

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

December 18, 2023

Robert A. Gonzales, P.E.
Quantum Engineering Consultants, Inc.
345 North Water
Las Cruces, NM 88005

**RE: Albuquerque Bilingual Academy Multipurpose Field
Grading & Drainage Plans
Engineer's Stamp Date: 05/25/23
Hydrology File: H10D037**

Dear Mr. Gonzales:

Based upon the information provided in your submittal received 12/12/2023, the Grading & Drainage Plans are approved for Building Permit and Grading Permit. Please attach a copy of this approved plan in the construction sets for Building Permit processing along with a copy of this letter.

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

PRIOR TO CERTIFICATE OF OCCUPANCY:

1. Engineer's Certification, per the DPM Part 6-14 (F): *Engineer's Certification Checklist For Non-Subdivision* is required.
2. Please provide the executed paper Drainage Covenant (latest revision) printed on one-side only with Exhibit A and a check for **\$25.00** made out to "**Bernalillo County**" for the stormwater quality ponds per Article 6-15(C) of the DPM to Hydrology for review at Plaza de Sol.

As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, jhughes@cabq.gov, 924-3420) 14 days prior to any earth disturbance.

If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gov.

Sincerely,

Renée C. Brissette

Renée C. Brissette, P.E. CFM
Senior Engineer, Hydrology

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



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CONTRACTOR SHALL MAKE PROVISIONS FOR AT LEAST ONE PERCOLATION TEST TO BE PERFORMED ONCE THE "FIRST FLUSH" POND IS EXCAVATED TO THE INVERT ELEVATION SHOWN ON THIS SHEET. RESULTS OF THE PERCOLATION TEST SHALL BE SUBMITTED TO THE PROJECT CIVIL ENGINEER PRIOR TO FINAL SITE GRADING. IF THE PERCOLATION RATE IS FAVORABLE, THEN THE CONTRACTOR MAY CONTINUE WITH FINAL GRADING. IF THE RESULTS OF THE TEST ARE NOT FAVORABLE, THEN THE CONTRACTOR SHALL OVEREXCAVATE UNSUITABLE MATERIALS FROM THE BASE OF THE POND AND REPLACE THEM WITH A POORLY GRADED MATERIAL PER THE USCS CLASSIFICATION.

ALL NECESSARY EXCAVATION, DISPOSAL, ADDITIONAL MATERIAL REQUIRED INCLUDING PERCOLATION TESTS, SHALL BE CONSIDERED SUBSIDIARY TO THE EARTHWORKS OPERATIONS BID ITEM.

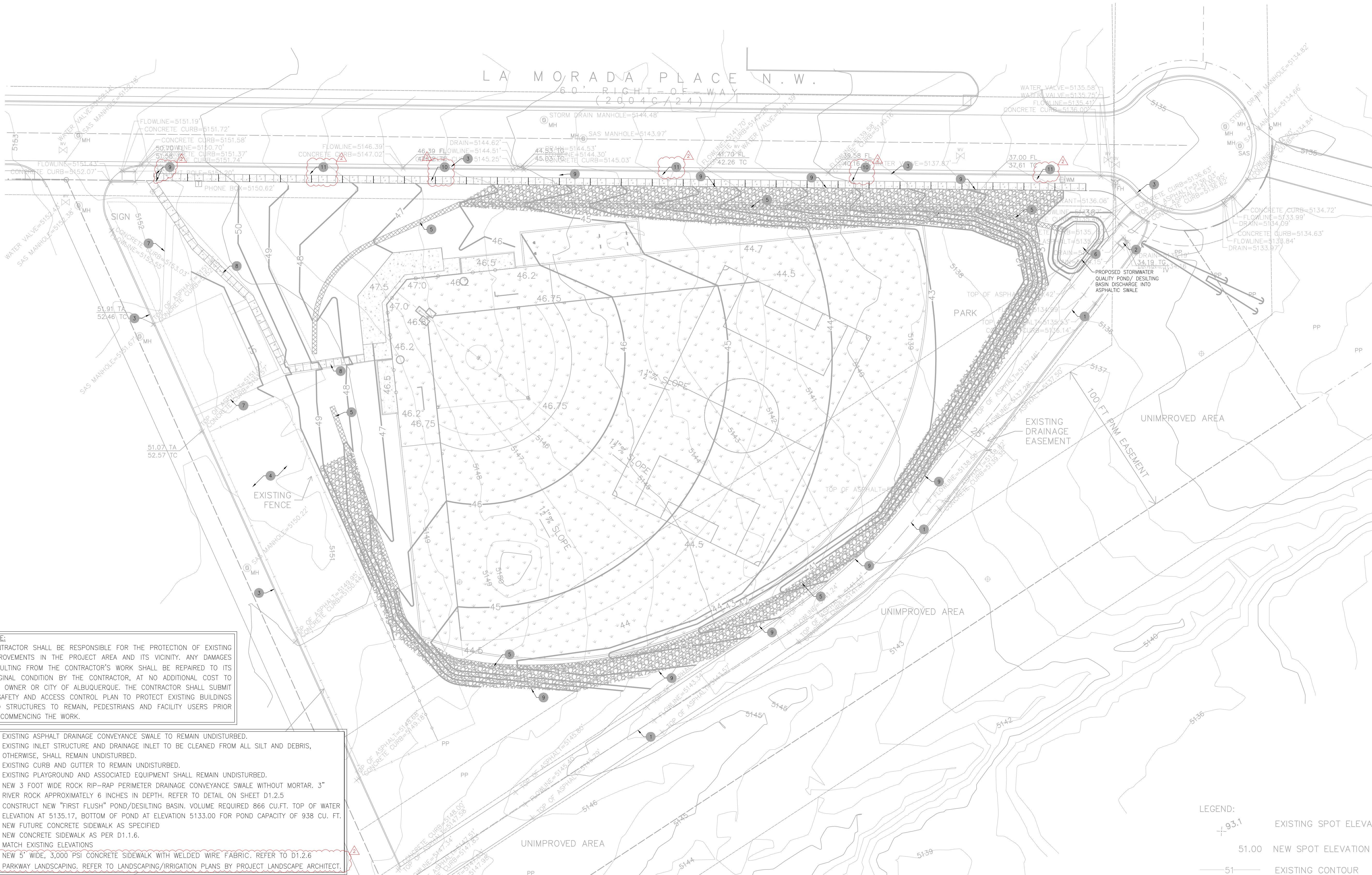
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CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF EXISTING IMPROVEMENTS IN THE PROJECT AREA AND ITS VICINITY. ANY DAMAGES RESULTING FROM THE CONTRACTOR'S WORK SHALL BE REPAIRED TO ITS ORIGINAL CONDITION BY THE CONTRACTOR, AT NO ADDITIONAL COST TO THE OWNER OR CITY OF ALBUQUERQUE. THE CONTRACTOR SHALL SUBMIT A SAFETY AND ACCESS CONTROL PLAN TO PROTECT EXISTING BUILDINGS AND STRUCTURES TO REMAIN, PEDESTRIANS AND FACILITY USERS PRIOR TO COMMENCING THE WORK.

1. EXISTING ASPHALT DRAINAGE CONVEYANCE SWALE TO REMAIN UNDISTURBED.
2. EXISTING INLET STRUCTURE AND DRAINAGE INLET TO BE CLEANED FROM ALL SILT AND DEBRIS, OTHERWISE, SHALL REMAIN UNDISTURBED.
3. EXISTING CURB AND GUTTER TO REMAIN UNDISTURBED.
4. EXISTING PLAYGROUND AND ASSOCIATED EQUIPMENT SHALL REMAIN UNDISTURBED.
5. NEW 3 FOOT WIDE RUCK ROP PERIMETER DRAINAGE CONVEYANCE SWALE WITHOUT MORTAR. 3" RIVER ROCK APPROXIMATELY 6 INCHES IN DEPTH. REFER TO DETAIL ON SHEET D1.2.5
6. CONSTRUCTION NEW "FIRST FLUSH" POND/DEFLATING BASIN. VOLUME REQUIRED 866 CU.FT. TOP OF WATER ELEVATION AT 5135.17, BOTTOM OF POND AT ELEVATION 5133.00 FOR POND CAPACITY OF 938 CU. FT.
7. NEW FUTURE CONCRETE SIDEWALK AS SPECIFIED
8. NEW CONCRETE SIDEWALK AS PER D1.1.6.
9. MATCH EXISTING ELEVATIONS
10. NEW 5' WIDE, 3,000 PSI CONCRETE SIDEWALK WITH WELDED WIRE FABRIC. REFER TO D1.2.6
11. PARKWAY LANDSCAPING. REFER TO LANDSCAPING/IRRIGATION PLANS BY PROJECT LANDSCAPE ARCHITECT.

City of Albuquerque
Planning Department
Development Review Services
HYDROLOGY SECTION
APPROVED
12/18/23
DATE: _____
BY: *Renee C. Brissette*
HydroTrans # **H10D037**

THE APPROVAL OF THESE PLANS AND/OR SPECIFICATIONS SHALL NOT BE CONSIDERED TO PRESENT ANY GUARANTEE OF ACCURACY OR COMPLIANCE WITH ORDINANCE OR STATE LAW, AND SHALL NOT PREVENT THE CITY OF ALBUQUERQUE FROM INITIATING ANY ACTION FOR CORRECTION, OR ERROR OR OMISSIONS IN PLANS, SPECIFICATIONS, OR CONSTRUCTION. SUCH APPROVALS SHALL NOT BE CHANGED, MODIFIED OR ALTERED WITHOUT AUTHORIZATION.

APPROVAL OF GRADING & DRAINAGE PLAN(S) SHALL EXPIRE TWO (2) YEARS AFTER THE APPROVAL DATE BY THE CITY IF NO BUILDING PERMIT HAS BEEN PULLED ON THE DEVELOPMENT.



Hellas®

Hellas Construction, Inc. (P) (512) 250-2910
12000 West Parmer Lane (F) (512) 250-1960
Austin, TX 78613 hellasconstruction.com

OWNER:
Albuquerque Public Schools
Albuquerque Bilingual Academy
7500 La Morada Pl NW, Albuquerque, NM 87120
PHONE: (505) 836-7706

PROJECT:
ALBUQUERQUE BILINGUAL
ACADEMY MULTIPURPOSE FIELD
CONSTRUCTION SET

PROJECT LOCATION:
Albuquerque, NEW MEXICO

matrix^H TURF

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124 W. Castellano Drive
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Fax: 915.532.2737

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ROBERT ANTHONY GONZALES
NEW MEXICO
26591
PROFESSIONAL ENGINEER

5/15/23



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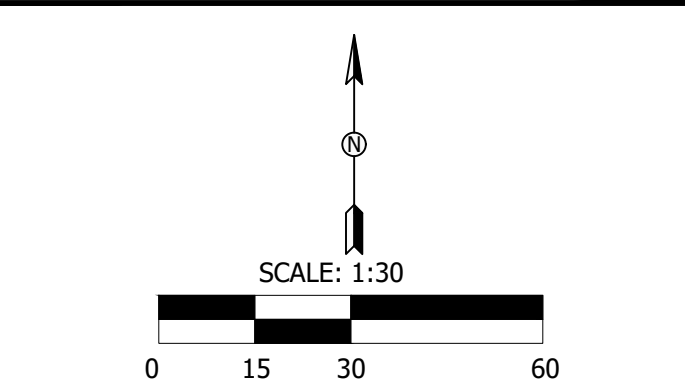
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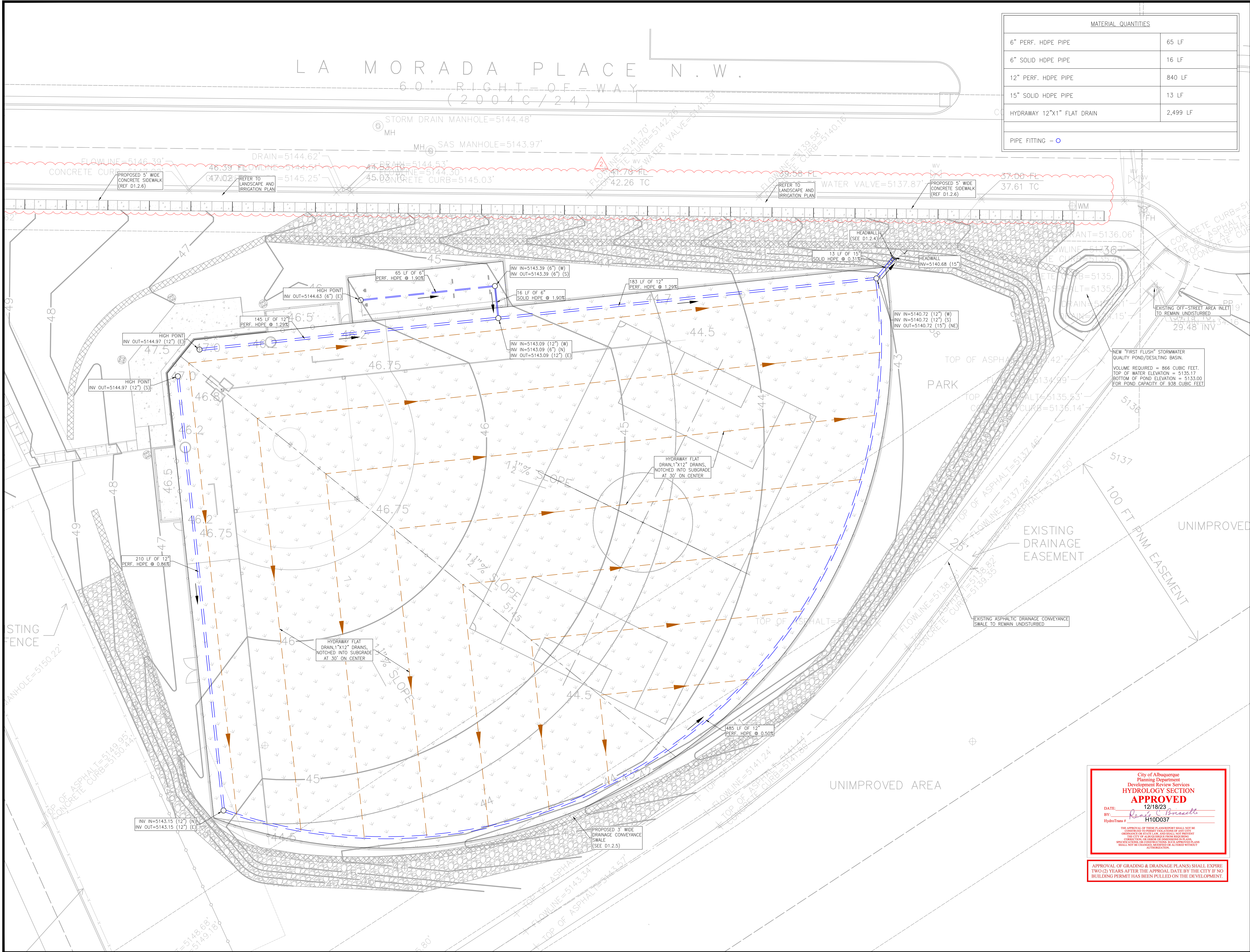
DATE: April 28, 2023

REVISION LIST		
	4/28/23	CITY OF ALBUQUERQUE REVISIONS
	5/18/23	SIDEWALK ADDITION
NO.	DATE	DESCRIPTION

SHEET TITLE:
GRADING PLAN

SHEET NUMBER:
C4.1





MATERIAL QUANTITIES	
6" PERF. HDPE PIPE	65 LF
6" SOLID HDPE PIPE	16 LF
12" PERF. HDPE PIPE	840 LF
15" SOLID HDPE PIPE	13 LF
HYDRAWAY 12"x12" FLAT DRAIN	2,499 LF
PIPE FITTING - O	



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PROJECT LOCATION:
Albuquerque, NEW MEXICO



124 W. Castellano Drive
Suite 100
Albuquerque, NM 87102
P 505.532.7272
F 505.532.7273

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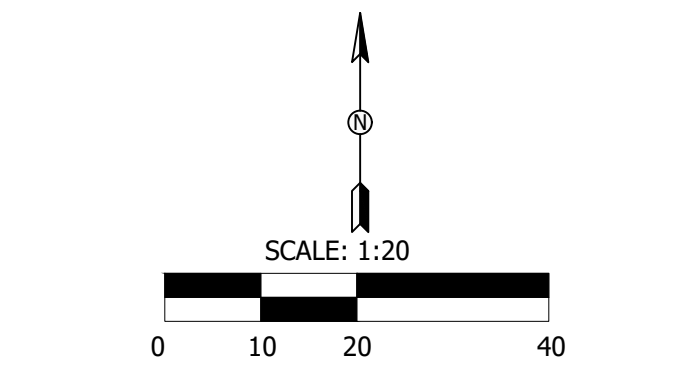
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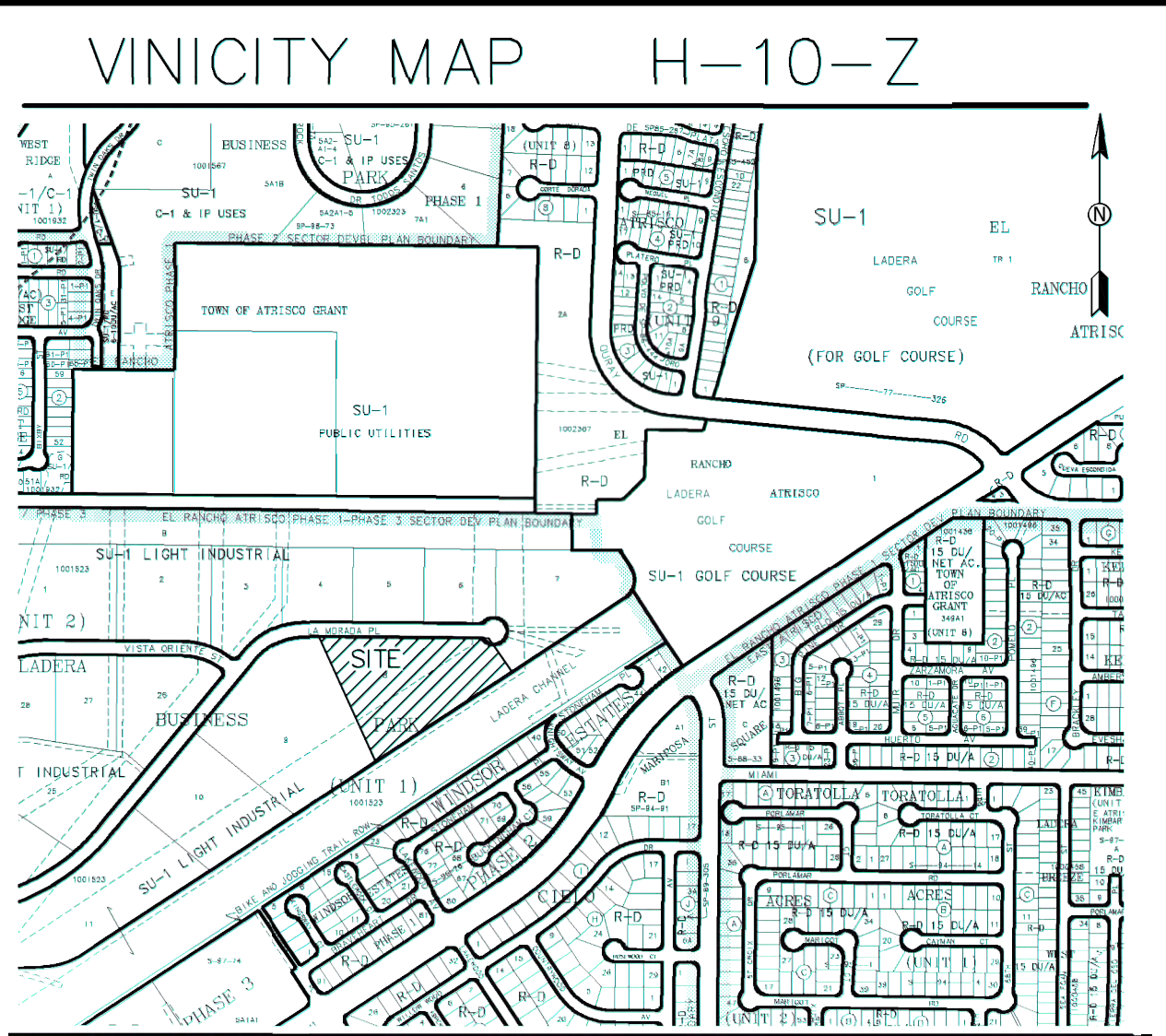
SHEET TITLE:
DRAINAGE PLAN
SHEET NUMBER:
C5.1.1



City of Albuquerque
Planning Department
Development Review Services
HYDROLOGY SECTION
APPROVED
DATE: 12/18/23
BY: *Renee C. Brissett*
HydroTrans # H10D037

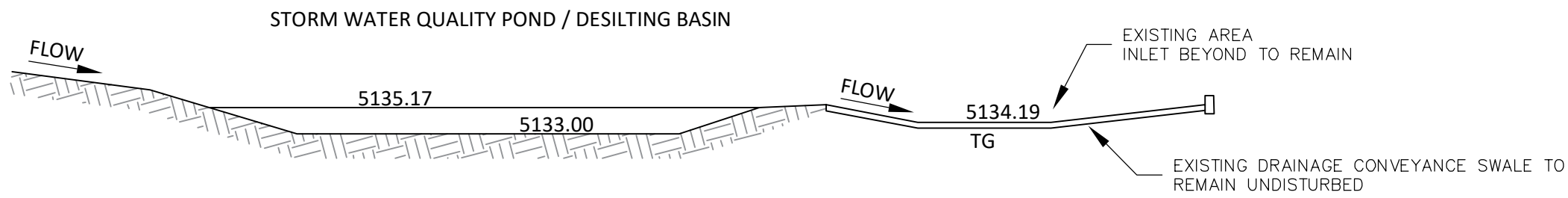
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LEGAL DESCRIPTION:
TRACT 8, UNIT 1, LADERA BUSINESS PARK
ADDRESS: 7500 LA MORADA PLACE NW, ALBUQUERQUE, NM
SITE AREA: 5.461 ACRES
BENCH MARK:
ELEVATIONS ARE BASED ON CITY OF ALBUQUERQUE STATION "4-H9", HAVING AN ELEVATION OF 5201.315, NAVD 1988
FLOOD HAZARD:
AS SHOWN ON PANEL 35001C0326J (11-4-2016) OF THE FEMA FLOOD INSURANCE RATE MAPS, THIS SITE IS NOT WITHIN A DESIGNATED FLOOD HAZARD AREA.

IMPROVED CONDITIONS:		
A. UNDISTURBED AREA		49795 SF
B. LANDSCAPE AREA		7170 SF
C. IMPERVIOUS		
EXISTING ASPHALT DRIVE		163350 SF
EXISTING ASPHALT DRAINAGE SWALE		12688 SF
BLEACHED AREA		1303 SF
DUGOUT ROOF AREA		754 SF
FUTURE CONCESSION / RESTROOM BUILDING		2840 SF
		24755 SF
STORM WATER QUALITY POND (ARTICAL 6-12 PAGE 6-109)		
POND VOLUME = (IMPERVIOUS AREA) (IMPERVIOUS AREA) (0.42 IN)		
REQUIRED POND VOLUME = (24755 SF) (0.42 IN) (1 / 12 IN/FT) = 866 CF		
STORM WATER QUALITY POND / DESILTING BASIN		
VOLUME	ELEVATION	AREA
	35.17	968 SF
	33.83	444 SF
VOL = (968+444)(0.5)(1.33 FT) = 938 CF		



STORM WATER QUALITY POND

EXISTING CONDITIONS:

PREVIOUS DEVELOPMENT TO THE SITE INCLUDE: A PLAYGROUND EAST OF THE MAIN CAMPUS AND AN ASPHALT DRAINAGE CHANNEL ALONG THE SOUTH SIDE OF THE PROPERTY. THE REMAINDER OF THE SITE IS UNDEVELOPED AND SLOPES TO THE EAST AT A RATE OF 2.6%. THE SITE IS BASIN 8 OF AREA II OF THE LADERA BUSINESS PARK MASTER DRAINAGE REPORT. THE ALLOWABLE PEAK DISCHARGE FOR THIS BASIN IS 26.531 CFS (4.86 CFS/AC)

OFFICE SITE FLOWS:
THE RUNOFF FROM TRACTS 9, 10, AND 11 CURRENTLY DISCHARGE THROUGH THE SITE VIA THE EXISTING ASPHALT SWALE LOCATED WITHIN A PRIVATE DRAINAGE EASEMENT TO A CATCH BASIN LOCATED AT THE NORTHEAST CORNER OF THE SITE.

THE SITE HIGHER THAN THE ADJACENT PARCELS TO THE EAST AND SOUTH AND THE EXISTING ROAD PROHIBITS FLOWS TO THE NORTH, THEREFORE OFFSITE FLOWS FROM THOSE DIRECTIONS ARE INSIGNIFICANT.

DEVELOPED CONDITIONS:
THE PROPOSED DEVELOPMENT WILL CONSIST OF MULTIPURPOSE FIELD, WITH ASSOCIATED SEATING AREA AND DUGOUT.

SUMMARY:
AS SHOWN BY THE ATTACHED CALCULATION THE EXISTING RUNOFF FOR THE SITE WILL BE INCREASED, HOWEVER, THE PROPOSED RUNOFF (12.6 CFS) IS LESS THAN THE ALLOWABLE DISCHARGE RATE (26.531 CFS)

Qp (e)=	8.41 cfs	Ve=10940 CF = 0.250 ACRE FT
Qp (i) =	12.20 cfs	Vi= 16840 CF = 0.387 ACRE FT
Qexcess =	3.79 cfs	Vexcess= 0.136 ACRES FT
P _{6 hr} =	2.17 in	V _{6 hr} = 16840 CF
P _{24 hr} =	2.49 in	V _{24 hr} = 17500 CF
P _{10 day} =	3.90 in	V _{10 day} = 20409 CF
Vi = V360 + AD (Pi - P360) / 12 in/ft		

METHODOLOGY:
THE HYDROLOGY FOR THIS PROJECT WAS ANALYZED USING THE SIMPLIFIED PROCEDURE FOR SMALL WATERSHEDS (PART 6-2A) OF THE JUNE 2020 RELEASE OF THE CITY OF ALBUQUERQUE DEVELOPMENT PROCESS MANUAL.

PRECIPITATION:
THE 100-YR 6-HR DURATION STORM WAS USED AS THE DESIGN STORM FOR THIS ANALYSIS. THIS SITE IS WITHIN ZONE 1 AS IDENTIFIED IN THE CITY OF ALBUQUERQUE DEVELOPMENT PROCESS MANUAL, SECTION 6-2(A)(1). TABLES WITHIN THIS SECTION WERE USED TO ESTABLISH THE 6-HOUR PRECIPITATION, EXCESS PRECIPITATION, AND PEAK DISCHARGE.

Drainage Calculation
City of Albuquerque DPM 2020 edition
7400 La Morada Place NW
Precipitation Zone = 1
Basin Area = 5.461 acres

Existing Treatment	Area of A =	Area of B =	Area of C =	Area of D =	% of Area	Improved Conditions Treatment	Area of A =	Area of B =	Area of C =	Area of D =	% of Area
	237900 sf	0 sf	0 sf	0 sf	100%		49795 sf	163350 sf	0 sf	24755 sf	21%
					0%						69%
					0%						0%
					0%						10%

Existing Conditions	% of Area	En	Improved Conditions	% of Area	En
A	100% x	0.55 = 0.55	A	21% x	0.55 = 0.12
B	0% x	0.73 = 0.00	B	69% x	0.73 = 0.50
C	0% x	0.95 = 0.00	C	0% x	0.95 = 0.00
D	0% x	2.24 = 0.00	D	10% x	2.24 = 0.23
		E = 0.55			E = 0.85

Volume V = E A / 12					
Ve =	0.550 x	5.4614 /	12 =	0.250 acre ft	10904 cf
Vi =	0.849 x	5.4614 /	12 =	0.387 acre ft	16840 cf

Discharge Rate, Q (cfs / acre) 100 yr storm table 6.2.14	% of Area	Q	Discharge Rate, Q (cfs / acre) 100 yr storm table 6.2.14	% of Area	Q
A	100% x	1.54 = 1.54	A	21% x	1.54 = 0.32
B	0% x	2.16 = 0.00	B	69% x	2.16 = 1.48
C	0% x	2.87 = 0.00	C	0% x	2.87 = 0.00
D	0% x	4.12 = 0.00	D	10% x	4.12 = 0.43
		q = 1.54			q = 2.23

Peak Rate Qp = q A					
Qp(e) =	1.54 x	5.4614 =	8.41 cfs		
Qp(i) =	2.23 x	5.4614 =	12.20 cfs		

Excess Volume =	0.136 acre ft
Excess Rate =	3.79 cfs

tc =	0.2 hr
tb =	(2.107 * E^0.4 / Qp) * (0.25 * Ad / A) = 0.775 hr
tp =	(0.7 * tc) + ((1.6 * (Ad / A)) / 12) = 0.265 hr

Discharge Rate	26.531 cfs	4.86 cfs/acre	26.531 cfs
Volume	17595 cf	Allowable Discharge Rate	Per Master Drainage Report
Discharged	17595 cf		

Pond Volume	0 cf
-------------	------

City of Albuquerque
Planning Department
Development Review Services
HYDROLOGY SECTION
APPROVED
DATE: 12/18/23
BY: [Signature]
HydroTrans # H10D037

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FIRM PANEL 3501C0326J



Hellas

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PHONE: (505) 836-7706

PROJECT:
ALBUQUERQUE BILINGUAL
ACADEMY MULTIPURPOSE FIELD
CONSTRUCTION SET

PROJECT LOCATION:
ALBUQUERQUE, NEW MEXICO



124 W. Campbell Drive
Suite 100
El Paso, TX 79912
Phone: 915.532.7373
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NEW MEXICO
26591
PROFESSIONAL ENGINEER
5/25/23

COMMENTS:

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DATE:
May 25, 2023

REVISION LIST		
NO.	DATE	DESCRIPTION

SHEET TITLE:
DRAINAGE REPORT

SHEET NUMBER:
C5.1.2



ALBUQUERQUE PUBLIC SCHOOLS

SUBMITTAL DRAWINGS FOR:

ALBUQUERQUE BILINGUAL ACADEMY MULTIPURPOSE FIELD CONSTRUCTION SET

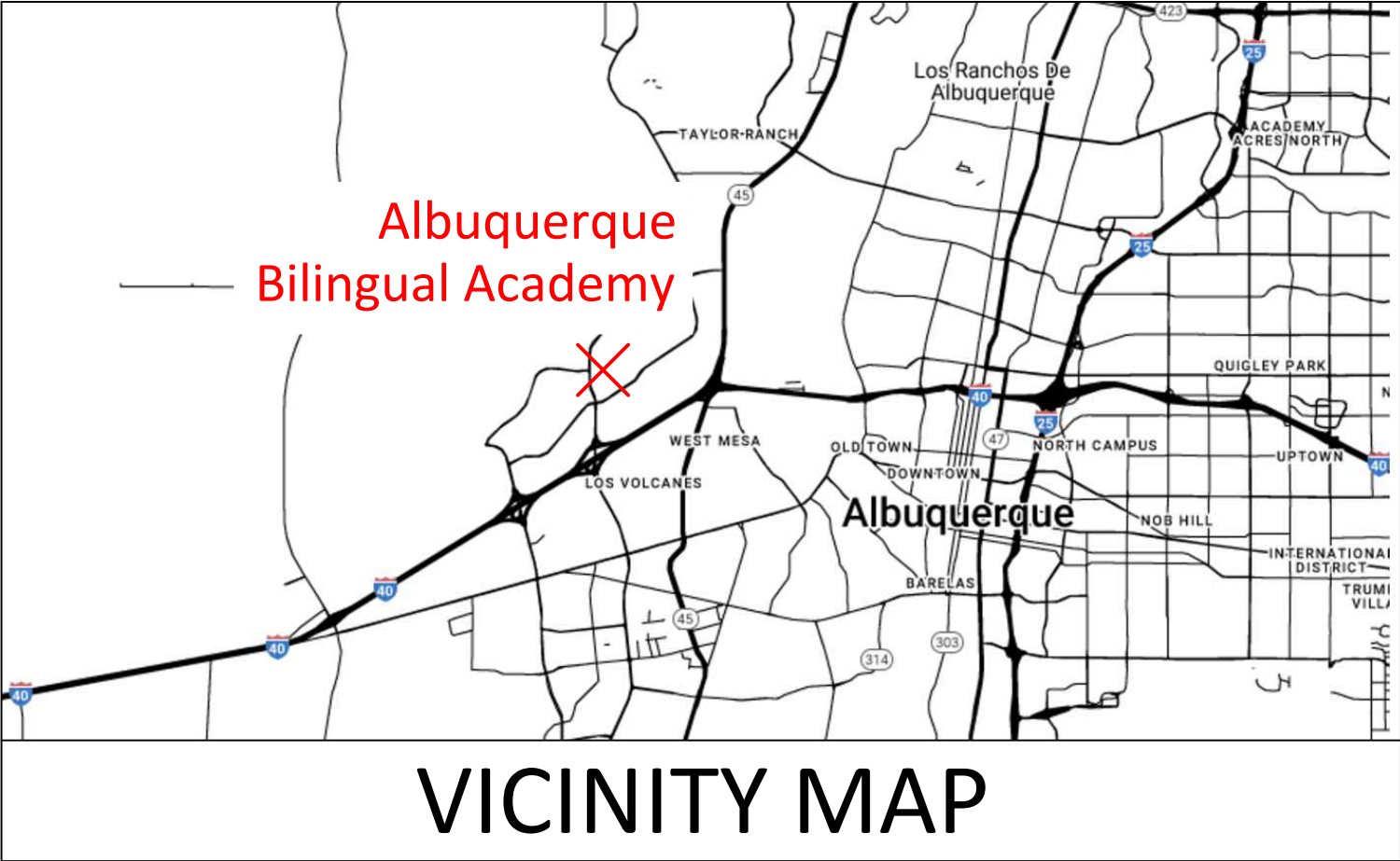
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VICINITY MAP



SITE LOCATION PLAN



Know what's below.
Call before you dig.

INDEX OF DRAWINGS

- C0.0 COVER PAGE
- C1.1 EXISTING CONDITIONS
- C2.1 DEMO PLAN
- C3.1 LAYOUT PLAN
- C4.1 GRADING PLAN
- C5.1.1 DRAINAGE PLAN
- C5.1.2 DRAINAGE REPORT
- C6.1 COLOR RENDERING
- C7.1 FACILITY/EVENT PARKING AND PEDESTRIAN CIRCULATION PLAN
- C8.1 GENERAL NOTES
- D1.1 SECTIONS AND DETAILS
- D1.2 SECTIONS AND DETAILS
- D1.3 PROPOSED NEW DUGOUT SECTIONS AND DETAILS
- EV1.1 STORMWATER POLLUTION PREVENTION PLAN
- EV2.1 ENVIROMENTAL DETAILS

LANDSCAPING/IRRIGATION PLANS AND DETAILS

ISSUE: FOR CONSTRUCTION

DATE: April 28, 2023



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Austin, TX 78613

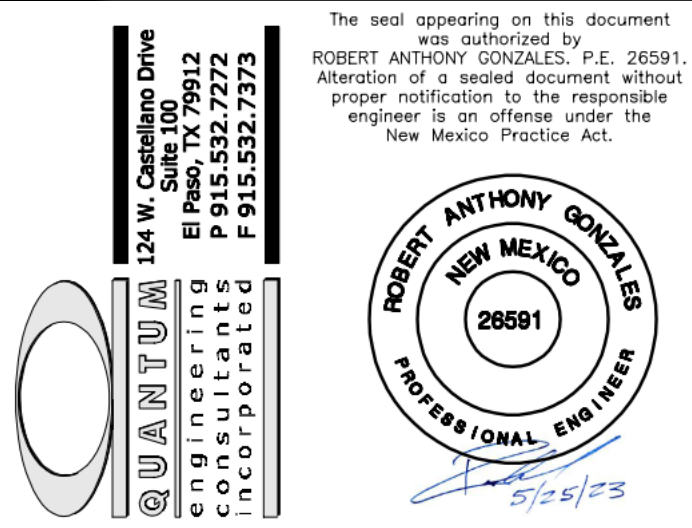
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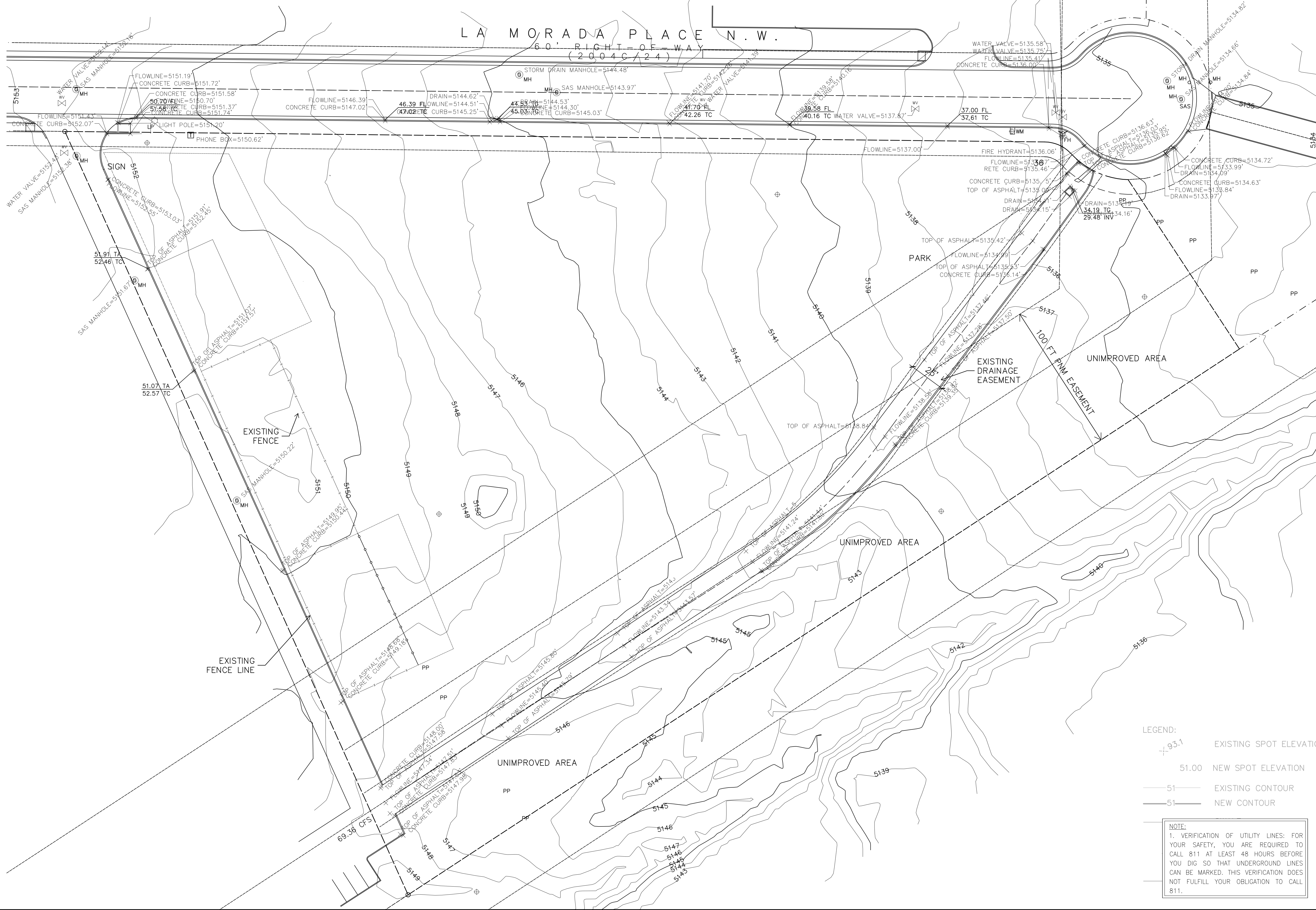
SHEET TITLE:
COVER PAGE

SHEET NUMBER:
C0.0

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LA MORADA PLACE N.W.

60' RIGHT-OF-WAY
(2004C/24)



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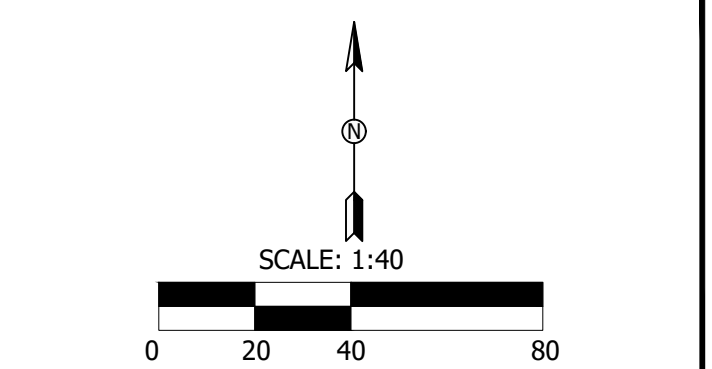
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DEMO NOTES	
LIMITS OF DISTURBED AREA: ±	144,533 SQ. FT.



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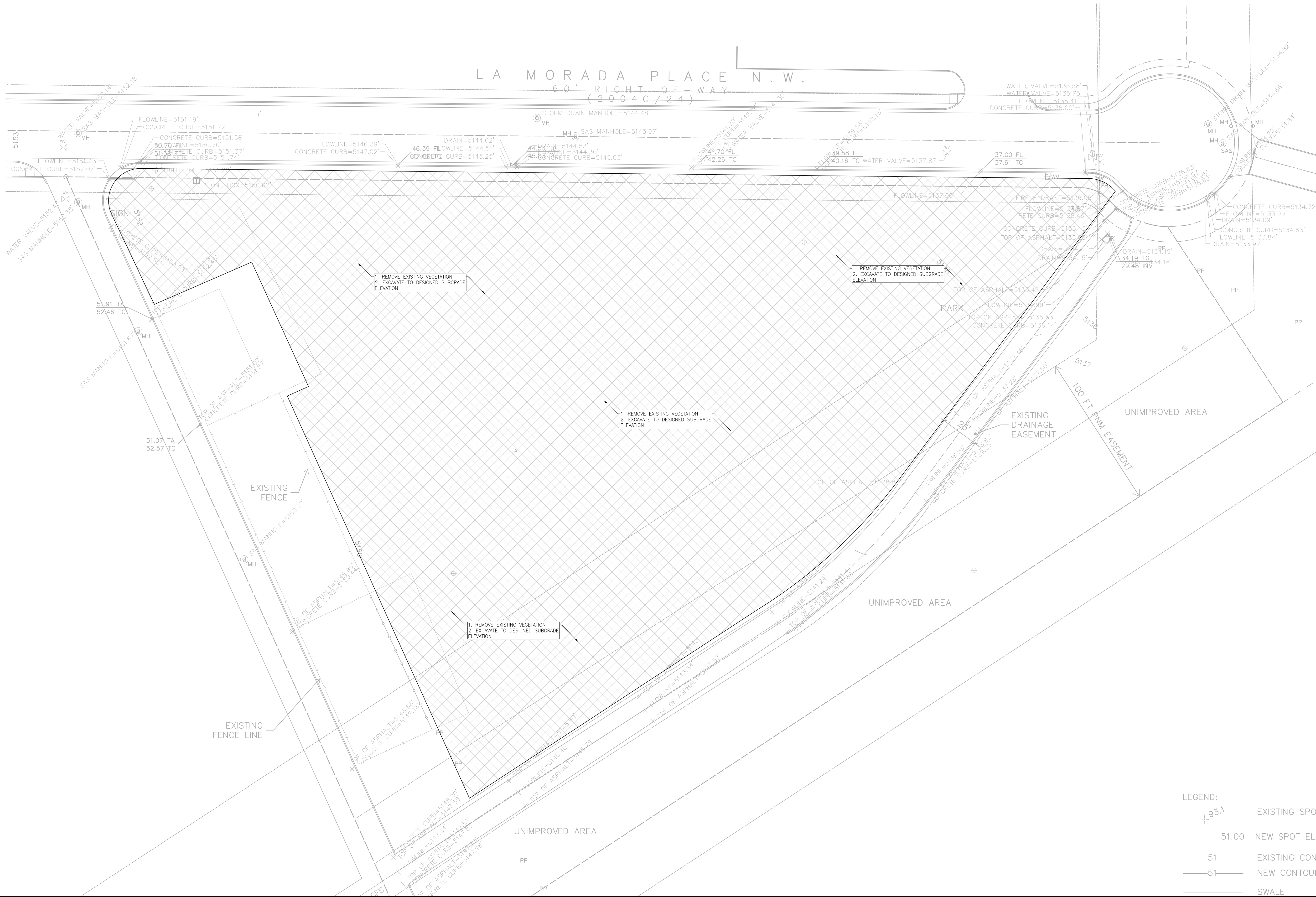
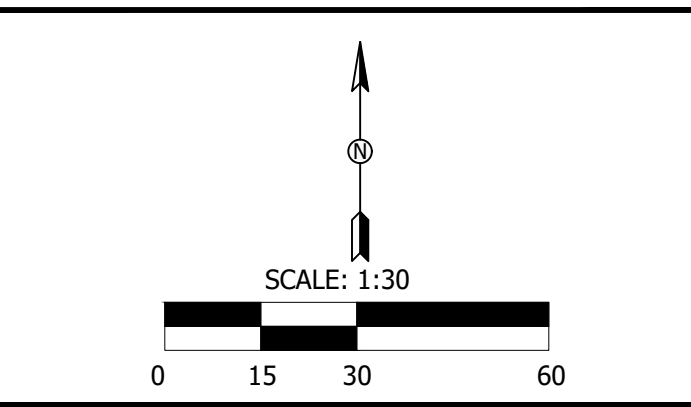
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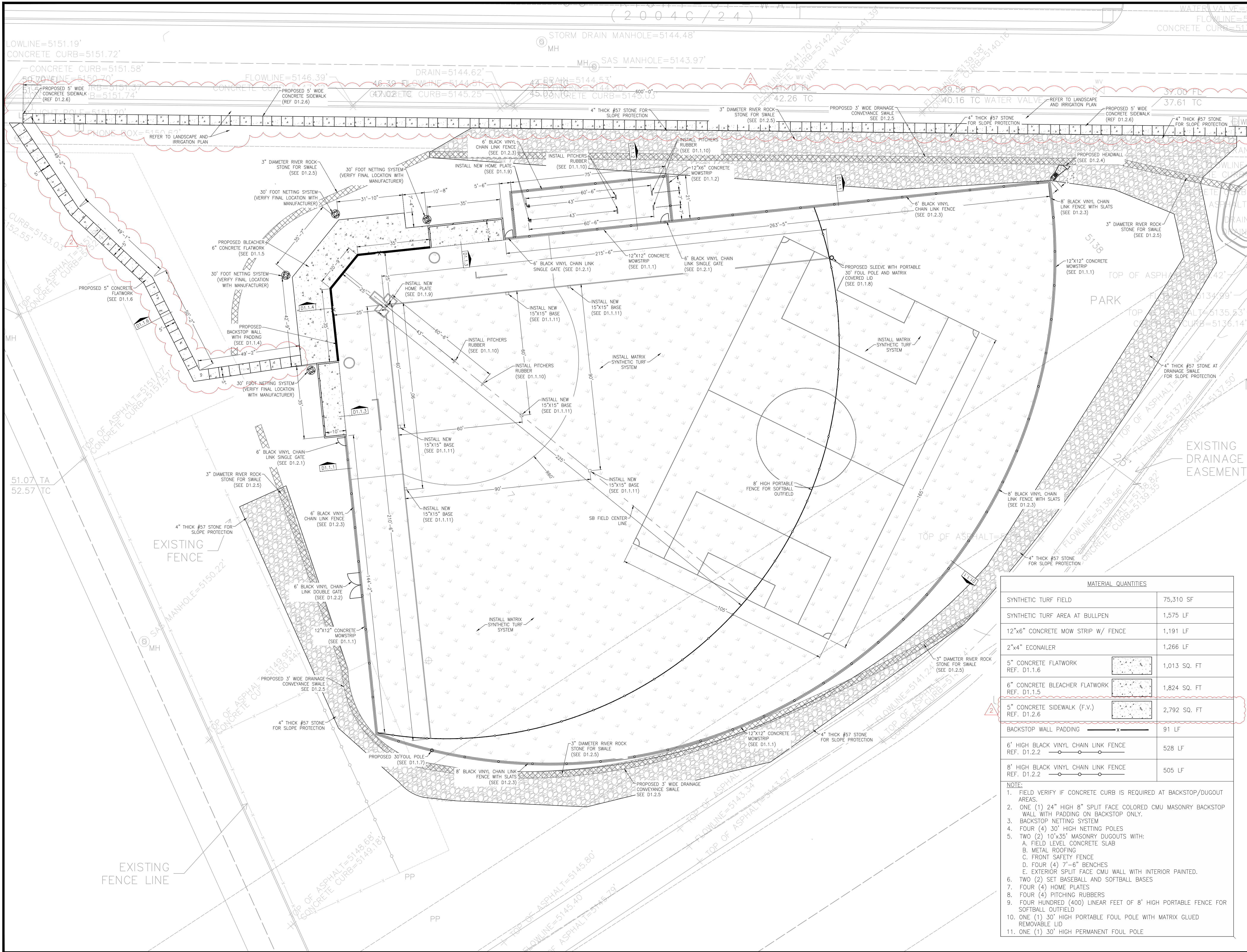
REVISION LIST		
1	4/28/23	CITY OF ALBUQUERQUE REVISIONS
2	5/18/23	SIDEWALK ADDITION
NO.	DATE	DESCRIPTION

SHEET TITLE:
DEMOLITION PLAN

SHEET NUMBER:
C2.1



LEGEND:	
93.1	EXISTING SPOT EL
51.00	NEW SPOT EL
51	EXISTING CONTOUR
51	NEW CONTOUR
—	SWALE



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OWNER:
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Albuquerque Bilingual Academy
7500 La Morada Pl NW, Albuquerque, NM 87120
PHONE: (505) 836-7706

PROJECT:
**ALBUQUERQUE BILINGUAL
ACADEMY MULTIPURPOSE FIELD
CONSTRUCTION SET**
PROJECT LOCATION:
Albuquerque, NEW MEXICO

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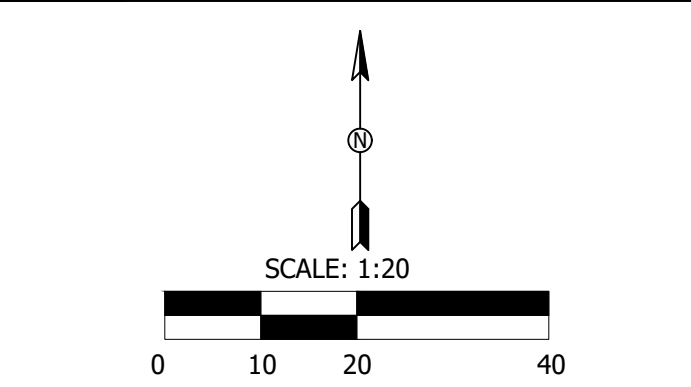
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2	5/18/23	SIDEWALK ADDITION

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SHEET TITLE:
LAYOUT PLAN

SHEET NUMBER:
C3.1





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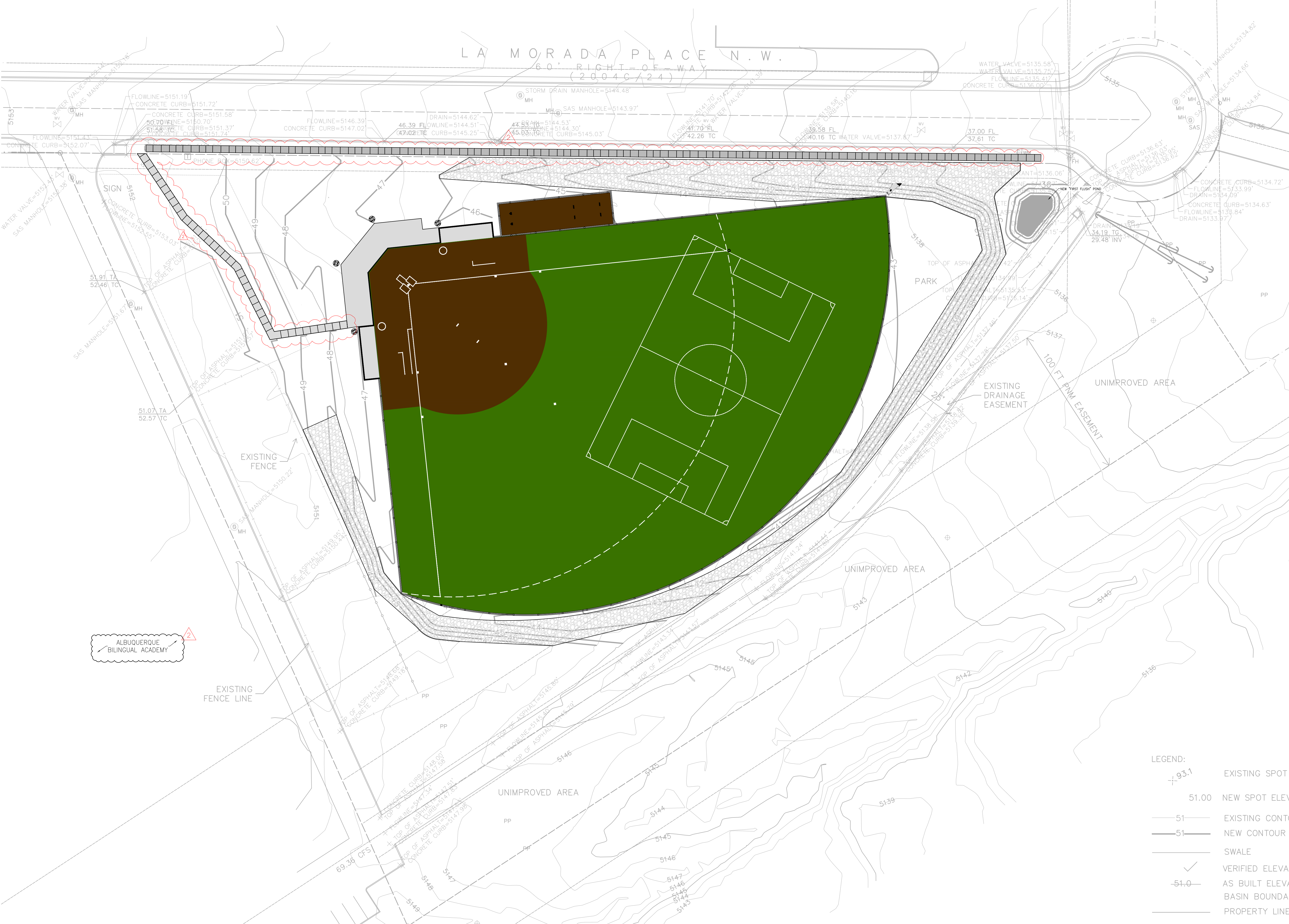
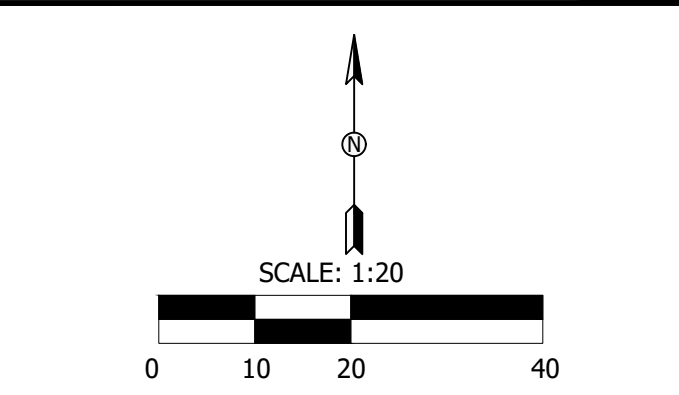
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DATE:
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2	5/18/23	SIDEWALK ADDITION
NO.	DATE	DESCRIPTION

SHEET TITLE:
COLOR RENDERING

SHEET NUMBER:
C6.1





FACILITY/ EVENT PARKING AND PEDESTRIAN CIRCULATION PLAN

NOTES:

- 1.) USERS OF THE NEW CAMPUS ATHLETIC FIELD WILL UTILIZE EXISTING CAMPUS FACILITIES INCLUDING ON-SITE PARKING AND RESTROOMS.
- 2.) THE FIELD ACTIVITIES, PRACTICES, GAMES, EVENTS WILL NOT COINCIDE WITH SCHOOL HOURS.
- 3.) NO PARKING WILL BE ALLOWED ON CITY/PUBLIC RIGHTS-OF-WAY.

LEGEND

- ➡ TRAVEL PATH OF PEDESTRIAN TRAFFIC (PEDESTRIAN CIRCULATION)
- ⊗ EXISTING RESTROOM FACILITIES
- APPROXIMATE DISTANCE FROM NEW FIELD TO ON-SITE EXISTING PARKING STALLS



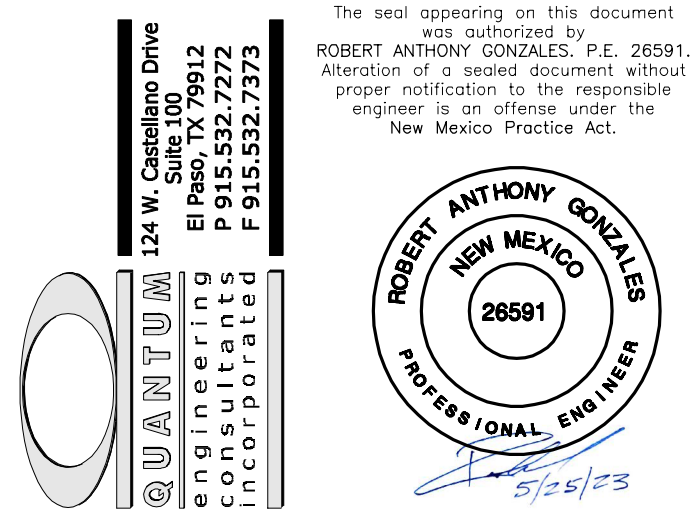
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PROJECT:
ALBUQUERQUE BILINGUAL
ACADEMY MULTIPURPOSE FIELD
CONSTRUCTION SET

PROJECT LOCATION:
ALBUQUERQUE, NEW MEXICO



COMMENTS:

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DATE:
May 25, 2023

REVISION LIST		
NO.	DATE	DESCRIPTION

SHEET TITLE:
FACILITY / EVENT PARKING AND
PEDESTRIAN CIRCULATION PLAN

SHEET NUMBER:
C7.1

GENERAL NOTES

1. THE CONTRACTOR SHALL VISIT AND FAMILIARIZE HIMSELF WITH THE PROJECT SITE PRIOR TO SUBMITTING HIS BID.
2. THE ENTIRE CONSTRUCTION ZONE SHALL BE FENCED OFF AND CLOSED TO ALL PEDESTRIAN OR VEHICULAR TRAFFIC THROUGHOUT THE DURATION OF CONSTRUCTION. EXCEPTIONS INCLUDE OWNER, MAINTENANCE PERSONNEL/OFFICIALS, CONSTRUCTION PERSONNEL/OFFICIALS, AND PROJECT DESIGN TEAM. ALL WORK WITHIN THE CITY RIGHT-OF-WAY SHALL BE PERFORMED IN ACCORDANCE WITH THE APPLICABLE CITY OF ALBUQUERQUE STANDARDS
3. VIBRATORY ROLLERS SHALL NOT BE PERMITTED ON ANY PHASE OF THIS PROJECT, UNLESS APPROVED IN WRITING BY THE PROJECT CIVIL ENGINEER.
4. ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN STRICT CONFORMANCE WITH ALL CURRENT SAFETY CODES AND STANDARDS, INCLUDING BUT NOT LIMITED TO OSHA REQUIREMENTS.
5. THE EXISTING TOPOGRAPHIC/BOUNDARY/IMPROVEMENT INFORMATION ON THIS DRAWING WAS OBTAINED FROM A SURVEYOR. THE PROJECT CIVIL ENGINEER DOES NOT WARRANT THE ACCURACY OF HIS/HER INFORMATION. CONTRACTOR TO COORDINATE AND VERIFY TEMPORARY BENCHMARKS WITH PROJECT SURVEYOR.
6. CONTRACTOR SHALL MAKE PROVISIONS FOR TEMPORARY DUST AND EROSION CONTROL WHERE EXTENSIVE DIRT OR DUST OPERATIONS ARE PERFORMED. THIS SHALL BE DONE TWICE A DAY ON A DAILY BASIS (ONCE IN THE MORNING AND ONCE IN THE AFTERNOON) INCLUDING WEEKENDS AND HOLIDAYS. USE WATER SPRINKLING AND OTHER METHODS TO LIMIT DIRT AND DUST MIGRATION. DO NOT USE WATER WHEN IT MAY CREATE HAZARDOUS OR OBJECTIONABLE CONDITIONS SUCH AS ICE, FLOODING, AND POLLUTION. COMPLY WITH GOVERNING REGULATIONS PERTAINING TO ENVIRONMENTAL PROTECTION AND THE STORM WATER POLLUTION PREVENTION PLAN MANUAL FOR THE PROJECT. CONTRACTOR SHALL PREVENT THE EROSION OF SILT, SEDIMENT AND DEBRIS FROM THE CONSTRUCTION SITE ONTO ADJACENT PROPERTIES AND STREETS. THIS MAY BE ACCOMPLISHED THROUGH THE USE OF A GEOTEXTILE FABRIC SILT FENCE OR OTHER APPROVED MEANS.
7. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF EXISTING AND/OR NEWLY CONSTRUCTED IMPROVEMENTS IN THE PROJECT AREA AND ITS VICINITY. ANY DAMAGES, RESULTING FROM CONTRACTOR'S WORK OR VANDALISM, SHALL BE REPAIRED TO ITS ORIGINAL CONDITION BY CONTRACTOR, AT NO ADDITIONAL COST TO THE OWNER OR CITY OF ALBUQUERQUE.
8. GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL REVIEW AND COORDINATE THE ENTIRE SET OF DRAWINGS AND PROJECT MANUAL TO ESTABLISH PROJECT COST.
9. CONTRACTOR SHALL COMPLY WITH ALL FEDERAL, STATE AND LOCAL ENVIRONMENTAL REGULATIONS DURING CONSTRUCTION ACTIVITY.
10. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL ENVIRONMENTAL FINES RESULTING FROM HIS/HER WORK AND SHALL HOLD THE OWNER HARMLESS, IN SUCH CASES.
11. ALL EXISTING WATER AND WASTEWATER LINES WITHIN THE PROJECT LIMITS SHALL REMAIN UNDISTURBED UNLESS OTHERWISE SPECIFIED ON THESE DRAWINGS.
12. DISTURBED AREAS MAY INCLUDE, BUT ARE NOT LIMITED TO, CONCRETE CURB, WALLS, FENCING, MISCELLANEOUS CONCRETE AND RIP-RAP, VEGETATION, AND AREAS DISTURBED BY CONSTRUCTION ACTIVITY.
13. ALL CONCRETE STRUCTURES SHOWN ON THE CIVIL DOCUMENTS SHALL BE A MIN 3000 PSI MIN @ 28 DAYS UNLESS OTHERWISE NOTED.
14. CONTRACTOR SHALL COORDINATE ALL REMOVALS, RELOCATIONS, REPLACEMENTS OR ADJUSTMENTS WITH THE OWNER AND THE PROJECT CIVIL ENGINEER.
15. EXISTING IRRIGATION LINES, SPRINKLER HEADS, VALVE BOXES, LATERALS AND ASSOCIATED APPURTENANCES SHALL BE REMOVED, REPLACED, CAPPED AND/OR ADJUSTED AS NECESSARY TO ACCOMMODATE NEW IMPROVEMENTS. CONTRACTOR SHALL COORDINATE WITH CITY OF ALBUQUERQUE FOR IRRIGATION SCHEDULES AND EXACT LOCATION OF EXISTING AND NEW SYSTEM(S).
16. INSTALL A TRENCH SAFETY SYSTEM FOR ALL TRENCHES EXCEEDING A DEPTH OF FOUR FEET (4') AS PER OSHA STANDARDS. CONTRACTOR TO SUBMIT A TRENCH SAFETY PLAN FOR APPROVAL PRIOR TO ANY EXCAVATION WORK.
17. CONTRACTOR SHALL INSURE THE FOLLOWING: ALL ACCESSIBLE ROUTES SHALL NOT EXCEED A RUNNING SLOPE GREATER THAN 1:20. NO WHERE SHALL THE CROSS SLOPE OF AN ACCESSIBLE ROUTE EXCEED 1:50. MAXIMUM SLOPES OF ADJOINING GUTTERS, ROAD SURFACE IMMEDIATELY ADJACENT TO THE CURB RAMP, OR ACCESSIBLE ROUTE SHALL NOT EXCEED 1:20. PARKING SPACES AND ACCESS ANGLES SHALL BE LEVEL WITH SURFACE SLOPES NOT EXCEEDING 1:50 IN ALL DIRECTIONS. NEW WHEELCHAIR RAMPS SHALL NOT EXCEED A SLOPE OF 1:12.
18. CONTRACTOR IS RESPONSIBLE TO MAINTAIN AREAS THAT ARE DESIGNATED TO REMAIN UNDISTURBED. SHOULD THESE AREAS BE AFFECTED AS A RESULT OF CONSTRUCTION ACTIVITIES, THE CONTRACTOR SHALL REPLACE AREAS DISTURBED TO ORIGINAL CONDITION AT NO ADDITIONAL COST TO OWNER.
19. IF EXISTING SOILS DO NOT MEET THE REQUIREMENTS OF SELECT FILL AS DETERMINED BY THE GEOTECHNICAL ENGINEER, CONTRACTOR SHALL PROVIDE EQUAL THICKNESS SELECT FILL TO REPLACE THE EXISTING SOILS AT NO ADDITIONAL COST TO THE OWNER.
20. ALL EXISTING AND PROPOSED SIDEWALKS, BARRIER FREE RAMPS, HANDICAP PARKING, DRIVEWAY CROSSWALKS, DRIVEWAYS AND ACCESSIBLE ROUTES SHALL COMPLY WITH A.D.A., I.A.S., AND THE CITY OF ALBUQUERQUE AND/OR BERNALILLO COUNTY REQUIREMENTS. EXISTING INFRASTRUCTURE NOT COMPLYING SHALL BE REMOVED AND REPLACED TO MEET APPLICABLE STANDARDS.
21. WHENEVER NEW SIDEWALK ABUTS CONCRETE STRUCTURES SUCH AS CURBS, OTHER DRIVES OR BUILDINGS, EXPANSION JOINT FILLER AND JOINT SEALANT SHALL BE PLACED IN ACCORDANCE WITH STANDARD SPECIFICATIONS.
22. CONTRACTOR SHALL COORDINATE ANY TRAFFIC SIGNAGE RELOCATIONS, REMOVALS, REPLACEMENT OR CONFLICTS WITH THE CITY OF ALBUQUERQUE AND/OR BERNALILLO COUNTY.
23. THE CONTRACTOR SHALL VERIFY ALL CONSTRUCTION DIMENSIONS AND GRADES PRIOR TO COMMENCING WITH THE WORK. ANY DISCREPANCIES, OMISSIONS, AND/OR ERRORS NOTED SHALL BE REPORTED IMMEDIATELY TO THE PROJECT CIVIL ENGINEER. OTHERWISE, THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR THEIR CORRECTNESS.
24. FILL MATERIALS FOR SITE GRADING AND BACKFILL MAY CONSIST OF ONSITE AND/OR IMPORTED MATERIALS IN STRICT COMPLIANCE WITH THE PROJECT GEOTECHNICAL REPORT AND PROJECT SPECIFICATIONS. ALL FILL MATERIAL OR SUBGRADE THAT WILL SUPPORT NEW IMPROVEMENTS SHALL BE COMPACTED TO A MINIMUM OF 95% MAX DENSITY AS PER ASTM D1557. A COPY OF THE INVESTIGATION OR INVESTIGATION CAN BE PROVIDED FOR THE CONTRACTOR'S REFERENCE BY THE OWNER. REFER TO PROJECT GEOTECHNICAL REPORT FOR ADDITIONAL REQUIREMENTS AND SPECIFICATION
25. THE GRADING PLAN SHALL BE COORDINATED WITH THE COMPLETE SET OF CONSTRUCTION DRAWINGS FOR SITE IMPROVEMENT DETAILS, DIMENSIONS AND LAYOUT. PRIOR TO PLACING FILL, EXISTING VEGETATION AND ROOT MAY SHALL BE REMOVED. COMPLETE STRIPPING OF THE TOP SOIL SHALL BE PERFORMED. THE SUBGRADE SHALL BE PROOFROLLED WITH AN ADEQUATELY LOADED VEHICLE SUCH AS A FULLY-LOADED TANDEN-AXLE DUMP TRUCK. THE PROOFROLLING SHALL BE PERFORMED UNDER THE DIRECTION OF THE GEOTECHNICAL ENGINEER. AREAS EXCESSIVELY DEFLECTING UNDER THE PROOFROLL SHALL BE DELINEATED AND SUBSEQUENTLY ADDRESSED BY THE GEOTECHNICAL ENGINEER. SUCH AREAS SHALL EITHER BE REMOVED OR MODIFIED BY STABILIZING WITH LIME, FLY ASH, KILN DUST, CEMENT OR GEOTEXTILES. EXCESSIVELY WET OR DRY MATERIAL SHALL EITHER BE REMOVED OR MOISTURE CONDITIONED AND RECOMPACTED
26. THE CONTRACTOR SHALL SCHEDULE AND PERFORM HIS WORK SO AS TO ENSURE THE SAFE AND SUFFICIENT PASSAGE OF STORMWATER RUNOFF DURING THE COURSE OF HIS OPERATIONS. ALL REQUIRED LABOR, TOOLS, EQUIPMENT, AND SUPERVISION SHALL BE CONSIDERED INCIDENTAL TO THE WORK AND SHALL BE PROVIDED AT NO ADDITIONAL COST TO THE OWNER.
27. CONTRACTOR SHALL MAINTAIN PROPER DRAINAGE THROUGH THE CONSTRUCTION ZONE THROUGHOUT THE DURATION OF THIS PROJECT. PROVISIONS SHALL BE MADE TO MANAGE STORMWATER EFFICIENTLY THROUGH THE CONSTRUCTION ZONE BY THE CONTRACTOR SO AS NOT TO DAMAGE NEW AND/OR EXISTING STRUCTURES OR IMPROVEMENTS. THE CONTRACTOR IS RESPONSIBLE FOR ALL REPAIRS OF ANY DAMAGES. ALL REQUIRED LABOR, TOOLS, EQUIPMENT, AND SUPERVISION SHALL BE CONSIDERED INCIDENTAL TO THE WORK AND SHALL BE PROVIDED AT NO ADDITIONAL COST TO THE OWNER.
28. THE CONTRACTOR SHALL COORDINATE THE CONSTRUCTION SCHEDULE WITH THE OWNER, ALL AFFECTED UTILITY COMPANIES, FACILITY USERS, CITY OF ALBUQUERQUE, AND ALL OTHER ENTITIES HAVING JURISDICTION OVER THE PROJECT. CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ALL COORDINATION EFFORTS WITH EACH RESPECTIVE UTILITY COMPANY FOR ALL RELOCATIONS, REMOVALS AND/OR REPLACEMENTS OF ANY UTILITY SERVICE LINES OR MAINS. ADDITIONALLY, THE CONTRACTOR SHALL MAKE THE APPROPRIATE ARRANGEMENTS FOR UTILITY CONNECTIONS AND/OR HOOK-UPS TO PROVIDE THE NECESSARY POWER OR SERVICE TO NEW UTILITY INSTALLATIONS AND OBTAIN ALL INSPECTIONS, APPROVALS OR ACCEPTANCES OF THESE FACILITIES. REFER TO EACH RESPECTIVE DISCIPLINE.
29. WARNING! BEFORE EXCAVATING, CONTRACTOR SHALL LOCATE AND PROTECT ALL UNDERGROUND UTILITY LINES. CONTRACTOR SHALL REPLACE ANY AND ALL UTILITIES DAMAGED DURING CONSTRUCTION, AT NO ADDITIONAL COST TO THE OWNER OR UTILITY COMPANIES HAVING JURISDICTION AND/OR CITY OF ALBUQUERQUE.
30. ALL EXISTING UTILITIES SHALL REMAIN UNDISTURBED UNLESS OTHERWISE NOTED. ALL UTILITIES IN CONFLICT WITH PROPOSED SITE IMPROVEMENTS AND LOCATED WITHIN THE PROJECT LIMITS INCLUDING ALL METERS, FIRE HYDRANTS, VALVTS, BACKFLOW PREVENTORS, IRRIGATION POLES, IRRIGATION LINES, MAINS, HEADS AND ASSOCIATED APPURTENANCES, LIGHT POLES, SANITARY SEWER MANHOLES, UTILITY MANHOLES AND ASSOCIATED APPURTENANCES SHALL BE REMOVED, REPLACED, RELOCATED OR ADJUSTED AS NECESSARY TO ACCOMMODATE THE NEW SITE IMPROVEMENTS. ALL UTILITIES AND ASSOCIATED APPURTENANCES SHALL BE PLACED AT NEW LOCATIONS OR AREAS DESIGNATED BY THE UTILITY COMPANY(S) HAVING JURISDICTION OVER THE PROJECT. UTILITIES AND ASSOCIATED APPURTENANCES SHALL BE PLACED SO AS NOT TO CONFLICT WITH OTHER EXISTING UTILITIES AND/OR PROPOSED IMPROVEMENTS.
31. UNDERGROUND/OVERHEAD UTILITIES SHOWN ON THE DRAWINGS ARE FOR DESIGN PURPOSES ONLY. OTHER UTILITIES MAY EXIST WHICH ARE NOT SHOWN ON THE DRAWINGS. THE LOCATION, DEPTH, AND SIZE OF THE UTILITIES SHOWN, ARE FOR INFORMATION PURPOSES ONLY AND SHALL BE VERIFIED BY THE CONTRACTOR. THE CONTRACTOR SHALL USE EXTREME CAUTION AND/OR CONSTRUCTIVE MEASURES WHEN IN AREAS WHERE OVERHEAD POWERLINES OR GUY WIRES EXIST. CONTRACTOR SHALL CONSULT WITH THE ELECTRIC COMPANY AND/OR OTHER UTILITY COMPANIES HAVING JURISDICTION WHEN WORKING IN THE GENERAL VICINITY OR BELOW THE OVERHEAD LINES OR GUY WIRES, ESPECIALLY WITH HEAVY EQUIPMENT. CONTRACTOR SHALL NOT DISTURB POWER POLES, GUY WIRES, GUY WIRE ANCHORS OR LINES WITHOUT CONSULTING CITY OF ALBUQUERQUE, BERNALILLO COUNTY, ALBUQUERQUE BILINGUAL ACADEMY OR OTHERS HAVING JURISDICTION. ALL EXISTING UNDERGROUND/OVERHEAD UTILITIES SHALL REMAIN UNDISTURBED UNLESS OTHERWISE NOTED ON THE PLANS.

GENERAL NOTES (CONTINUED)

32. EXISTING GAS MAINS CURRENTLY IN SERVICE WITHIN THE PROJECT LIMITS MUST REMAIN IN SERVICE THROUGHOUT CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR PROTECTING EXISTING GAS MAINS (INCLUDING SERVICE LINES) FROM DAMAGE AS A RESULT OF THE CONSTRUCTION ACTIVITIES. CONTRACTOR TO COORDINATE WITH THE GAS COMPANY AS NECESSARY.
33. IN THE EVENT THAT EXISTING GAS LINES ARE IN CONFLICT WITH CONSTRUCTION -- CONTRACTOR MUST COORDINATE WITH THE GAS COMPANY AND/OR PLUMBING COMPANY AND ALLOW TIME WITHIN THE CONSTRUCTION SCHEDULE FOR RELOCATION OF GAS LINES.
34. CALL FOR LINE SPOT BEFORE BEGINNING CONSTRUCTION OR EXCAVATION. IT IS REQUIRED THAT CONTRACTOR CALL THE GAS COMPANY 48 HOURS PRIOR TO EXCAVATING THE AREA NEAR THE HIGH PRESSURE GAS MAIN.
35. CONTRACTOR SHALL EXERCISE EXTRA CARE WHEN WORKING IN THE PROXIMITY OF THE EXISTING FIBER OPTIC LINES. FIBER OPTIC LINES SHALL NOT BE DISTURBED OR ADJUSTED. CONTRACTOR MUST COORDINATE WITH UTILITY COMPANIES HAVING JURISDICTION.
36. ACTIVE WATER AND SANITARY SEWER MAIN LINE UTILITIES (INCLUDING SERVICE LINES), WHETHER OR NOT SHOWN ON THESE DRAWINGS, SHALL BE ADEQUATELY PROTECTED WITH BERMS AND/OR BRIDGING DURING CONSTRUCTION SO AS NOT TO DAMAGE THE EXISTING MAINS THAT ARE TO REMAIN. ANY DAMAGES CAUSED BY THE CONTRACTOR SHALL BE REPAIRED, RESTORED AND/OR REPLACED BY THE CONTRACTOR AS NECESSARY IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE OR BERNALILLO COUNTY UTILITIES STANDARDS AND SPECIFICATIONS, AT NO ADDITIONAL COST TO THE OWNER. SERVICE MUST BE PROVIDED TO USERS AT ALL TIMES.
37. CONTRACTOR SHALL FIELD VERIFY LOCATION OF EXISTING OVERHEAD AND UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION.
38. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONTACT ALL UTILITY COMPANIES FOR THE EXACT LOCATION AND FINAL COVER OF UNDERGROUND AND OVERHEAD UTILITIES INCLUDING UTILITIES NOT SHOWN ON PLANS. THE CONTRACTOR SHALL PROTECT ALL THE EXISTING UNDERGROUND AND OVERHEAD STRUCTURES AND UTILITIES DURING CONSTRUCTION.
39. THE UNDERGROUND UTILITIES NOTED HEREON HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION. THE SURVEYOR AND ENGINEER MAKE NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR AND ENGINEER FURTHER DO NOT WARRANT THAT THE UNDERGROUND UTILITIES ARE IN THE EXACT LOCATIONS INDICATED, ALTHOUGH THEY DO CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE. THE SURVEYOR, NO PROJECT CIVIL ENGINEER HAVE NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.
40. INACTIVE OR ABANDONED UTILITIES ENCOUNTERED DURING CLEARING AND GRUBBING, GRADING OR CONSTRUCTION SHALL BE REMOVED, CAPPED, OR PLUGGED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER. IN THE ABSENCE OF SPECIFIC REQUIREMENTS, ALL WORK SHALL BE DONE IN ACCORDANCE TO LOCAL CODES OR REGULATIONS OR AS DIRECTED BY THE PROJECT CIVIL ENGINEER OR OWNER.
41. ALL IRRIGATION LINES, MAINS, SPRINKLER HEADS, VALVES, FITTINGS AND ASSOCIATED APPURTENANCES THAT ARE DESIGNATED TO BE REMOVED IN ORDER TO ACCOMMODATE THE PROPOSED IMPROVEMENTS, SHALL BE REMOVED, CAPPED, AND PLUGGED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER. CAP EXISTING MAIN AT APPROPRIATE LOCATION SO AS NOT TO INTERFERE WITH NEW CONSTRUCTION.
42. CONTRACTOR SHALL FIELD VERIFY LOCATION OF ALL EXISTING OVERHEAD UTILITIES.
43. EXISTING TREES & SHRUBS SHALL REMAIN UNDISTURBED UNLESS OTHERWISE NOTED.
44. ALL EXISTING TREES/SHRUBS ARE NOT SHOWN ON THE PLANS. CONTRACTOR SHALL MINIMIZE THE DISTURBANCE OF ALL SURROUNDING VEGETATION (TREES, SHRUBS, GRASS, ETC.) DESIGNATED TO REMAIN, THAT ARE NOT IN CONFLICT WITH THE PROPOSED IMPROVEMENTS.
45. FOR EXISTING TREES, PLANTS, OR SHRUBS DESIGNATED TO BE REMOVED, SALVAGED AND REPLANTED AT A LOCATION DESIGNATED BY OWNER, A "TREE SPADE" SHALL BE USED TO PERFORM THE REPLANTING OPERATIONS FOR EXISTING TREES. ANY TREE GREATER THAN 6" IN DIAMETER SHALL BE REMOVED AND NOT REPLANTED. THESE TREES SHALL BE REPLACED WITH AN EQUIVALENT NUMBER OF SMALLER DIAMETER TREES. (FOR EXAMPLE A 6"Ø TREE, CAN BE REPLACED WITH THREE 2" DIAMETER TREES). THERE IS NO GUARANTEE THAT ANY EXISTING TREES, PLANTS AND SHRUBS WILL SURVIVE THE TRANSPLANTING. SHOULD EXISTING VEGETATION NOT SURVIVE THE TRANSPLANTING, THE CONTRACTOR SHALL REPLACE THE PLANTS, TREES OR SHRUBS WITH AN EQUIVALENT REPLACEMENT AT NO ADDITIONAL COST TO THE OWNER.
46. CONTRACTOR SHALL REMOVE EXISTING VEGETATION ON AREAS SUBJECT TO EARTHWORK OPERATIONS, AS PER THE PROPOSED GRADING PLAN.
47. REFER TO LANDSCAPING DRAWINGS FOR DETAILS OF ALL PROPOSED LANDSCAPE IMPROVEMENTS (IF APPLICABLE).
48. THE CONTRACTOR SHALL EXERCISE CARE TO PRESERVE THE NATURAL LANDSCAPE AT THE AREAS MARKED AS "TO REMAIN UNDISTURBED," AND SHALL CONDUCT HIS CONSTRUCTION OPERATION SO AS TO PREVENT ANY DAMAGE TO EXISTING FEATURES, EXCEPT WHERE CLEARING IS REQUIRED FOR PERMANENT WORK AND FOR EXCAVATION OPERATIONS. TREES, NATIVE SHRUBBERY, AND VEGETATION SHALL BE PROTECTED FROM DAMAGE WHICH MAY BE CAUSED BY THE CONTRACTOR'S CONSTRUCTION OPERATIONS AND EQUIPMENT.
49. COORDINATE FINAL GRADING WITH LANDSCAPING PLANS FOR SWALES, BERMS AND OTHER LANDSCAPE FEATURES AS REQUIRED.
50. CONTRACTOR SHALL PROVIDE DOCUMENTATION TO ENSURE THAT THE STORMWATER RETENTION/DETENTION POND SHOWN ON THE PLANS PERCOLATE WITHIN A SEVENTY-TWO HOUR PERIOD. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO HIRE THE SERVICES OF A LICENSED PROFESSIONAL GEOTECHNICAL ENGINEER TO PERFORM AND PROVIDE AT LEAST ONE PERCOLATION TEST AT EACH RETENTION BASIN AREA. PERCOLATION TEST SHALL BE PERFORMED TO A DEPTH NO LESS THAN FIVE FEET FROM THE PROPOSED BOTTOM OF POND ELEVATION AREA/DETENTION.
51. OVEREXCAVATION OF EXPANSIVE/ COMPRESSIVE SOILS WITHIN WATER HARVESTING AND PONDING AREAS SHALL BE PERFORMED AS PER THE GEOTECHNICAL ENGINEER'S RECOMMENDATIONS BASED ON PERCOLATION TEST RESULTS DURING CONSTRUCTION.



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Robert Gonzales

COMMENTS:
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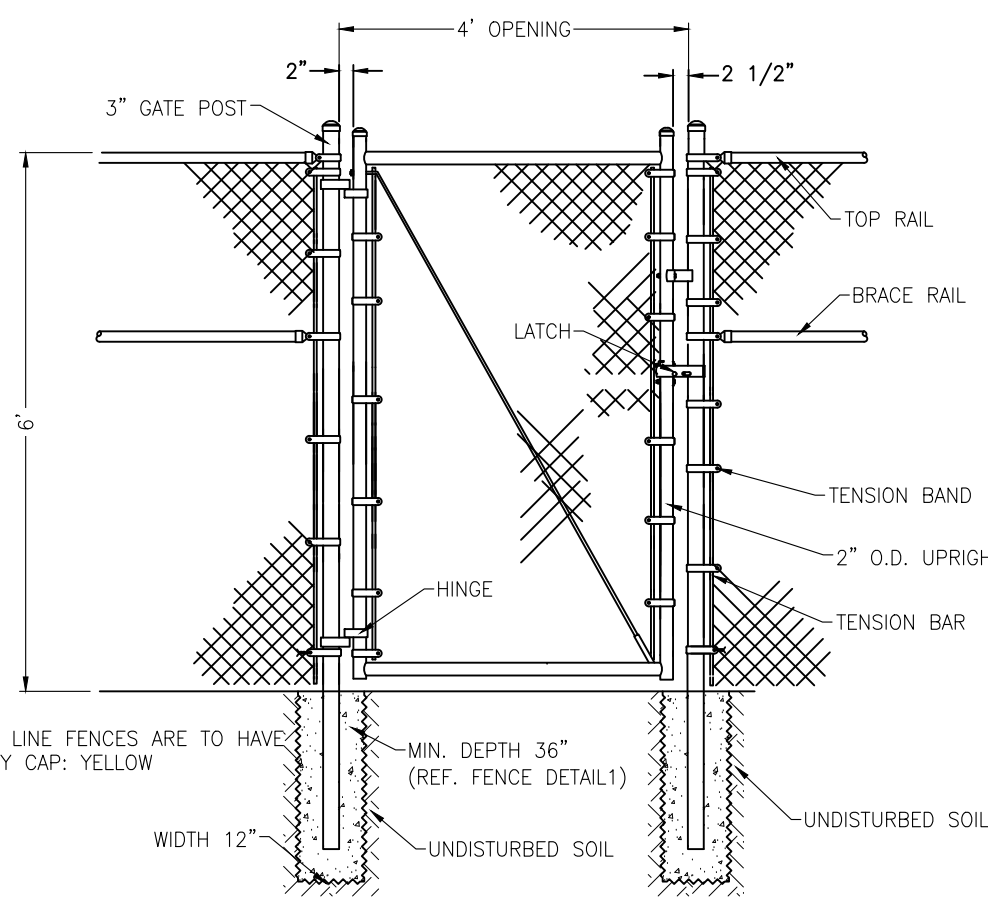
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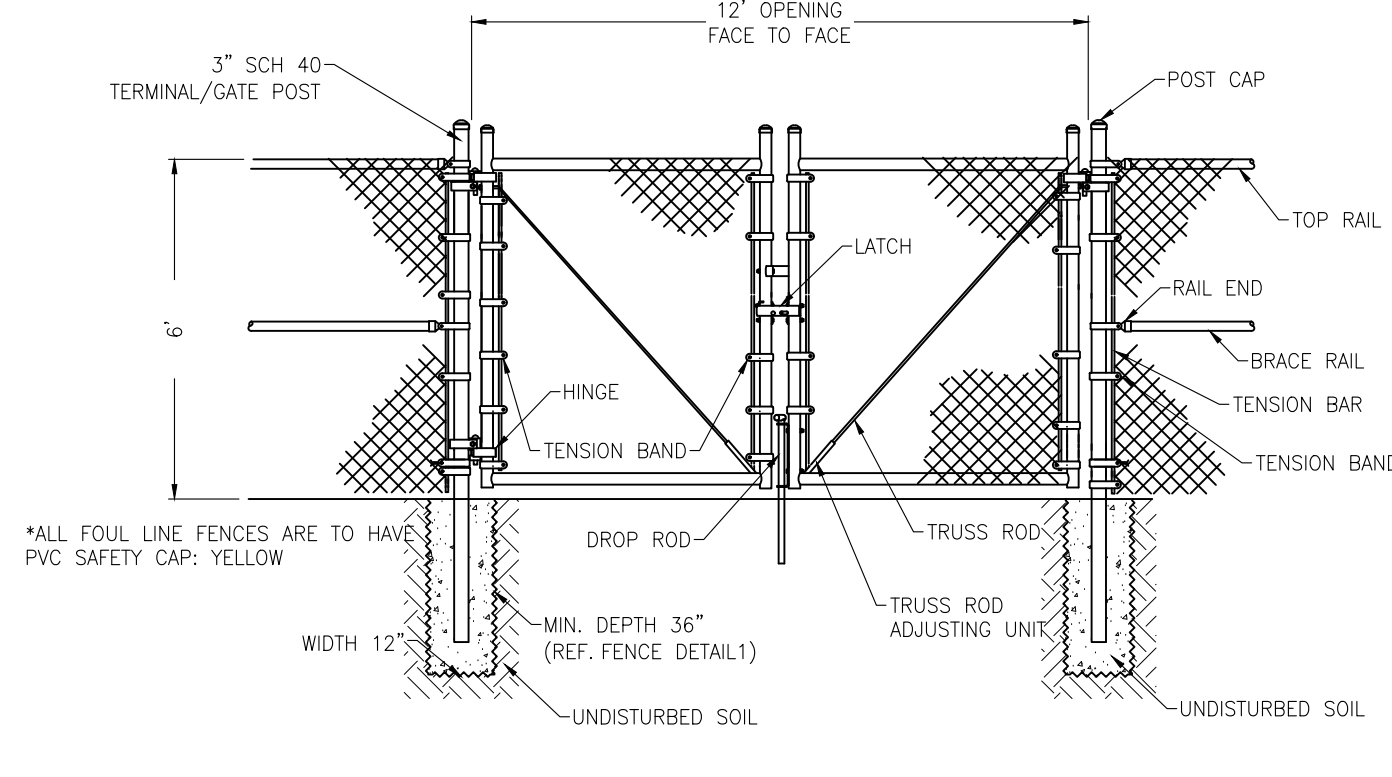
REVISION LIST		
NO.	DATE	DESCRIPTION

SHEET TITLE:
GENERAL NOTES

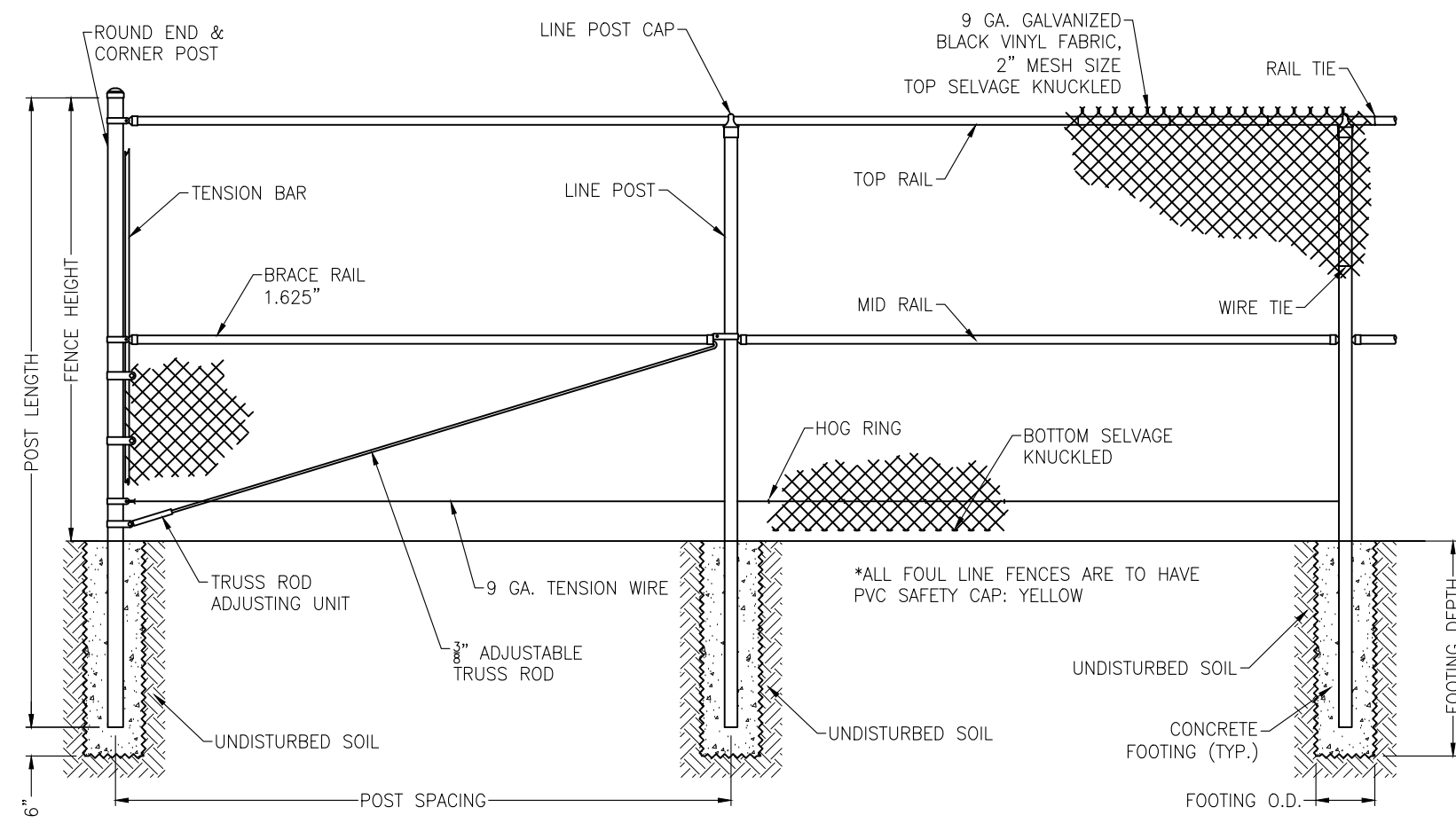
SHEET NUMBER:
C8.1



1 SINGLE GATE DETAIL
Scale: NTS

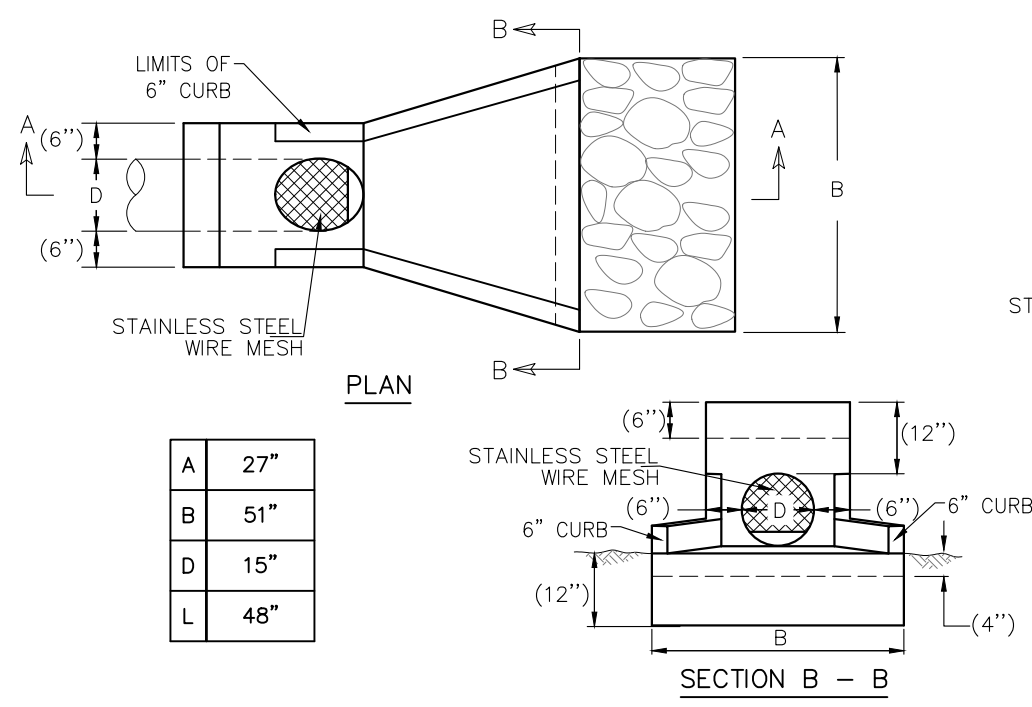


2 DOUBLE GATE DETAIL
Scale: NTS

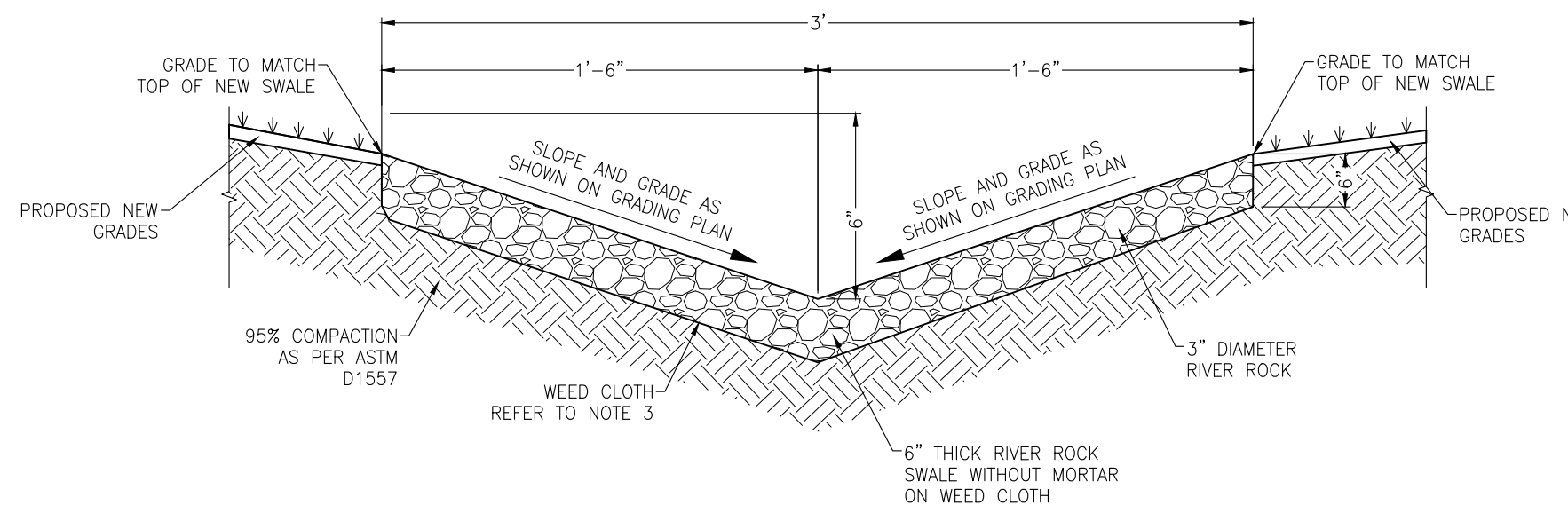


FENCE SUMMARY		
	6' HIGH BLACK VINYL CHAIN LINK FENCE	8' HIGH BLACK VINYL CHAIN LINK FENCE
END AND CORNER POST O.D.	2.875"	2.875"
LINE POST O.D.	2.375"	2.375"
POST LENGTH TOTAL	9.0'	12.0'
POST SPACING	10.0' O.C. MAX	8.0' O.C. MAX
TOP RAIL O.D.	1.625"	1.66"
MID RAIL O.D.	N/A	N/A
FOOTING O.D.	12"	12"
FOOTING DEPTH	3.5'	4.5'

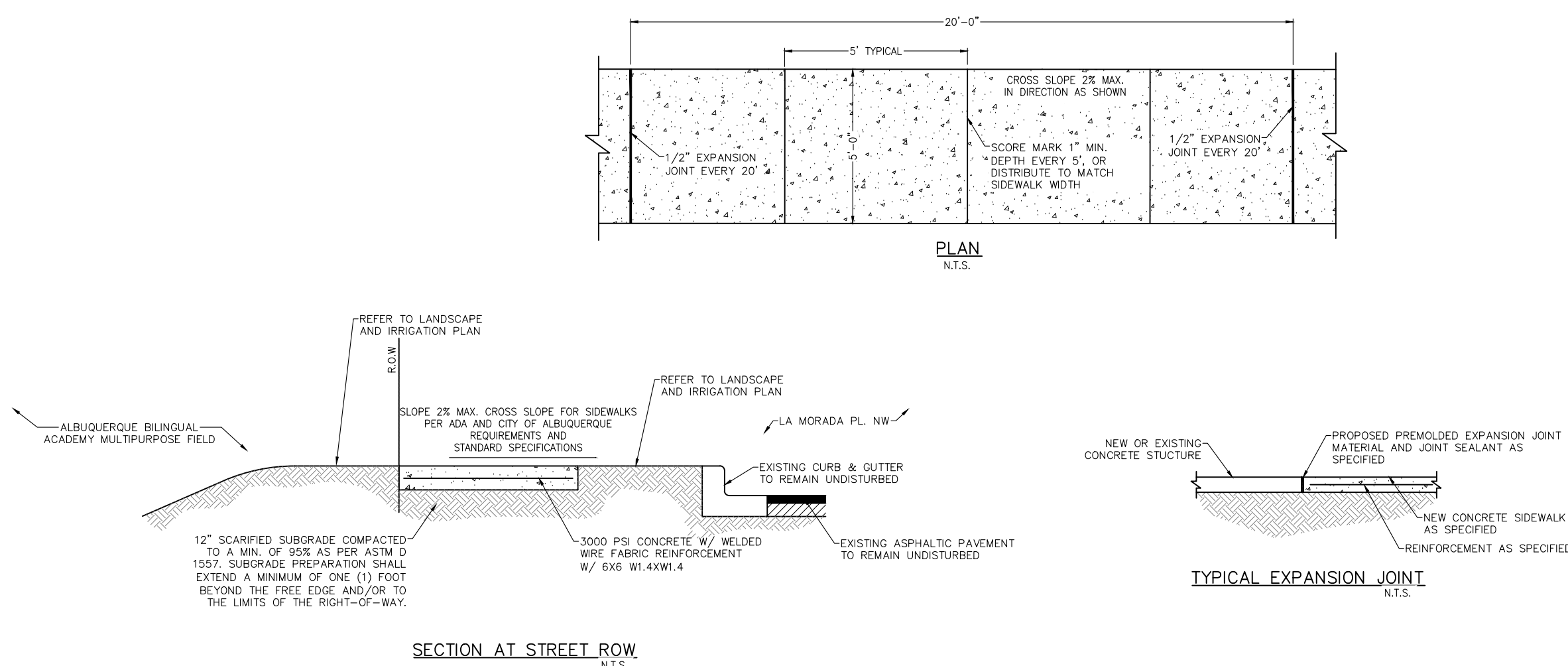
3 FENCE DETAIL
Scale: NTS



4 HEADWALL DETAIL WITH RIP RAP DETAIL
Scale: NTS



5 RIVER ROCK SWALE WITHOUT MORTAR
Scale: NTS



6 TYPICAL CONCRETE SIDEWALK WITHIN CITY RIGHT-OF-WAY
Scale: NTS

REINFORCED CONCRETE NOTES:

- ALL CONCRETE SHALL BE CLASS C (3000 PSI) NORMAL WEIGHT CONCRETE.
- THE CONCRETE MIX DESIGN FOR THE PROJECT SHALL HAVE A WATER / CEMENT RATIO OF NOT MORE THAN 0.46. WATER CONTENT SHALL BE CLOSELY MONITORED DURING THE BATCHING PROCESS. UNDER NO CIRCUMSTANCES SHALL THE WATER / CEMENT RATIO BE PERMITTED TO EXCEED THE SPECIFIED MAXIMUM. CONCRETE SHALL BE PROPORTIONED TO PROVIDE THE SPECIFIED COMPRESSIVE STRENGTH OR GREATER AT A SLUMP IN THE RANGE OF 4 TO 6 INCHES USING A WATER REDUCER. THE USE FLY ASH IS RECOMMENDED, BUT SHALL NOT EXCEED 20% OF THE TOTAL OF THE CEMENT PLUS FLY ASH BY WEIGHT.
- REINFORCING STEEL SHALL BE ASTM / ANSI A615, GRADE 60. DETAILING, FABRICATION, AND ERECTION SHALL BE IN ACCORDANCE WITH THE AMERICAN CONCRETE INSTITUTE "MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES" ACI 315.
- CONCRETE CONSTRUCTION INCLUDING MINIMUM REINFORCING STEEL COVERAGE BY CONCRETE SHALL BE IN ACCORDANCE WITH THE AMERICAN CONCRETE INSTITUTE "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE", ACI 318, UNLESS OTHERWISE NOTED.
- PROVIDE SUPPORTS OR CHAIRS TO SUPPORT REBAR AT THE APPLICABLE POSITIONS AS REQUIRED TO PROVIDE PROPER REBAR SUPPORT.
- LAP CONTINUOUS UNSCHEDULED REINFORCING BARS SHALL BE EQUIVALENT TO 20 BAR DIAMETERS UNLESS OTHERWISE NOTED.
- THE CONTRACTOR SHALL INSURE THAT EMBEDDED ITEMS ARE DELIVERED IN A TIMELY FASHION AND INSTALLED IN THE FORM WORK PRIOR TO PLACEMENT OF CONCRETE.
- FIELD CUTTING OF REINFORCEMENT SHALL BE BY SHEARING OR SAWING. FIELD CUTTING BY TORCH WILL BE PERMITTED ONLY WITH THE APPROVAL OF THE ENGINEER.
- UNLESS OTHERWISE NOTED ALL 90, 135 AND 180-DEGREE REINFORCING STEEL HOOKS SHALL BE STANDARD ACI HOOKS.
- THE CONTRACTOR SHALL USE A "TREMIE" TO PLACE CONCRETE IN ALL AREAS WHERE THE FALL OF THE CONCRETE IS GREATER THAN 5 FEET.
- THE CONTRACTOR SHALL USE CARE TO PROPERLY VIBRATE CONCRETE DURING PLACING OPERATIONS TO ENSURE GOOD DENSITY OF CONCRETE AND TO MINIMIZE DEFECTS.
- FORM WORK FOR SURFACES EXPOSED TO VIEW IN THE FINISHED CONSTRUCTION SHALL BE SMOOTH, EITHER WOOD OR METAL FORMS SHALL BE FREE OF RAISED GRAIN, TORN SURFACES, WORN EDGES, PATCHES, DENTS, OR OTHER DEFECTS. STRENGTH OF FORMS SHALL BE SUCH THAT NO WARPING, BULGING, OR BOWING OCCURS UNDER THE WEIGHT OF WET CONCRETE, JOINTS SHALL BE SMOOTH AND MORTAR TIGHT, FORMS WHICH DO NOT PRESENT A SMOOTH SURFACE OR DO NOT LINEUP PROPERLY SHALL NOT BE USED. FORMS SHALL BE FREE OF RUST GREASE, OR OTHER FOREIGN SURFACES THAT MAY DISCOLOR THE FINISHED CONCRETE.

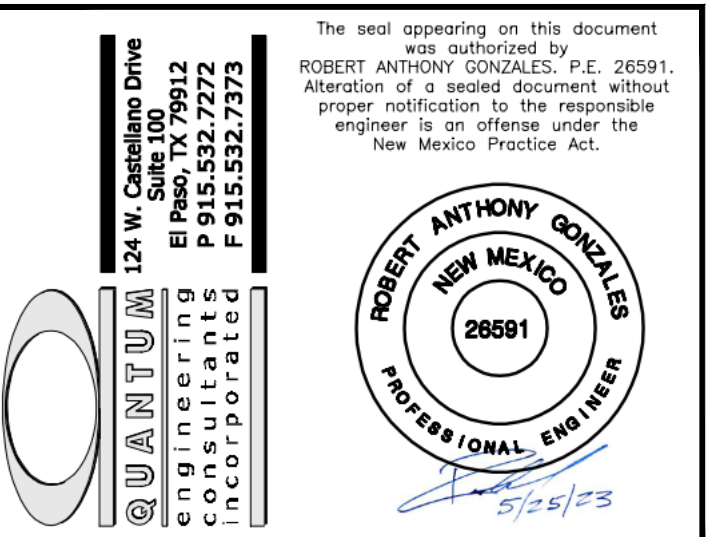


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Albuquerque Bilingual Academy
7500 La Morada Pl NW, Albuquerque, NM 87120
PHONE: (505) 836-7706

PROJECT:
ALBUQUERQUE BILINGUAL
ACADEMY MULTIPURPOSE FIELD
CONSTRUCTION SET

PROJECT LOCATION:
Albuquerque, NEW MEXICO



COMMENTS:
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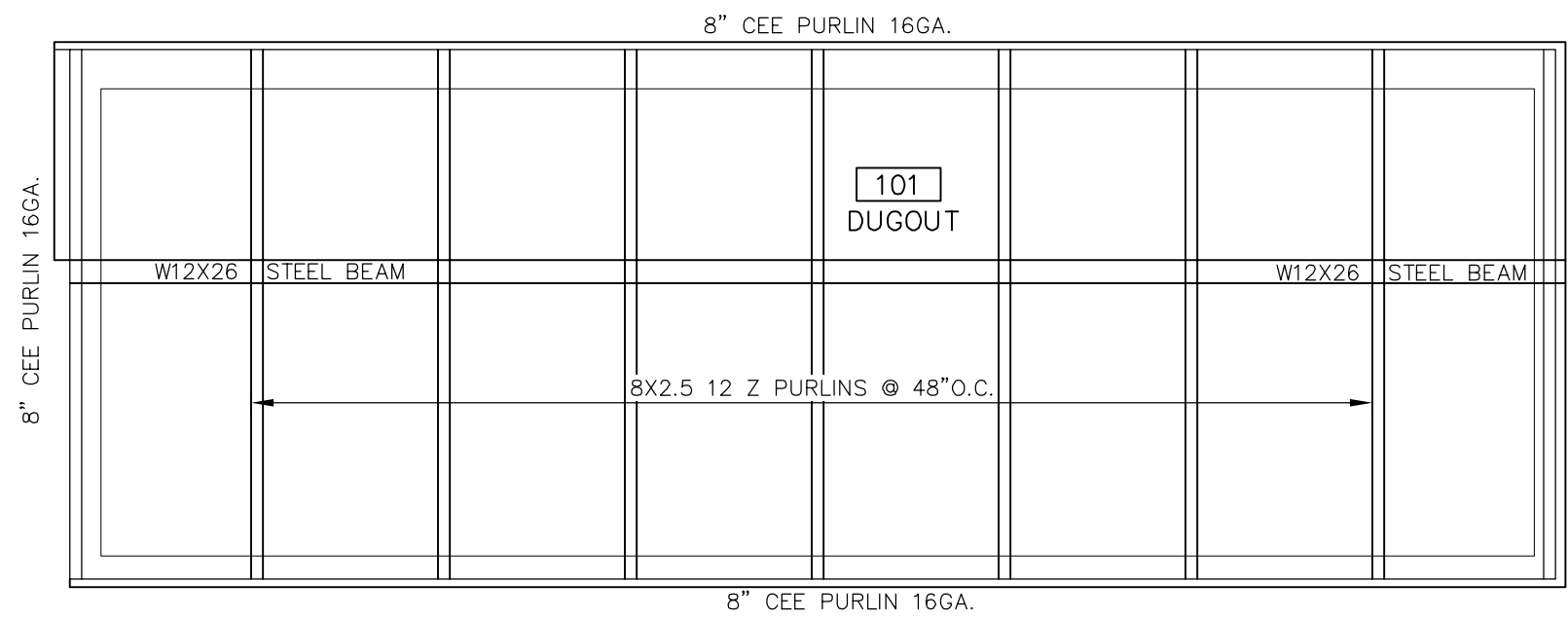
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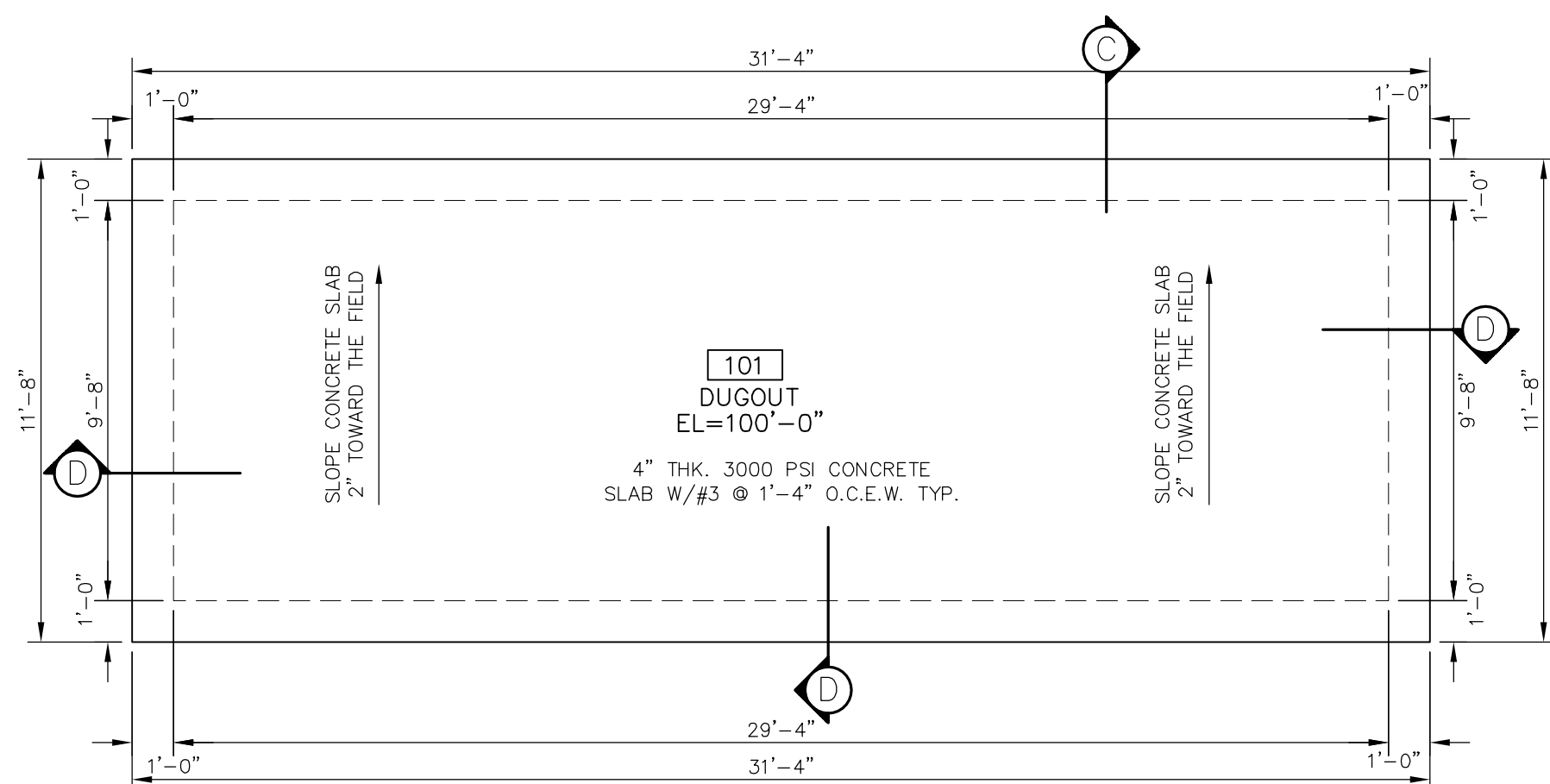
REVISION LIST		
1	4/28/23	CITY OF ALBUQUERQUE REVISIONS
2	5/18/23	SIDEWALK ADDITION
NO.	DATE	DESCRIPTION

SHEET TITLE:
SECTIONS AND DETAILS

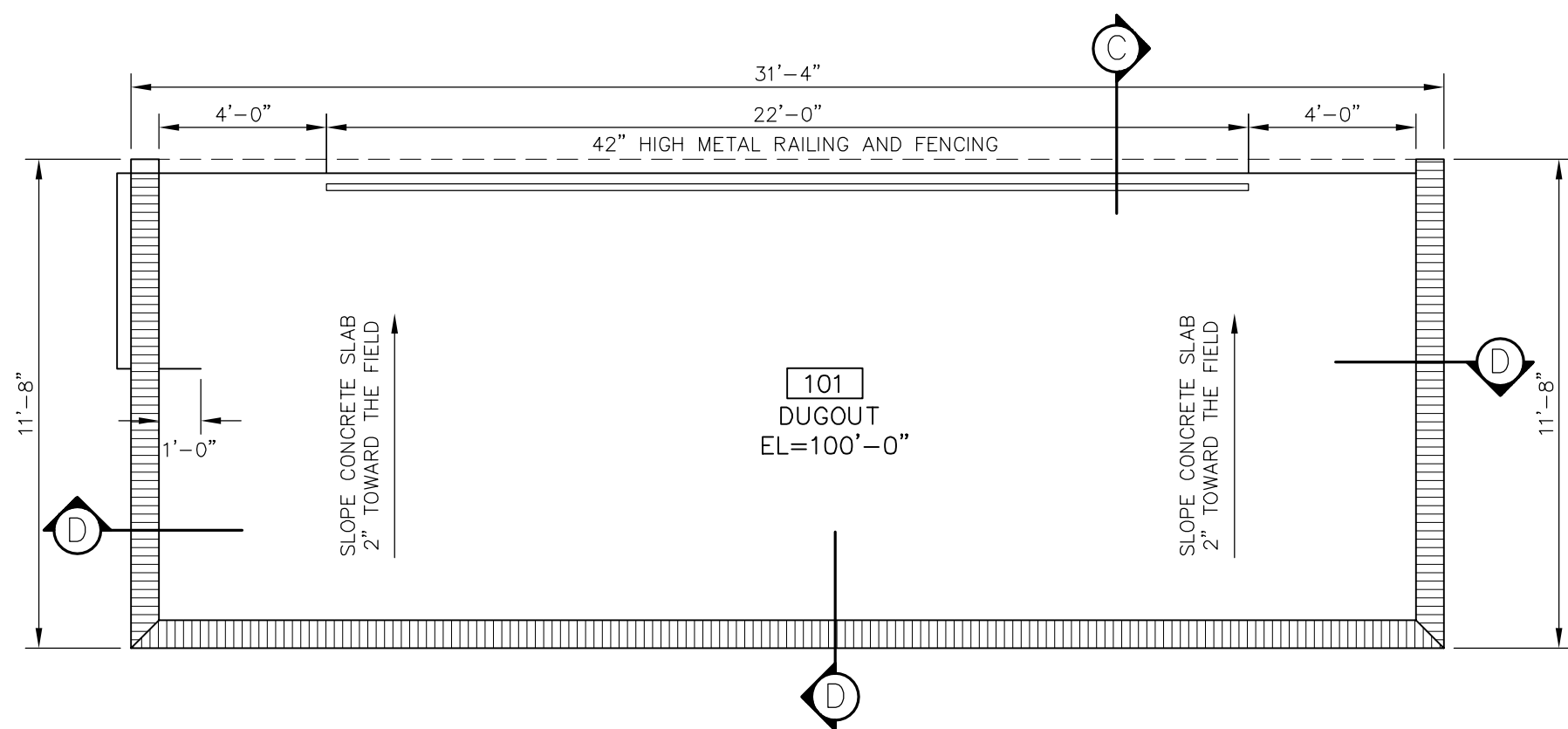
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D1.2



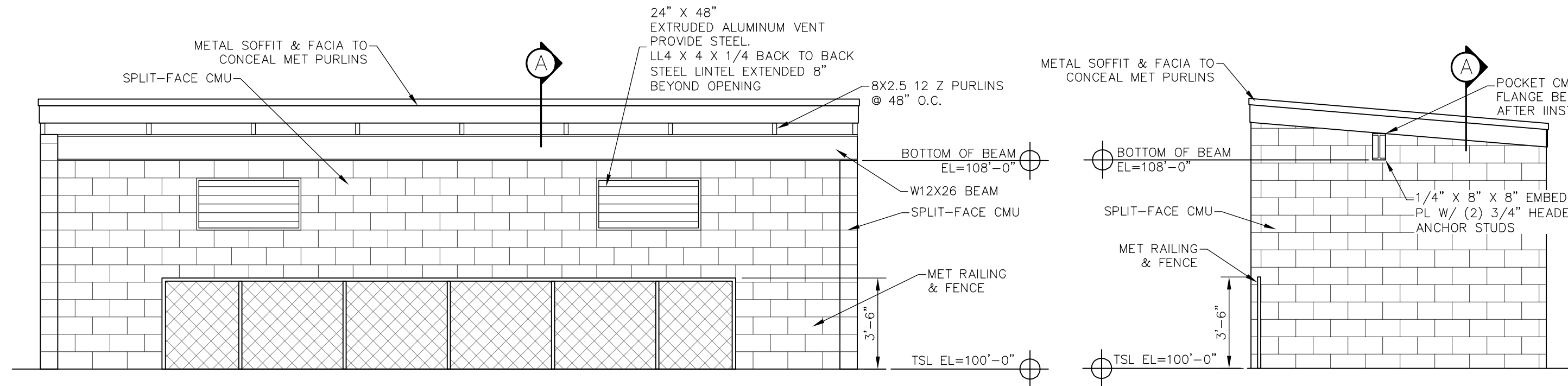
FRAMING PLAN — HOME/VISITOR
SCALE: 1/4" = 1'-0"



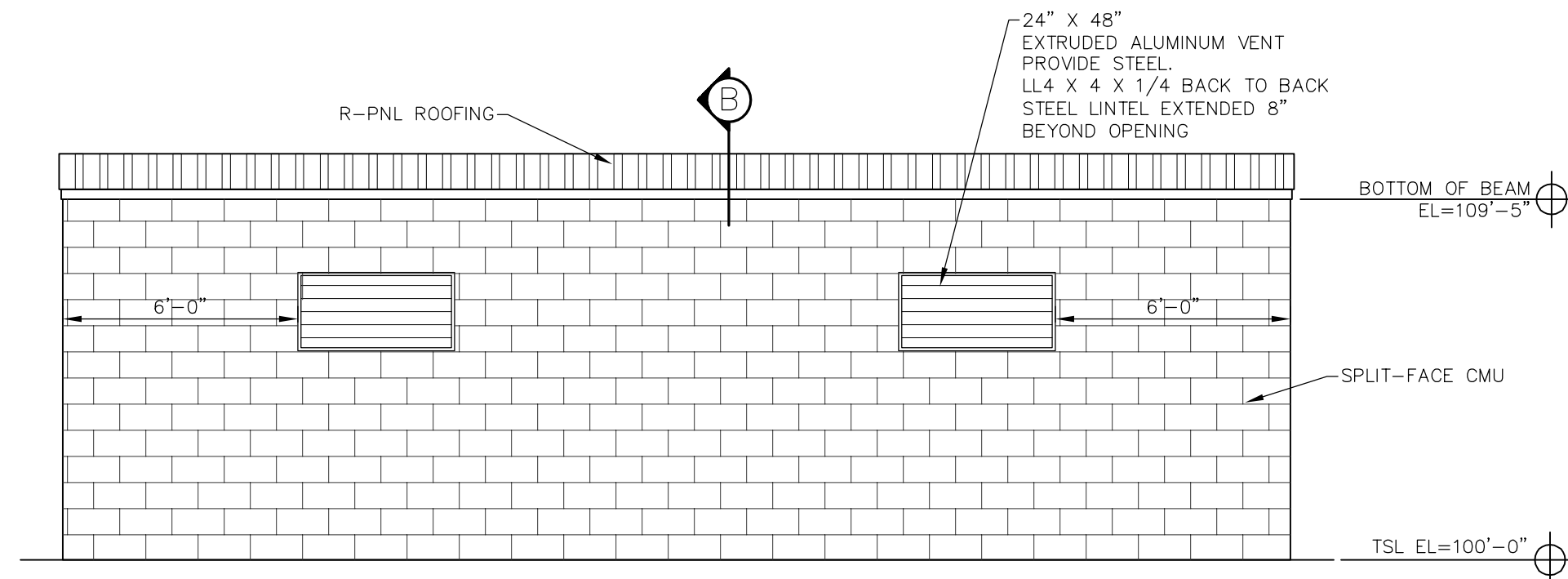
FOUNDATION PLAN — HOME/VISITOR
SCALE: 1/4" = 1'-0"



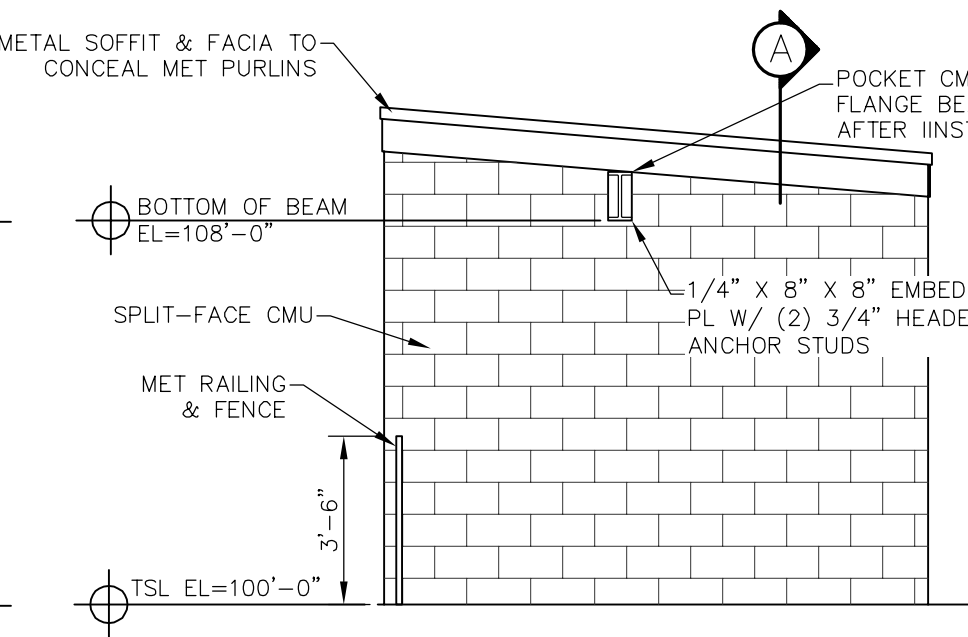
FLOOR PLAN — HOME/VISITOR
SCALE: 1/4" = 1'-0"



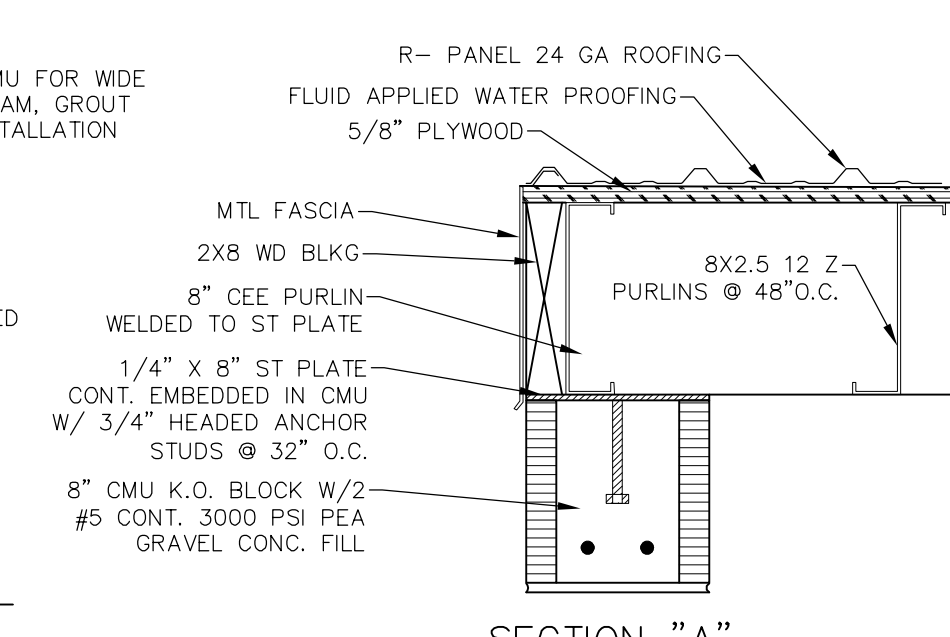
FRONT ELEVATION
SCALE: 1/4" = 1'-0"



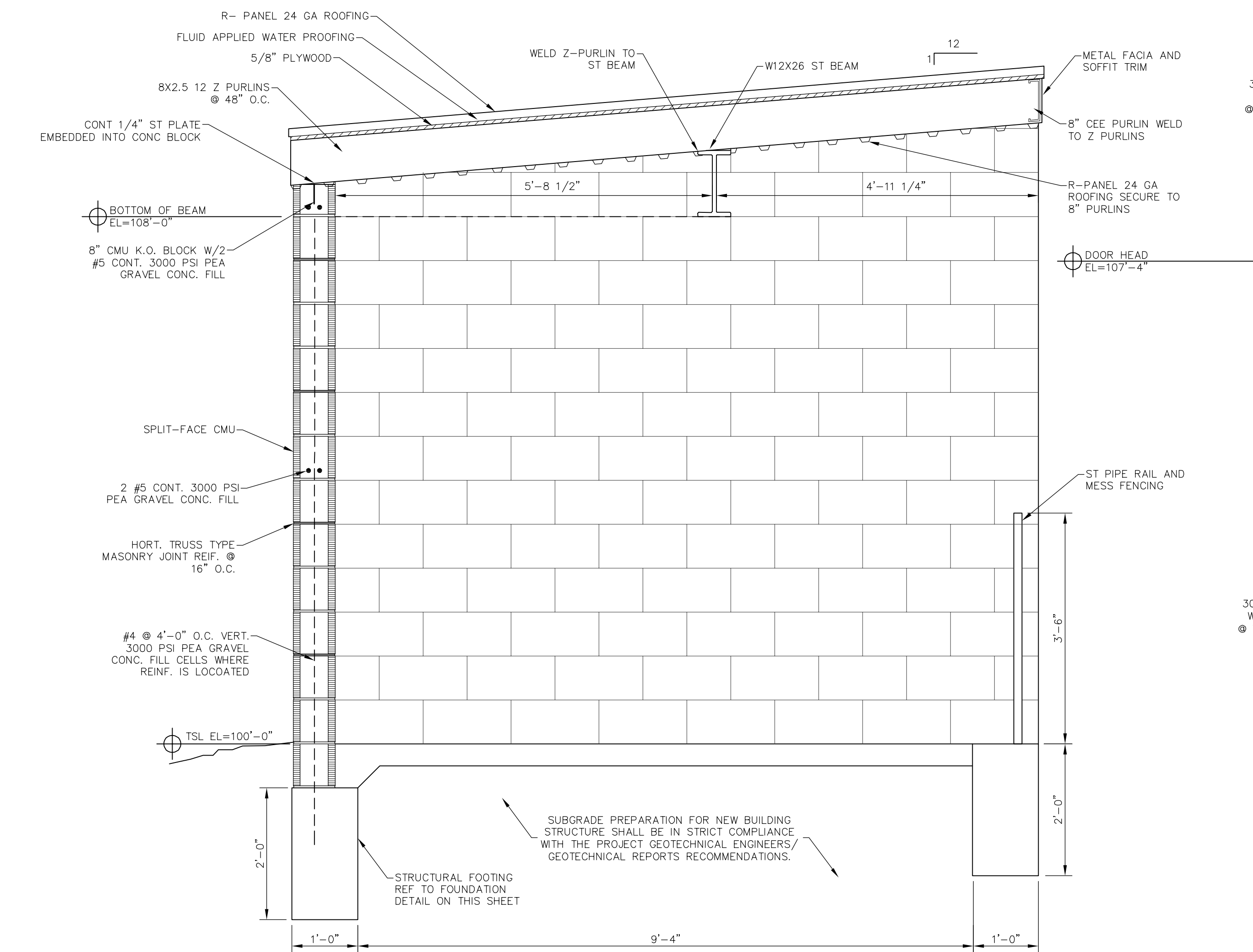
BACK ELEVATION
SCALE: 1/4" = 1'-0"



SIDE ELEVATION
SCALE: 1/4" = 1'-0"

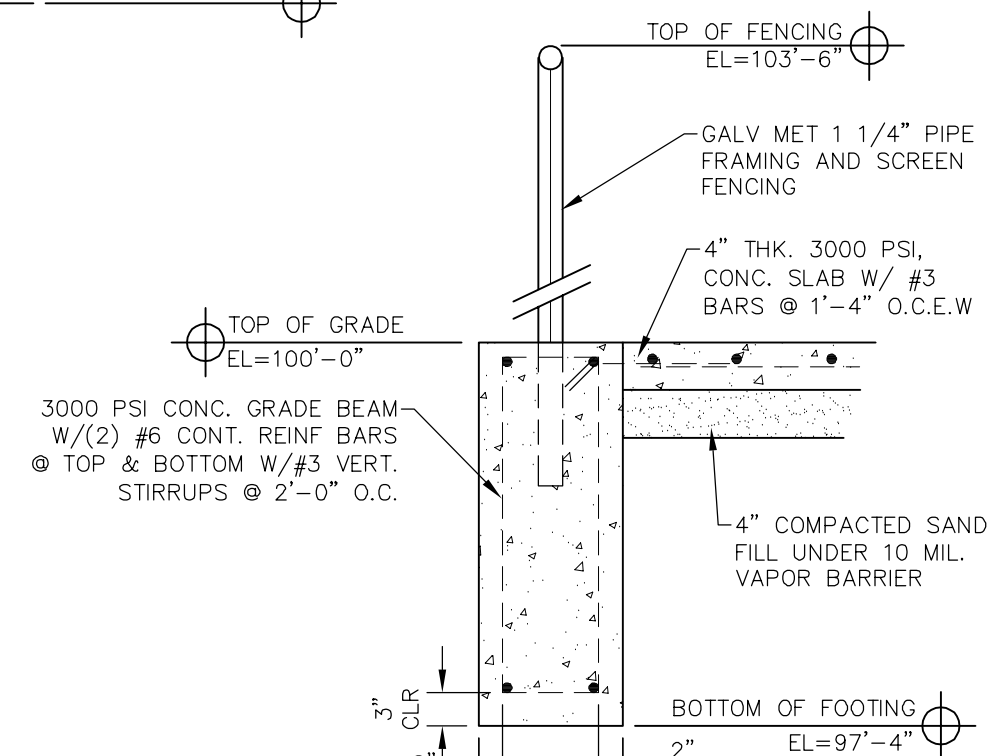


SECTION "A"
EDGE DETAIL
SCALE: 3/4" = 1'-0"

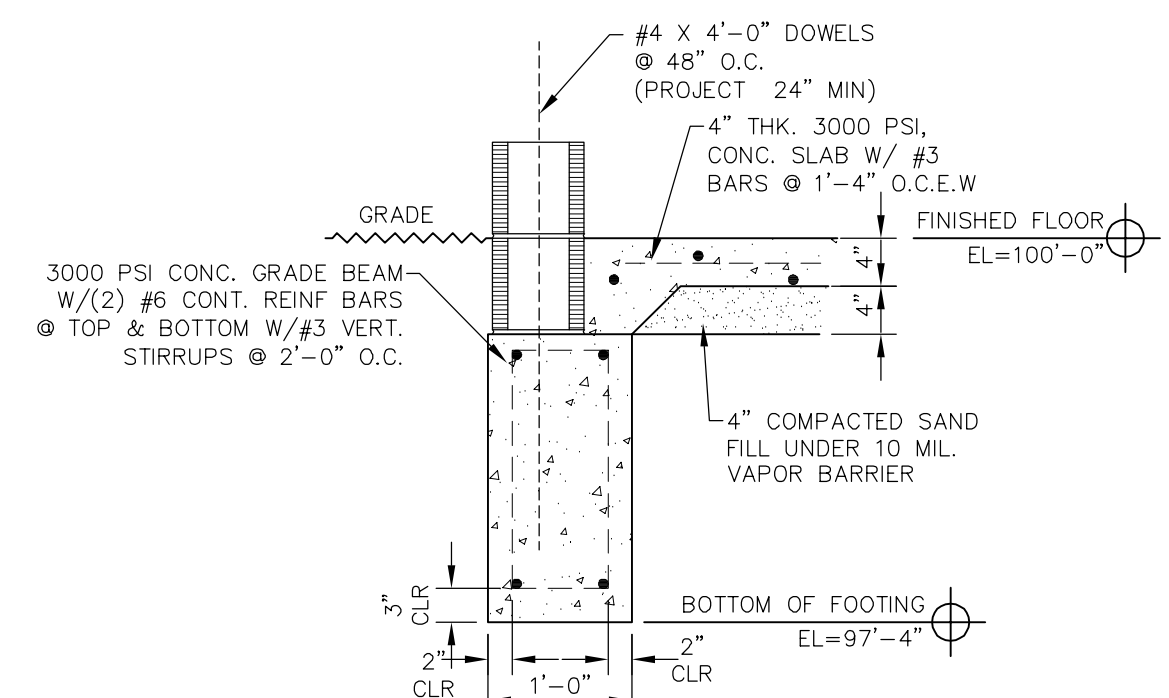


SECTION "B"
DUGOUT DETAIL
SCALE: 3/4" = 1'-0"

BASEBALL DUGOUT DETAIL
SCALE: N.T.S.



SECTION "C"
FOUNDATION DETAIL
SCALE: 3/4" = 1'-0"



SECTION "D"
FOUNDATION DETAIL
SCALE: 3/4" = 1'-0"

WALL LEGEND
8" C.M.U. WALL



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PROJECT:
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ACADEMY MULTIPURPOSE FIELD
CONSTRUCTION SET
PROJECT LOCATION:
ALBUQUERQUE, NEW MEXICO



COMMENTS:
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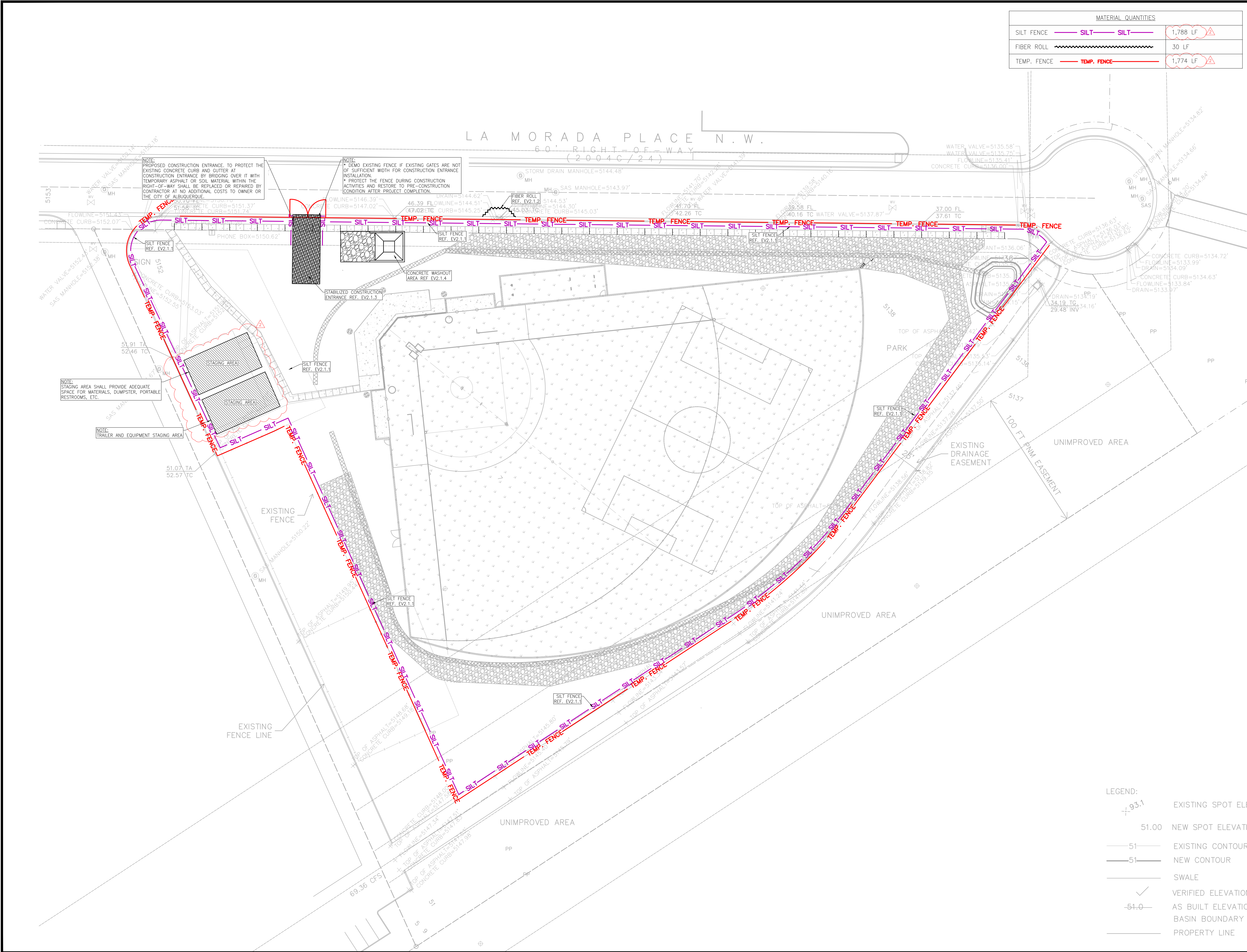
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DATE:
February 3, 2023

REVISION LIST		
NO.	DATE	DESCRIPTION

SHEET TITLE:
PROPOSED NEW DUGOUT SECTIONS AND DETAILS

SHEET NUMBER:
D1.3



MATERIAL QUANTITIES		
SILT FENCE	— SILT —	1,788 LF
FIBER ROLL	~~~~~	30 LF
TEMP. FENCE	— TEMP. FENCE —	1,774 LF

LEGEND:		
+93.1	EXISTING SPOT ELEVATION	
51.00	NEW SPOT ELEVATION	
—51—	EXISTING CONTOUR	
—51—	NEW CONTOUR	
—	SWALE	
✓	VERIFIED ELEVATION	
—51.0—	AS BUILT ELEVATION	
—	Basin Boundary	
—	PROPERTY LINE	



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PROJECT LOCATION:
Albuquerque, NEW MEXICO



124 W. Castellano Drive
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QUANTUM
engineering
INCORPORATED

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ROBERT ANTHONY GONZALES
NEW MEXICO
26591
PROFESSIONAL ENGINEER

5/25/23

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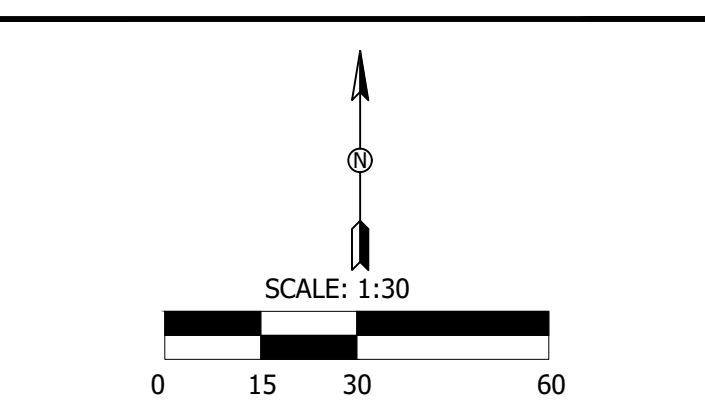
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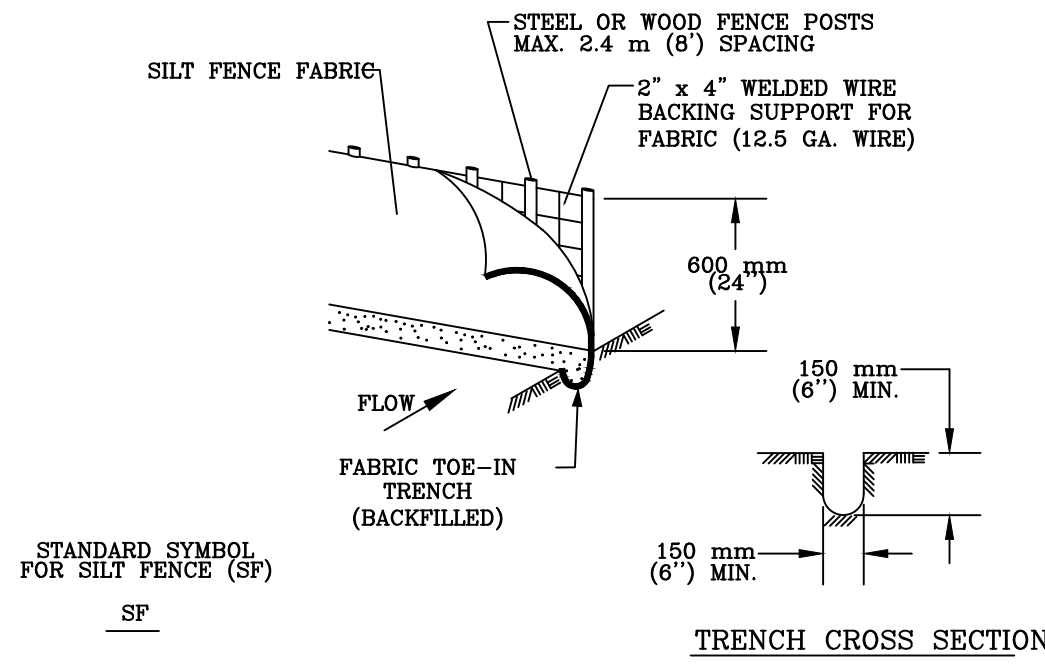
DATE:
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NO.	DATE	DESCRIPTION

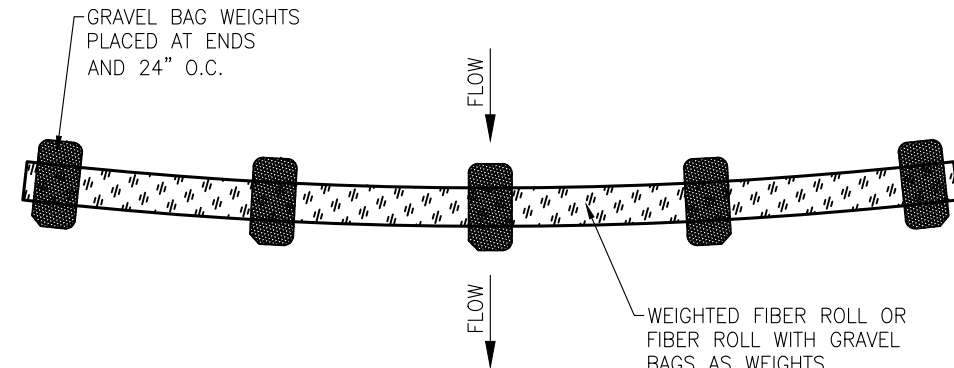
SHEET TITLE:
STORMWATER POLLUTION
PREVENTION PLAN

SHEET NUMBER:
EV1.1

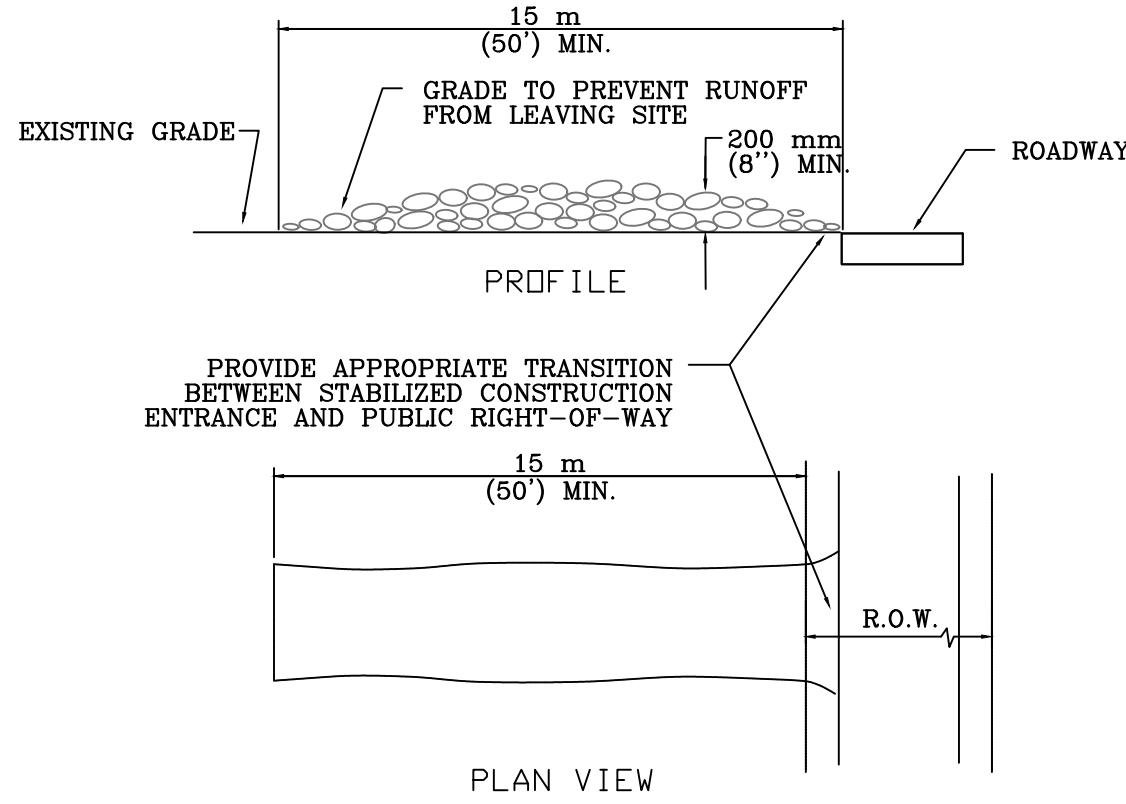




1. STEEL OR WOOD POSTS WHICH SUPPORT THE SILT FENCE SHALL BE INSTALLED ON A SLIGHT ANGLE TOWARD THE ANTICIPATED RUNOFF SOURCE. POST MUST BE EMBEDDED A MINIMUM OF 300 mm (12 INCHES). IF WOOD POSTS CANNOT ACHIEVE 300 mm (12 INCHES) DEPTH, USE STEEL POSTS.
2. THE TOE OF THE SILT FENCE SHALL BE TRENCHED IN WITH A SPADE OR MECHANICAL TRENCHER, SO THAT THE DOWNSLOPE FACE OF THE TRENCH IS FLAT AND PERPENDICULAR TO THE LINE OF FLOW.
3. THE TRENCH MUST BE A MINIMUM OF 150 mm (6 INCHES) DEEP AND 150 mm (6 INCHES) WIDE TO ALLOW FOR THE SILT FENCE FABRIC TO BE LAID IN THE GROUND AND BACKFILLED WITH COMPACTED MATERIAL.
4. SILT FENCE FABRIC SHOULD BE SECURELY FASTENED TO EACH STEEL OR WOOD SUPPORT POST OR TO WOVEN WIRE, WHICH IS IN TURN ATTACHED TO THE STEEL OR WOOD FENCE POST.
5. INSPECTION SHALL BE MADE WEEKLY OR AFTER EACH RAINFALL EVENT AND REPAIR OR REPLACEMENT SHALL BE MADE PROMPTLY AS NEEDED.
6. SILT FENCE SHALL BE REMOVED WHEN THE SITE IS COMPLETELY STABILIZED SO AS NOT TO BLOCK OR IMPEDE STORM FLOW OR DRAINAGE.
7. ACCUMULATED SILT SHALL BE REMOVED WHEN IT REACHES A DEPTH OF 150 mm (6 INCHES). THE SILT SHALL BE DISPOSED OF ON AN APPROVED SITE AND IN SUCH A MANNER THAT WILL NOT CONTRIBUTE TO ADDITIONAL SILTATION.

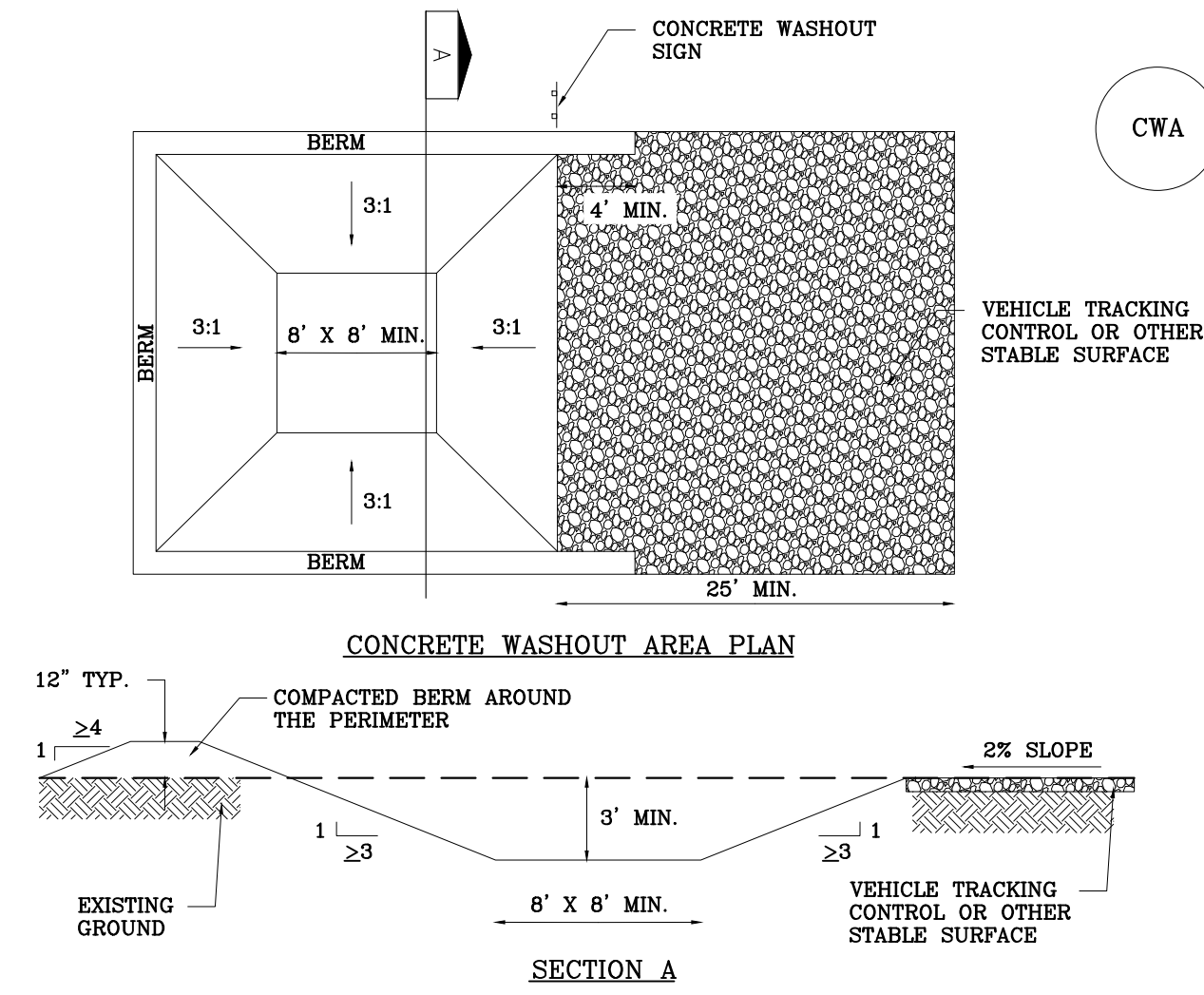


2 FIBER ROLL DETAIL
Scale: NTS



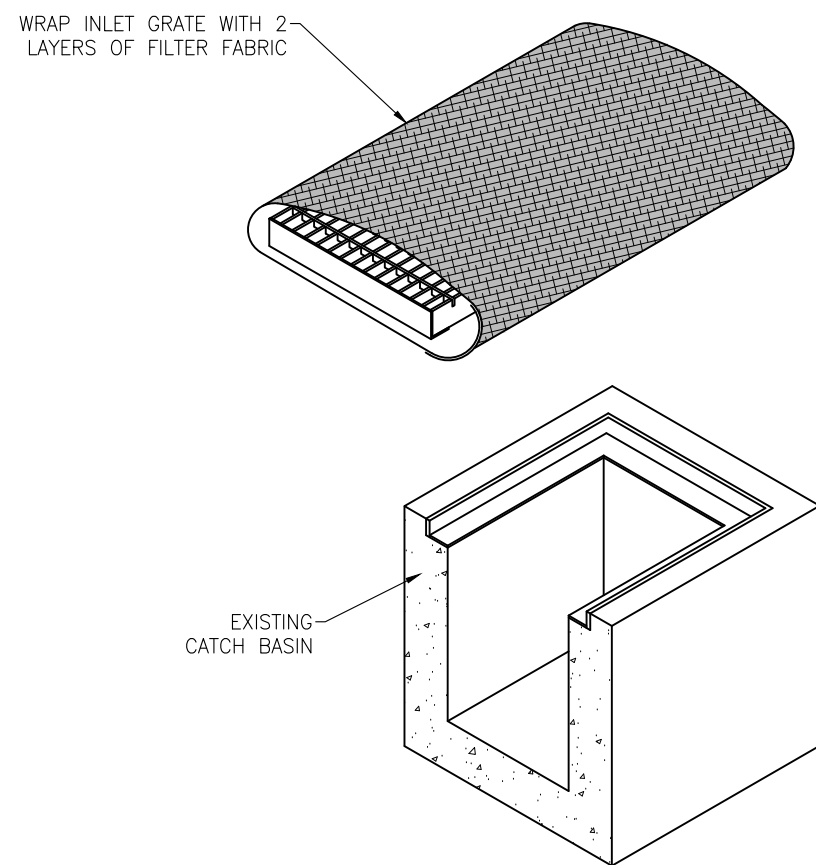
- NOTES:
1. STONE SIZE: 75-125 mm (3-5") OPEN GRADED ROCK.
 2. LENGTH: AS EFFECTIVE BUT NOT LESS THAN 15 m (50').
 3. THICKNESS: NOT LESS THAN 200 mm (8").
 4. WIDTH: NOT LESS THAN FULL WIDTH OF ALL POINTS OF INGRESS/EGRESS.
 5. WASHING: WHEN NECESSARY, VEHICLE WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC ROADWAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE AND DRAINS INTO AN APPROVED TRAP OR SEDIMENT BASIN. ALL SEDIMENT SHALL BE PREVENTED FROM ENTERING ANY STORM DRAIN, DITCH OR WATERCOURSE USING APPROVED METHODS.
 6. MAINTENANCE: THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC ROADWAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND, AS WELL AS REPAIR AND CLEAN OUT OF ANY MEASURE DEVICES USED TO TRAP SEDIMENT. ALL SEDIMENTS THAT IS SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC ROADWAY MUST BE REMOVED IMMEDIATELY.
 7. DRAINAGE: ENTRANCE MUST BE PROPERLY GRADED OR INCORPORATE A DRAINAGE SWALE TO PREVENT RUNOFF FROM LEAVING THE CONSTRUCTION SITE.

3 CONSTRUCTION ENTRANCE DETAIL
Scale: NTS



- CWA-1. CONCRETE WASHOUT AREA
- CWA INSTALLATION NOTES
1. SEE PLAN VIEW FOR:
 - CWA INSTALLATION LOCATION.
 2. DO NOT LOCATE AN UNLINED CWA WITHIN 400' OF ANY NATURAL DRAINAGE PATHWAY OR WATERBODY. DO NOT LOCATE WITHIN 1,000' OF ANY WELLS OR DRINKING WATER SOURCES. IF SITE CONSTRAINTS MAKE THIS INFEASIBLE, OR IF HIGHLY PERMEABLE SOILS EXIST ON SITE, THE CWA MUST BE INSTALLED WITH AN IMPERMEABLE LINER (16 MIL MIN. THICKNESS) OR SURFACE STORAGE ALTERNATIVES USING PREFABRICATED CONCRETE WASHOUT DEVICES OR A LINED ABOVE GROUND STORAGE SHOULD BE USED.
 3. THE CWA SHALL BE INSTALLED PRIOR TO CONCRETE PLACEMENT ON SITE.
 4. CWA SHALL INCLUDE A FLAT SUBSURFACE PIT THAT IS AT LEAST 8' BY 8' SLOPES LEADING OUT OF THE SUBSURFACE PIT SHALL BE 3:1 OR FLATTER. THE PIT SHALL BE AT LEAST 3' DEEP.
 5. BERM SURROUNDING SIDES AND BACK OF THE CWA SHALL HAVE A MINIMUM HEIGHT OF 1'.
 6. VEHICLE TRACKING PAD SHALL BE SLOPED 2% TOWARDS THE CWA.
 7. SIGNS SHALL BE PLACED AT THE CONSTRUCTION ENTRANCE, AT THE CWA, AND ELSEWHERE AS NECESSARY TO CLEARLY INDICATE THE LOCATION OF THE CWA TO OPERATORS OF CONCRETE TRUCKS AND PUMP TRUCKS.
 8. USE EXCAVATED MATERIAL FOR PERIMETER BERM CONSTRUCTION.

4 CONCRETE WASHOUT DETAIL
Scale: NTS



5 AREA INLET PROTECTION
Scale: NTS



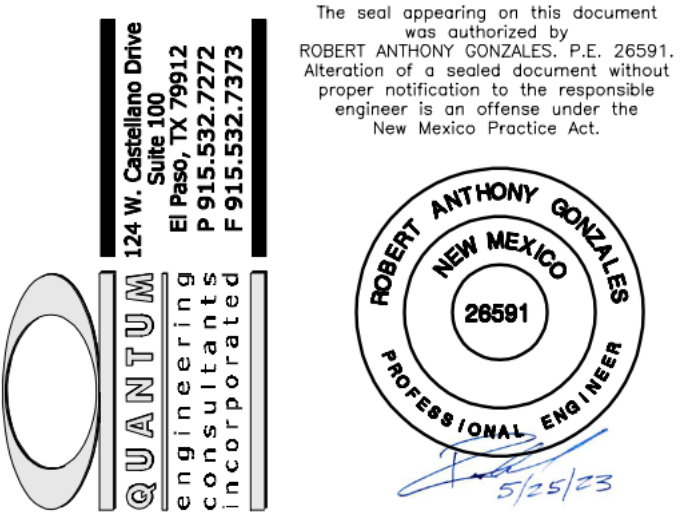
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matrix^H TURF



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DATE:
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NO.	DATE	DESCRIPTION

SHEET TITLE:
ENVIRONMENTAL DETAILS

SHEET NUMBER:
EV2.1