

# CITY OF ALBUQUERQUE

Planning Department  
Alan Varela, Director



Mayor Timothy M. Keller

April 22, 2022

Arthur Blessen, P.E.  
J Arthur Blessen Engineering  
2429 Zenaa Lona  
Albuquerque, NM 87112

**RE: ABQ Bilinual Academy Softball Field**  
**7400 La Morada Place NW**  
**Grading and Drainage Plan**  
**Engineer's Stamp Date: 03/22/2022**  
**Hydrology File: H10D037**

Dear Mr. Blessen:

Based upon the information provided in your submittal received 3/22/22 the Grading and Drainage Plan is approved for Grading Permit.

Once the grading is complete, a pad certification (meaning that the earthwork is complete) will be required prior to release from Hydrology during the Building Permit process. Also, at the time of pad certification approval, Hydrology will concurrently approve the Grading & Drainage Plan for Building Permit.

If the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, [jhughes@cabq.gov](mailto:jhughes@cabq.gov), 924-3420) 14 days prior to any earth disturbance.

Please provide Drainage Covenant for the stormwater quality ponds per Article 6-15(C) of the DPM prior to Permanent Release of Occupancy. Please submit an electronic file of the Covenant and Exhibit for completeness to Marion G. Velasquez at [mgvelasquez@cabq.gov](mailto:mgvelasquez@cabq.gov). Once the electronic file is approved for completeness, please submit the original copies along with the \$ **25.00** recording fee check made payable to Bernalillo County to Marion on the 4th floor of Plaza de Sol. Please note that Hydrology will need a pdf copy of the recorded Drainage Covenant prior to Hydrology's approval of Permanent Release of Occupancy.

If you have any questions, please contact me at 924-3695 or [rbrissette@cabq.gov](mailto:rbrissette@cabq.gov).

Sincerely,

David G. Gutierrez, P.E.  
Senior Engineer, Hydrology  
Planning Department





# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 11/2018)

**Project Title:** Abq Bilinual Academy Softball Field **Building Permit #:** \_\_\_\_\_ **Hydrology File #:** \_\_\_\_\_  
**DRB#:** \_\_\_\_\_ **EPC#:** \_\_\_\_\_ **Work Order#:** \_\_\_\_\_  
**Legal Description:** Tract 8, Unit 1, Ladera Business Park  
**City Address:** 7400 La Morada Place NW

**Applicant:** J Arthur Blessen Engineering **Contact:** Arthur Blessen  
**Address:** 2429 Zenaa Lona, Albuquerque New Mexico 87112  
**Phone#:** 505-401-4142 **Fax#:** \_\_\_\_\_ **E-mail:** jab-engineering@hotmail.com  
**Owner:** Albuquerque Bilingual Academy **Contact:** \_\_\_\_\_  
**Address:** 7500 La Morada Place  
**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

**TYPE OF SUBMITTAL:** \_\_\_\_\_ PLAT (\_\_\_# OF LOTS) \_\_\_\_\_ RESIDENCE \_\_\_\_\_ DRB SITE ☒ ADMIN SITE

IS THIS A RESUBMITTAL?: \_\_\_\_\_ Yes ☒ No

**DEPARTMENT:** \_\_\_\_\_ TRAFFIC/ TRANSPORTATION ☒ HYDROLOGY/ DRAINAGE

Check all that Apply:

### TYPE OF SUBMITTAL:

\_\_\_\_\_ ENGINEER/ARCHITECT CERTIFICATION  
\_\_\_\_\_ PAD CERTIFICATION  
\_\_\_\_\_ CONCEPTUAL G & D PLAN  
☒ GRADING PLAN  
\_\_\_\_\_ DRAINAGE MASTER PLAN  
☒ DRAINAGE REPORT  
\_\_\_\_\_ FLOODPLAIN DEVELOPMENT PERMIT APPLIC  
\_\_\_\_\_ ELEVATION CERTIFICATE  
\_\_\_\_\_ CLOMR/LOMR  
\_\_\_\_\_ TRAFFIC CIRCULATION LAYOUT (TCL)  
\_\_\_\_\_ TRAFFIC IMPACT STUDY (TIS)  
\_\_\_\_\_ OTHER (SPECIFY) \_\_\_\_\_  
\_\_\_\_\_ PRE-DESIGN MEETING?

### TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

\_\_\_\_\_ BUILDING PERMIT APPROVAL  
\_\_\_\_\_ CERTIFICATE OF OCCUPANCY  
\_\_\_\_\_ PRELIMINARY PLAT APPROVAL  
\_\_\_\_\_ SITE PLAN FOR SUB'D APPROVAL  
\_\_\_\_\_ SITE PLAN FOR BLDG. PERMIT APPROVAL  
\_\_\_\_\_ FINAL PLAT APPROVAL  
\_\_\_\_\_ SIA/ RELEASE OF FINANCIAL GUARANTEE  
\_\_\_\_\_ FOUNDATION PERMIT APPROVAL  
☒ GRADING PERMIT APPROVAL  
\_\_\_\_\_ SO-19 APPROVAL  
\_\_\_\_\_ PAVING PERMIT APPROVAL  
\_\_\_\_\_ GRADING/ PAD CERTIFICATION  
\_\_\_\_\_ WORK ORDER APPROVAL  
\_\_\_\_\_ CLOMR/LOMR  
\_\_\_\_\_ FLOODPLAIN DEVELOPMENT PERMIT  
\_\_\_\_\_ OTHER (SPECIFY) \_\_\_\_\_

**DATE SUBMITTED:** 3-22-22 **By:** J Arthur Blessen

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_

FEE PAID: \_\_\_\_\_



VOLUME	ELEVATION	AREA
	35.17	968 SF
	33.83	444 SF
$VOL = (968+444)(0.5)(1.33 \text{ FT}) = 938 \text{ CF}$		

C2 STORM WATER QUALITY POND  
1/8"=1'-0"

THE 100-YR 6-HR DURATION STORM WAS USED AS THE DESIGN STORM FOR THIS ANALYSIS. THIS SITE IS WITHIN ZONE 1 AS IDENTIFIED IN THE CITY OF ALBUQUERQUE DEVELOPMENT PROCESS MANUAL, SECTION 6-2(A)(1). TABLES WITHIN THIS SECTION WERE USED TO ESTABLISH THE 6-HOUR PRECIPITATION, EXCESS PRECIPITATION, AND PEAK DISCHARGE.

## Pond Volume 0 cf



C-001



- A. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR SHALL CALL FOR LOCATION OF EXISTING UTILITIES.
- B. ALL WORK WITHIN THE CITY RIGHT-OF-WAY SHALL BE PERFORMED IN ACCORDANCE WITH THE APPLICABLE CITY OF ALBUQUERQUE STANDARDS AND PROCEDURES.
- C. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE APPLICABLE FEDERAL, STATE, AND LOCAL REGULATIONS, LAWS, AND RULES CONCERNING SAFETY AND HEALTH.
- D. PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL VERIFY THE EXISTING SITE CONDITIONS AND INFORM THE ARCHITECT / ENGINEER OF ANY DISCREPANCY BETWEEN THE INFORMATION SHOWN ON THE PLANS AND THOSE OF THE EXISTING SITE.
- E. THE CONTRACTOR SHALL PROVIDE THE ARCHITECT / ENGINEER WITH AN AS BUILT SURVEY FOR ENGINEER'S CERTIFICATION AT PROJECT COMPLETION.
- F. THE CONTRACTOR SHALL MAINTAIN A RECORD DRAWING SET OF PLANS AND PROMPTLY LOCATE EXISTING AND NEW ELEVATIONS (FINISH FLOORS, TOPS OF CURBS AND VERTICAL FLOW LINE PIPE INVERTS, ETC.) ON THE RECORD SET. THE RECORD SET SHALL BE MAINTAINED ON THE PROJECT SITE AND SHALL BE AVAILABLE TO THE OWNER AND ARCHITECT AT ANY TIME DURING CONSTRUCTION. UPON COMPLETION OF THE PROJECT, THE RECORD SET SHALL BE TURNED OVER TO THE OWNER.
- G. THE OWNER / CONTRACTOR SHALL SUBMIT A NOTICE OF INTENT (NOI) TO THE EPA PRIOR TO BEGINNING OF CONSTRUCTION.
- H. CONTRACTOR SHALL COMPLY WITH STORM WATER POLLUTION PREVENTION PLAN (SWPPP) SPECIFIC TO THIS PROJECT.
- J. THIS IS NOT A BOUNDARY SURVEY. BEARINGS ARE ASSUMED, DISTANCES AND FOUND PROPERTY CORNERS ARE FOR INFORMATION PURPOSES ONLY.

ALL SURFACES ALONG THE ACCESSIBLE ROUTE SHALL COMPLY WITH ANSI A117-1998.

WALKING SURFACES SHALL BE STABLE, FIRM, AND SLIP RESISTANT. THE RUNNING SLOPE OF WALKING SURFACES SHALL NOT BE STEEPER THAN 1:20 WITH A CROSS SLOPE NOT STEEPER THAN 1:48.

CURB RAMP AND RAMP RUNS SHALL HAVE A RUNNING SLOPE NOT STEEPER THAN 1:12 WITH A CROSS SLOPE NOT STEEPER THAN 1:48. COUNTER SLOPES OF ADJOINING GUTTERS AND ROAD SURFACES IMMEDIATELY ADJACENT TO THE CURB RAMP ACCESSIBLE ROUTE SHALL NOT BE STEEPER THAN 1:20. TRANSITIONS FROM RAMP TO WALKS, GUTTERS OR STREETS SHALL BE AT THE SAME LEVEL WHERE PEDESTRIANS MUST WALK ACROSS A CURB RAMP, THE RAMP SHALL HAVE FLARED SIDES WITH SLOPES NOT STEEPER THAN 1:10; WHERE THE TOP OF THE RAMP PARALLEL TO THE RUN OF THE RAMP IS LESS THAN 48 INCHES WIDE, THE FLARED SIDES SHALL HAVE A SLOPE NOT STEEPER THAN 1:12.

HANDICAP PARKING SPACES AND ACCESS AISLES SHALL HAVE SURFACE SLOPES NOT STEEPER THAN 1:48. ACCESS AISLES SHALL BE AT THE SAME LEVEL AS THE PARKING SPACES THEY SERVE.

TRAFFIC CONTROL

THE CONTRACTOR SHALL PROVIDE ALL REQUIRED TRAFFIC CONTROL PLANS AND DEVICES. ALL SIGNS, BARRICADES, CHANNELIZATION DEVICES, SIGN FRAMES AND ERECTION OF SUCH DEVICES SHALL CONFORM TO THE REQUIREMENTS OF THE "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS" LATEST EDITION, PRIOR TO CONSTRUCTION PRIOR TO CONSTRUCTION. THE TRAFFIC CONTROL PLAN SHALL BE SUBMITTED AND APPROVED BY THE GOVERNING AUTHORITY.

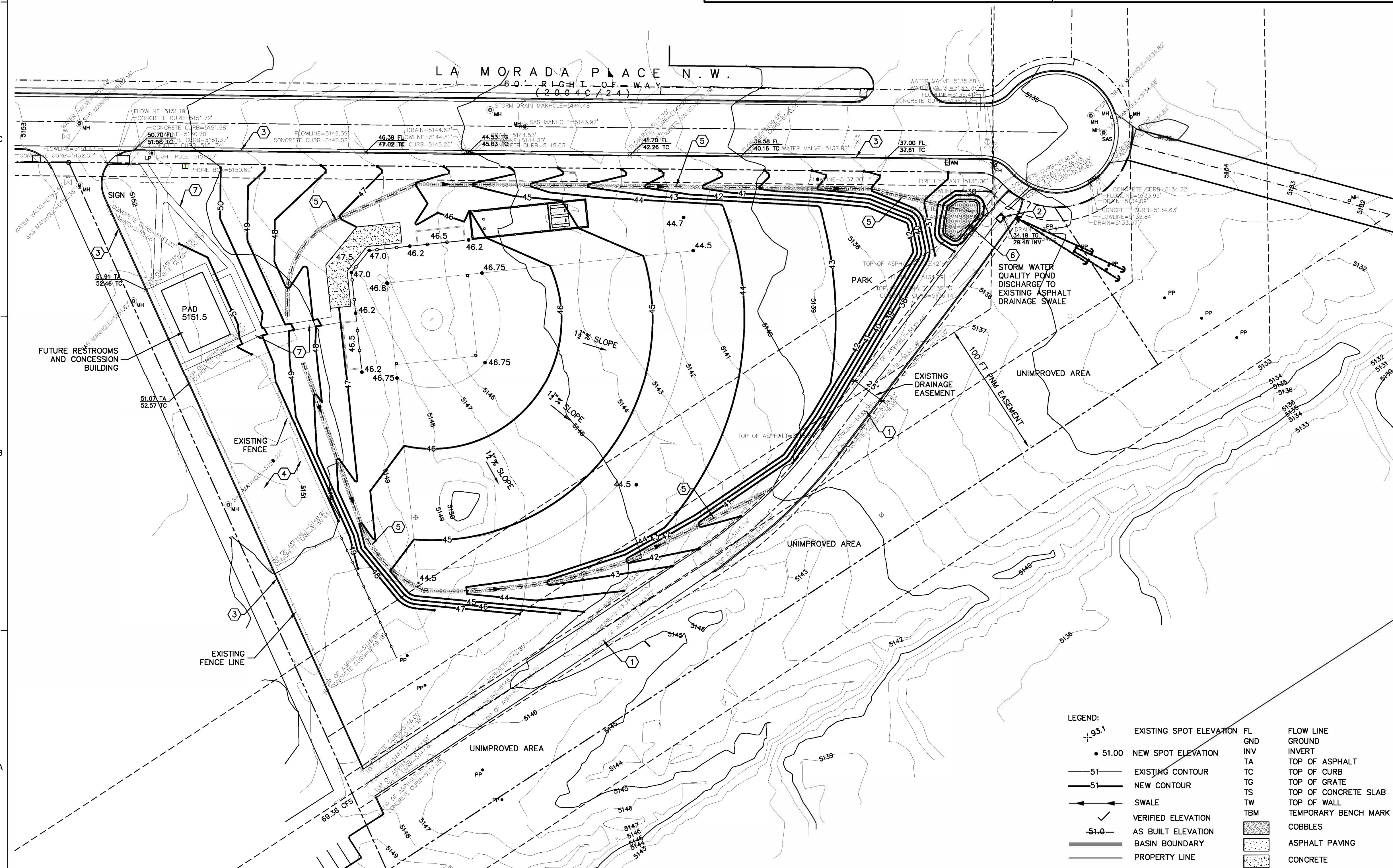
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[illegible]

LEGAL DESCRIPTION:  
TRACT 8, UNIT 1, LADERA BUSINESS PARK  
ADDRESS: 7400 LA MORADA PLACE NW, ALBUQUERQUE, NM  
SITE AREA: 5.4 ACRES  
BENCH MARK:  
ELEVATIONS ARE BASED ON CITY OF ALBUQUERQUE STATION "4-H9", HAVING AN  
ELEVATION OF 5201.315, NAVD 1988  
FLOOD HAZARD:  
AS SHOWN ON PANEL 35001C0326J (11-4-2016) OF THE FEMA FLOOD INSURANCE  
RATE MAPS, THIS SITE IS NOT WITHIN A DESIGNATED FLOOD HAZARD AREA.

1. EXISTING ASPHALT DRAINAGE SWALE TO REMAIN.
2. EXISTING CATCH BASIN TO REMAIN. REMOVE DEBRIS FROM INLET
3. EXISTING CURB AND GUTTER TO REMAIN.
4. EXISTING PLAYGROUND TO REMAIN.
5. 3'-0" WIDE 6" DEEP COBBLE SWALE.
6. BUILD NEW STORM WATER QUALITY POND: VOLUME REQUIRED 866 CF  
TOP OF WATER ELEVATION 5135.83 BOTTOM OF POND 5133.83 VOLUME  
PROVIDED 938 CF AT ELEVATION 5135.17
7. FUTURE CONCRETE SIDE SEE SITE PLAN.



A1 SITE GRADING PLAN  
1"=40'-0"

City of Albuquerque  
Planning Department  
Development Review Services

**HYDROLOGY SECTION**

**APPROVED**

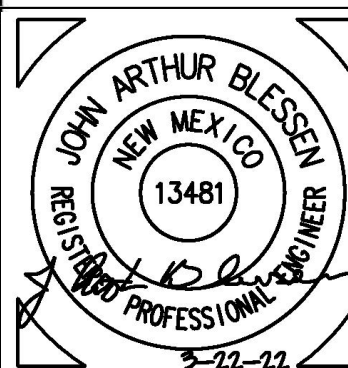
DATE: 4.22.22

BY: [Signature]

HydroTeam # H10D037

THE APPROVAL OF THIS PLAN/SUBMITTAL SHALL NOT BE  
CONSTRUED TO PERMIT VIOLATIONS OF ANY CITY  
ORDINANCES OR STATE OR FEDERAL LAWS. THE  
CITY OF ALBUQUERQUE ASSUMES NO LIABILITY FOR  
CORROSION, OR CONSTRUCTION, OR CONSTRUCTION  
SPECIFICATIONS, OR CONSTRUCTIONS, SUCH APPROVED PLANS  
SHALL NOT BE CHANGED, MODIFIED OR ALTERED WITHOUT  
AUTHORIZATION.

Penny Design, LLC  
302 SANDIARD NW  
ALBUQUERQUE, NEW MEXICO 87107  
505.280.5439



Albuquerque Bilingual Academy  
– Softball Field  
7500 La Mordara Place  
Albuquerque, New Mexico 87120

[illegible]

DATE: 3/22/22

DRAWN BY: jab

CHECKED BY: jab

SET NO:

SHEET TITLE:

# SITE GRADING PLAN

C-101