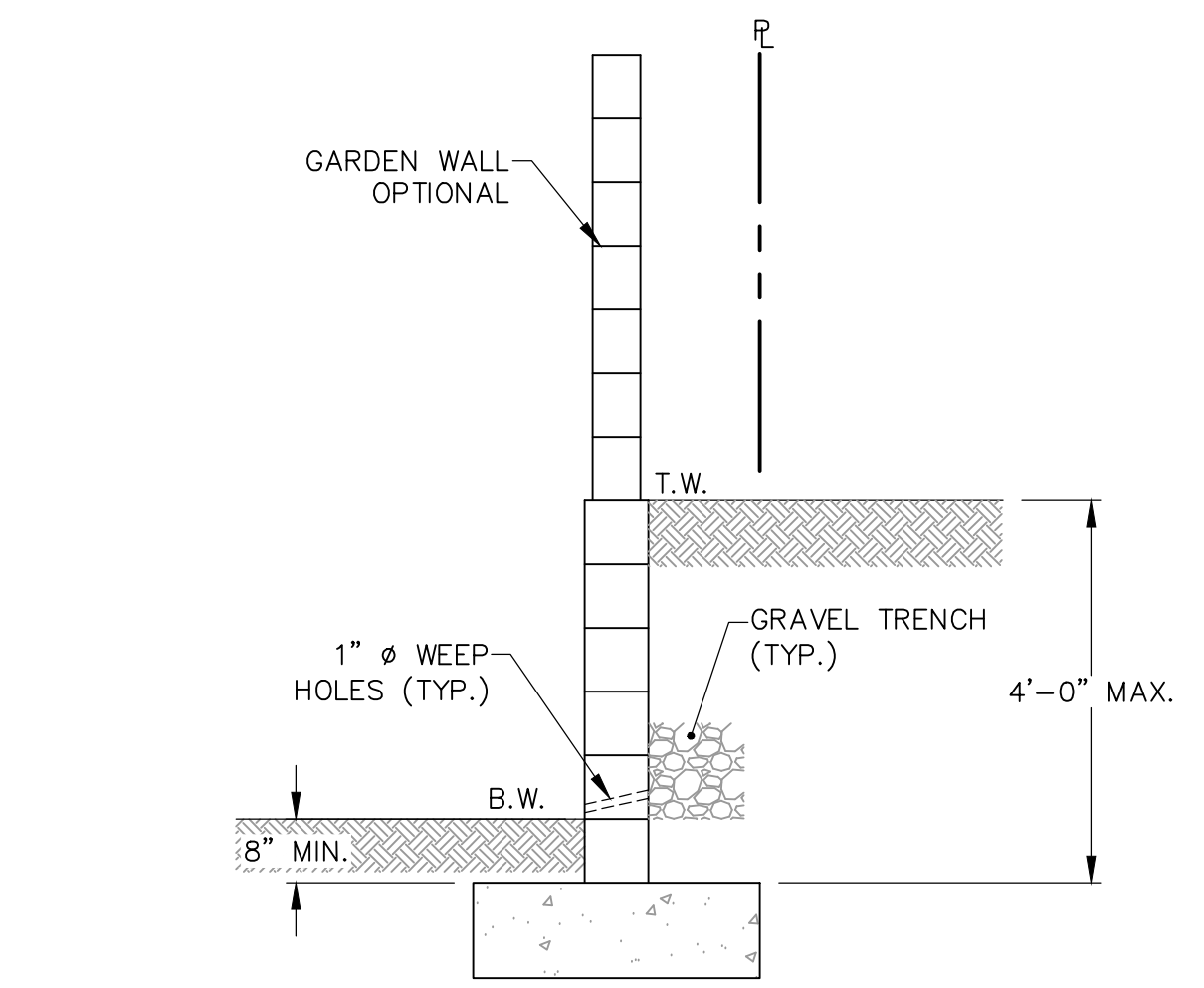
1. THE CONTRACTOR TO VERIFY LOCATION OF ALL UTILITIES SHOWN AND COORDINATE WITH ALL UTILITY OWNERS PRIOR TO ANY EXCAVATION.
2. THE CONTRACTOR SHALL LIMIT DISTURBANCE OF NATIVE VEGETATION TO A MINIMUM.
3. THIS PLAN RECOMMENDS POSITIVE DRAINAGE AWAY FROM ALL STRUCTURES TO PROHIBIT PONDING OF RUNOFF WHICH MAY CAUSE STRUCTURAL SETTLEMENT. FUTURE ALTERATION OF GRADES ADJACENT TO THE PROPOSED STRUCTURES IS NOT RECOMMENDED.
4. PERFORM GRADING AND EXCAVATION WORK IN COMPLIANCE WITH APPLICABLE SPECIFICATIONS, REQUIREMENTS, CODES AND ORDINANCES OF BERNALILLO COUNTY, NEW MEXICO.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR THE DISPOSAL OF OR OBTAINING EXCESS CUT OR FILL MATERIAL REQUIRED FOR FINAL GRADE.
6. CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING AND COORDINATING WITH NEW MEXICO ONE CALL PRIOR EXCAVATION.
7. CLEAR AND GRUBBING PER NM APWA SECTION 201 SPECIFICATION.
8. SPOT ELEVATIONS ARE TO FINISH GRADE UNLESS NOTED OTHERWISE.
9. THE CONTRACTOR SHALL CONFINE THEIR WORK TO WITHIN THE CONSTRUCTION LIMITS AND/OR PUBLIC RIGHT-OF-WAY TO PRESERVE EXISTING VEGETATION, LANDSCAPING, AND PRIVATE PROPERTY. APPROVAL OF THESE PLANS DOES NOT GIVE OR IMPLY ANY PERMISSION TO TRESPASS OR WORK ON PRIVATE PROPERTY. PERMISSION MUST BE GRANTED IN WRITING BY THE OWNER OF THAT PROPERTY.
10. TOPOGRAPHIC SURVEY OF EXISTING GROUND SURVEYED ON NOVEMBER 2021.
11. CONTRACTOR TO CLEAN UP SEDIMENT AND DEBRIS ON THE STREET, WHICH IS CAUSED BY CONSTRUCTION, AT THE END OF EACH WORK DAY. TEMPORARY DIRT RAMPS ARE NOT TO BE LEFT IN STREETS OR NEAR CURB.



LOCATION MAP
ZONE ATLAS MAP: H-10-Z



- NOTES:**
- 1 REFER TO THIS SHEET FOR TW AND BW ELEVATIONS.
 - 2 ENTIRE FOOTING AND WALL TO BE INSIDE PROPERTY BEING TRACT 4 OF LADERA BUSINESS UNIT I
- SECTION A-A (TYPICAL RETAINING WALL NOMENCLATURE)
SCALE: NTS



- NOTES:**
- 1 REFER TO THIS SHEET FOR TW AND BW ELEVATIONS.
 - 2 ENTIRE FOOTING AND WALL TO BE INSIDE PROPERTY BEING TRACT 4 OF LADERA BUSINESS UNIT I
- SECTION B-B (TYPICAL RETAINING WALL NOMENCLATURE)
SCALE: NTS

BENCHMARK:
CITY OF ALBUQUERQUE
SURVEY MONUMENT ID 3-H10
ELEVATION= 5196.15' (NAVD 1988)

CONSTRUCTION NOTES

- 1 GRAVEL SURFACE
- 2 CONSTRUCT DRIVEPAD WITH SIDEWALK SET BACK FROM CURB PER C.O.A. STD. DWG. 2425A
- 3 CONSTRUCT OFFSET TYPE SIDEWALK PER C.O.A. STD. DWG. 2430
- 4 CONSTRUCT STORM WATER QUALITY POND. SIDE SLOPES NEED TO BE STABILIZED WITH NATIVE GRASS SEED (PER CITY SPEC 1012) WITH AGGREGATE MULCH OR EQUAL (MUST SATISFY THE "FINAL STABILIZATION CRITERIA" CGP 2.2.14.B.)
- 5 RETAINING WALL. STRUCTURAL DESIGN BY OTHERS. SEE TYPICAL NOMENCLATURE THIS SHEET.
- 6 CONSTRUCT 4' WIDE SPILLWAY.
- 7 PROVIDE 6-INCH THICK 8'X18' RIPRAP APRON FROM SPILLWAY TO SIDEWALK.

LEGEND

- APPARENT PROPERTY BOUNDARY
- APPARENT ADJOINING PROPERTY LINE
- APPARENT PROPERTY CORNER
- FLOW PATH
- FLOW DIRECTION
- ROOF FLOW DIRECTION
- OVERHEAD ELECTRIC LINE
- STORM DRAIN
- SANITARY SEWER
- UTILITY EASEMENTS
- WATER VALVE
- FIRE HYDRANT
- WATER METER
- STORM MANHOLE
- SANITARY SEWER MANHOLE
- TV PEDESTAL
- POWER POLE
- GUY WIRE
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- PROPOSED MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- FINISHED GRADE
- FLOW LINE
- TOP OF WALL
- BOTTOM OF WALL
- BUILDING
- NEW CONCRETE
- POND W/ RIP-RAP
- RETAINING WALL
- S.W.Q.P. CONTOUR (0.5' INCREMENT)

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ALBUQUERQUE, NEW MEXICO

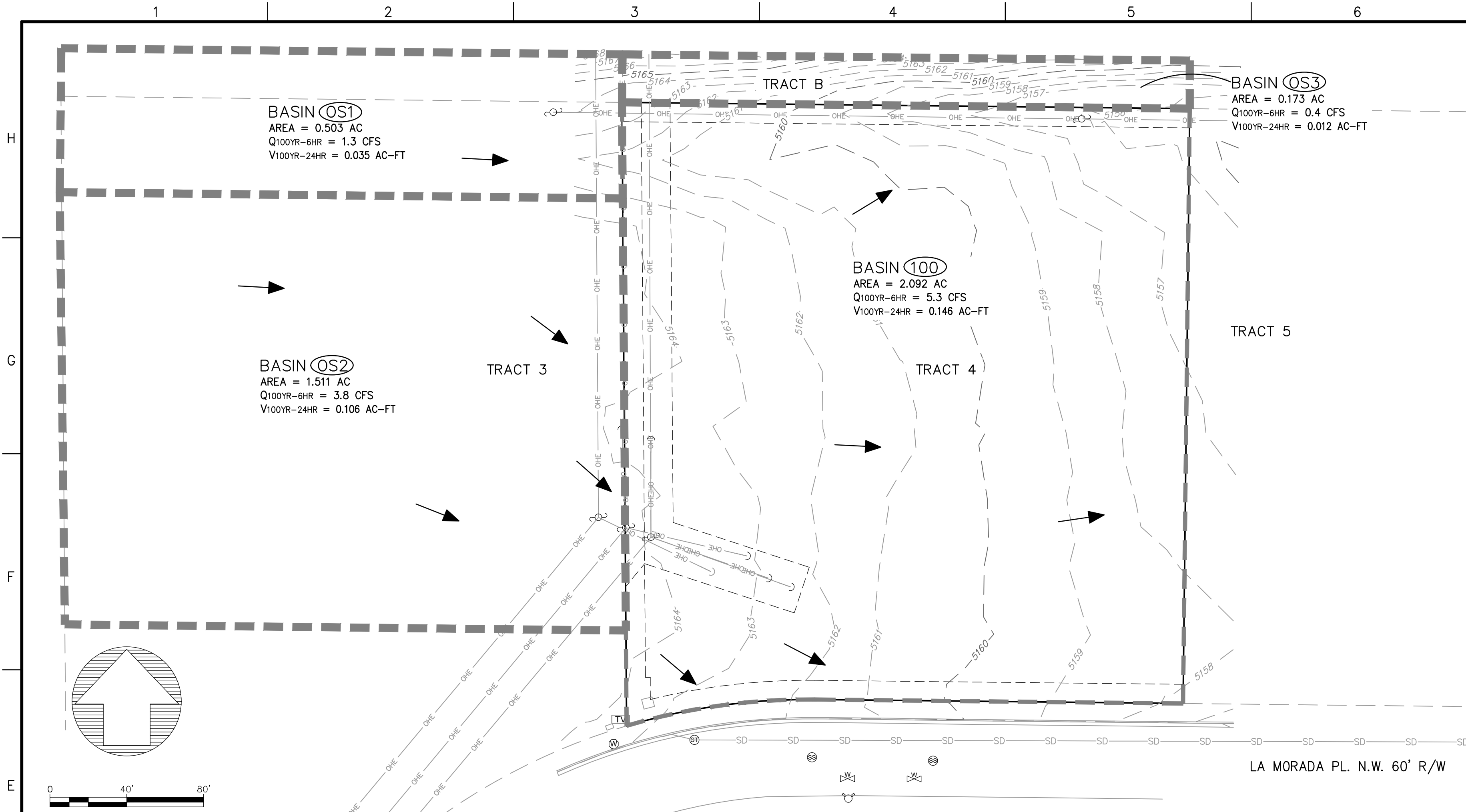
| PROJECT NAME | DATE | DESCRIPTION | BY |
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|--------------|---------------|
| PROJECT NO: | 21092 |
| DESIGNED BY: | RJF |
| DRAWN BY: | JB, CP |
| CHECKED BY: | RJF |
| DATE: | FEBRUARY 2022 |

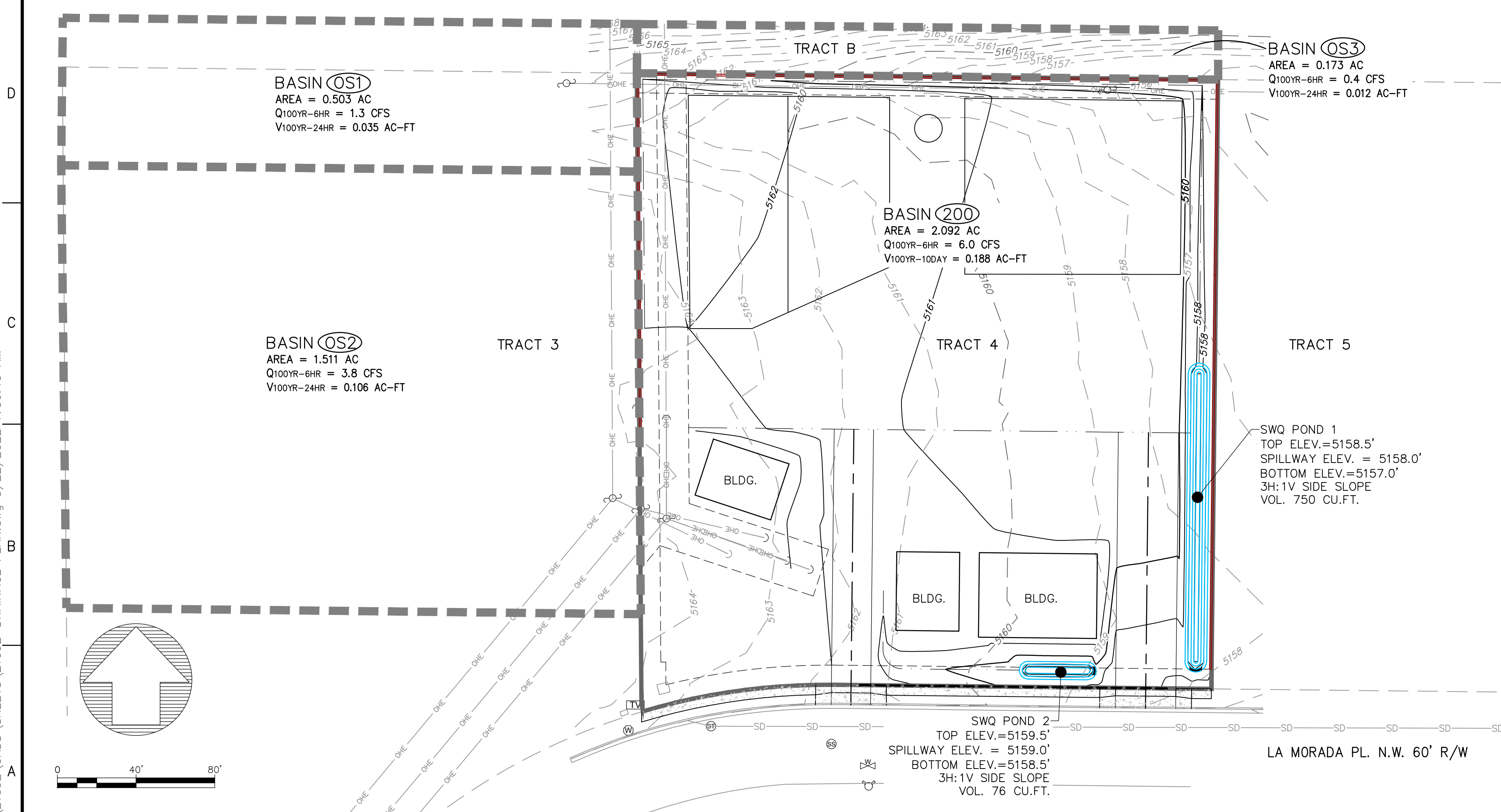
SHEET TITLE
GRADING PLAN

SHEET NO:
C-1

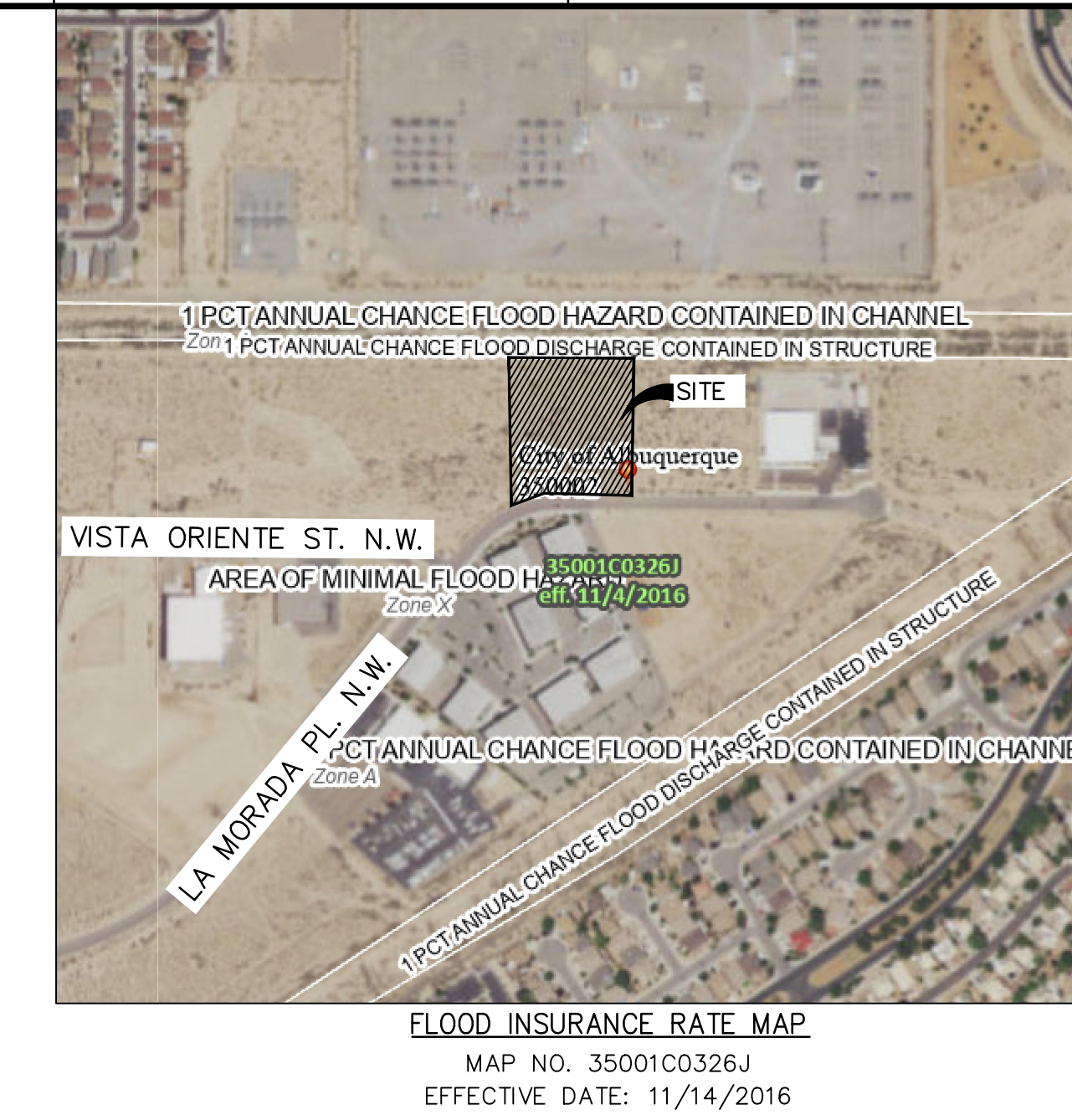
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EXISTING BASIN MAP



PROPOSED BASIN MAP



Introduction
 The site is 2.092 acres and is Tract 4 of Ladera Business Park Unit I. The address to the site is 7411 La Morada Place NW. A construction yard is proposed at this site. Improvements include three small buildings with a total footprint of 5,000 sq.ft., construction yard, and two storm water quality ponds. The site is within the Master Plan for the Ladera Business Park, Unit I, which allows the site free discharge. Two storm water quality ponds are proposed to store the 90th Percentile/first flush requirement.

Methodology
 Hydrologic procedures presented in the Hydrology Section of the DMP, Article 6-2(a), approved June 26, 2020 were followed. Computations included input data for Precipitation Zone 1.

Existing Condition
 The site is vacant and generally slopes west to east dropping in elevation with an average slope of 2.7%. Offsite runoff from Basins OS1, OS2, and OS3 drain through this site and to La Morada and Tract 5 as shown in the Existing Basin Map.

Proposed Condition
 This site will be used as a yard to store materials such as sand, gravel, and cement. Three buildings are proposed with a combined footprint of 5,000 sq.ft. The yard will be constructed with a gravel surface. The proposed grade has an average slope of 0.8% dropping in elevation from west to east.

Runoff from Basin OS1 will continue draining through the site via a wall opening along the West boundary line as shown in the proposed basin map. Runoff from Basin OS2 will continue to sheet flow onto the site, which will then flow to La Morada Place NW. The offsite runoff from Basin OS1 and OS2 will be cut off once the development of Tract 3 occurs. Development from Tract 3 will need to discharge to La Morada Road. Runoff from Basin OS3 will enter the site via wall openings along the north boundary line.

Two storm water quality ponds will store the first flush volume. The storm water quality pond along La Morada Place NW will store the runoff from the impervious area of half the roof of the two adjacent buildings. The SWQP along the east boundary will store runoff from the remaining impervious areas. Runoff from the site will overtop the SWQP via a spillway which will then exit the site at the east driveway. The proposed site's impervious area is 10%. This site is allowed an 80% impervious area; therefore, detention is not required other than storing the first flush volume.

Conclusion
 The site will temporary continue to accept offsite runoff from Basin OS1 and OS2 and will permanently accept runoff from Basin OS3. Development from this site is allowed free discharge to La Morada Place NW, but is required to store the first flush volume requirement. This grading and drainage plan seeks approval for a grading permit.

DRAINAGE REPORT

| BASIN | Total Area (sq.ft.) | Total Area (acres) | Land Treatment (%) | | | | Q ₁₀₀ (cfs) | V _{100yr-6hr} (ac-ft) | V _{100yr-24hr} (ac-ft) |
|-------|---------------------|--------------------|--------------------|------|------|-----|------------------------|--------------------------------|---------------------------------|
| | | | A | B | C | D | | | |
| OS1 | 21931 | 0.503 | 0.0 | 50.0 | 50.0 | 0.0 | 1.3 | 0.035 | 0.035 |
| OS2 | 65821 | 1.511 | 0.0 | 50.0 | 50.0 | 0.0 | 3.8 | 0.106 | 0.106 |
| OS3 | 7384 | 0.170 | 0.0 | 50.0 | 50.0 | 0.0 | 0.4 | 0.012 | 0.012 |
| 100 | 91148 | 2.092 | 0.0 | 50.0 | 50.0 | 0.0 | 5.3 | 0.146 | 0.146 |

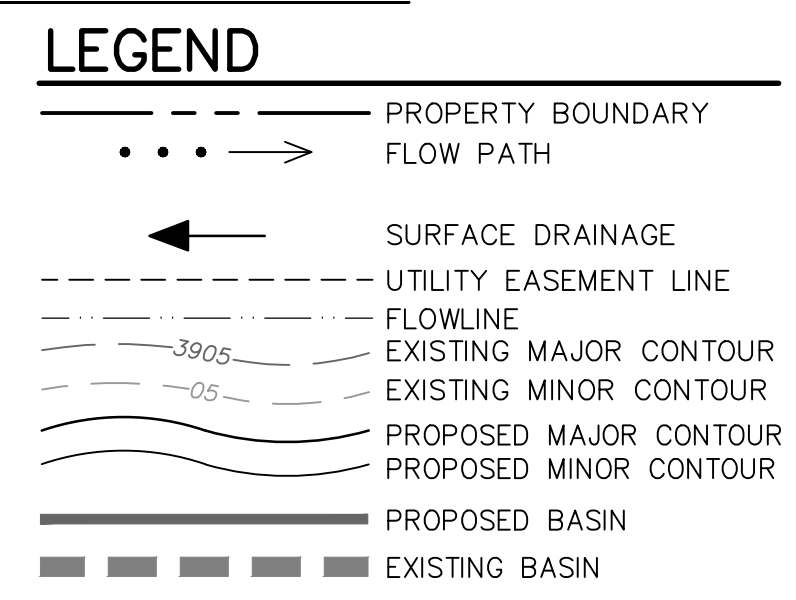
| BASIN | Total Area (acres) | Land Treatment (%) | | | | Q ₁₀₀ (cfs) | V _{100yr-6hr} (ac-ft) | V _{100yr-24hr} (ac-ft) |
|-------|--------------------|--------------------|------|------|------|------------------------|--------------------------------|---------------------------------|
| | | A | B | C | D | | | |
| 200 | 2.092 | 0.0 | 15.0 | 75.0 | 10.0 | 6.0 | 0.182 | 0.188 |

HYDROLOGY SUMMARY (PRECIPITATION ZONE 1)

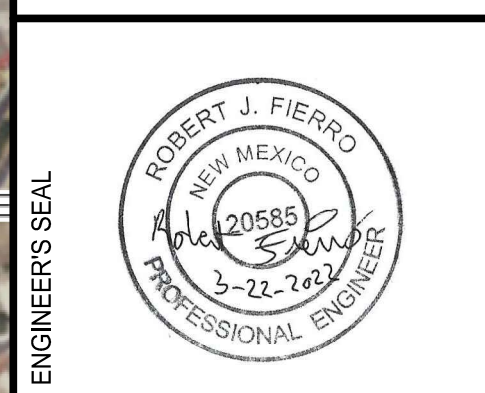
SWQ POND 1
 TOTAL NEW LAND TREATMENT "D" AREA = 7,185 SQ.FT.
 WATER QUALITY STORAGE REQ. (NEW DEVELOPMENT)=7,185 SQ.FT.*(42%)*(1/12")=251 CU.FT.
 PROVIDED 750 CU.FT.

SWQ POND 2
 TOTAL NEW LAND TREATMENT "D" AREA = 1,930 SQ.FT.
 WATER QUALITY STORAGE REQ. (NEW DEVELOPMENT)=1,930 SQ.FT.*(42%)*(1/12")=68 CU.FT.
 PROVIDED 70 CU.FT.

STORMWATER QUALITY VOLUME (0.62" STORM)



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UNITED CONCRETE CO.
 7411 LA MORADA PLACE N.W.
 ALBUQUERQUE, NEW MEXICO

| PROJECT NAME | PROJECT NO. | DATE | REV. | DESCRIPTION | BY |
|--------------|-------------|------|------|-------------|----|
| | | | | | |

PROJECT NO: 21092
 DESIGNED BY: R/JF
 DRAWN BY: JB
 CHECKED BY: R/JF
 DATE: FEBRUARY 2022

SHEET TITLE
DRAINAGE PLAN
 SHEET NO:
C-2

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