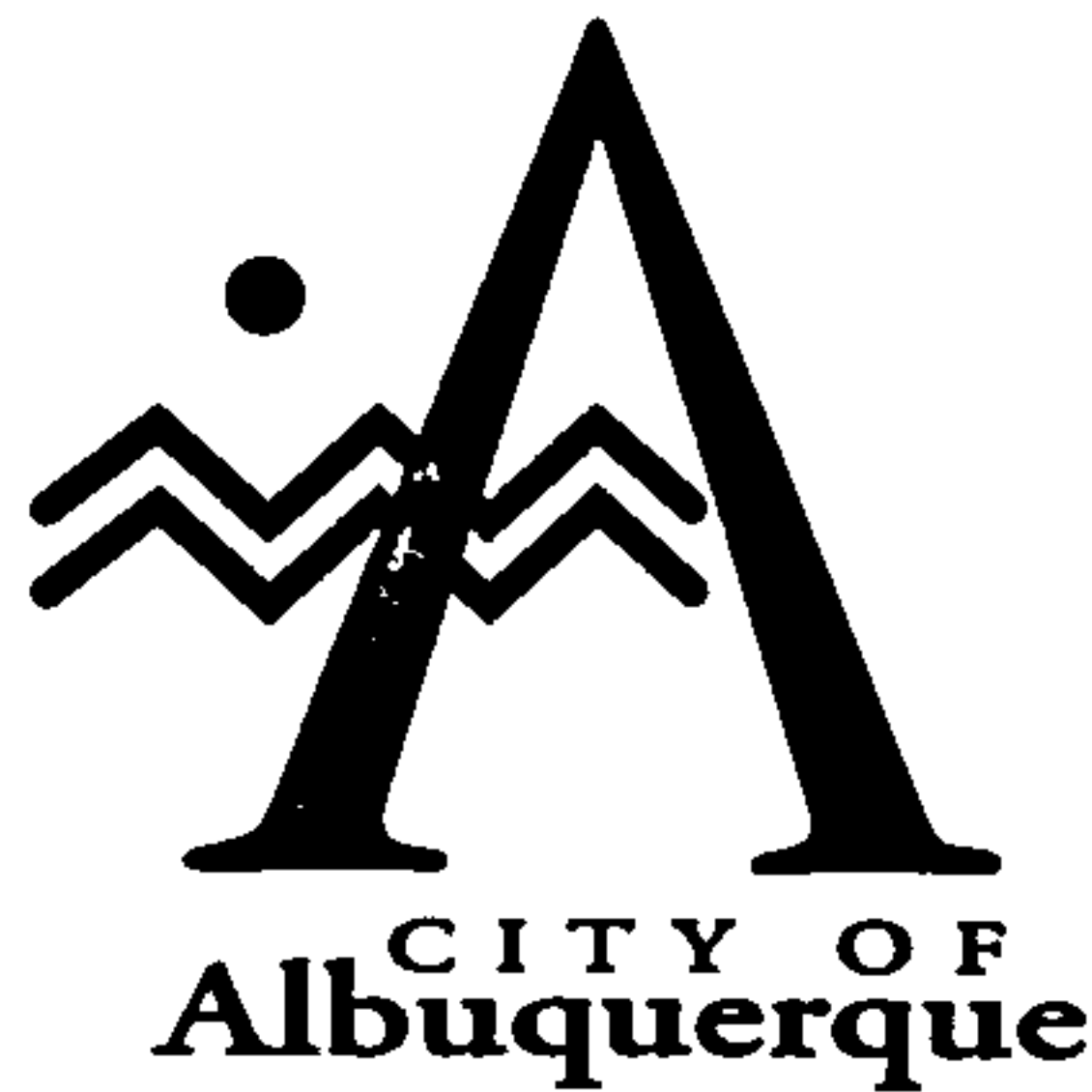




May 13, 1996

Martin J. Chávez, Mayor

Gregory J. Krenik, P.E.
Mark Goodwin & Associates
P. O. Box 90606
Albuquerque, New Mexico

RE: REVISED GRADING AND DRAINAGE PLAN FOR HOLIDAY INN EXPRESS ON ILIFF
(H11/D3), SUBMITTED FOR BUILDING PERMIT APPROVAL, ENGINEER'S STAMP
DATED 4/29/96.

Dear Mr. Krenik:

Based on the information provided in the submittal of April 30, 1996, the above referenced plan is approved for Building Permit release.

Please be advised that the Engineer's Certification will be required prior to the release of the Certificate of Occupancy. Also, the private drainage easements and covenants for the ponds and storm drain must be in place prior to Certificate of Occupancy release.

If you should have any questions, please call me at 768-2666.

Sincerely,

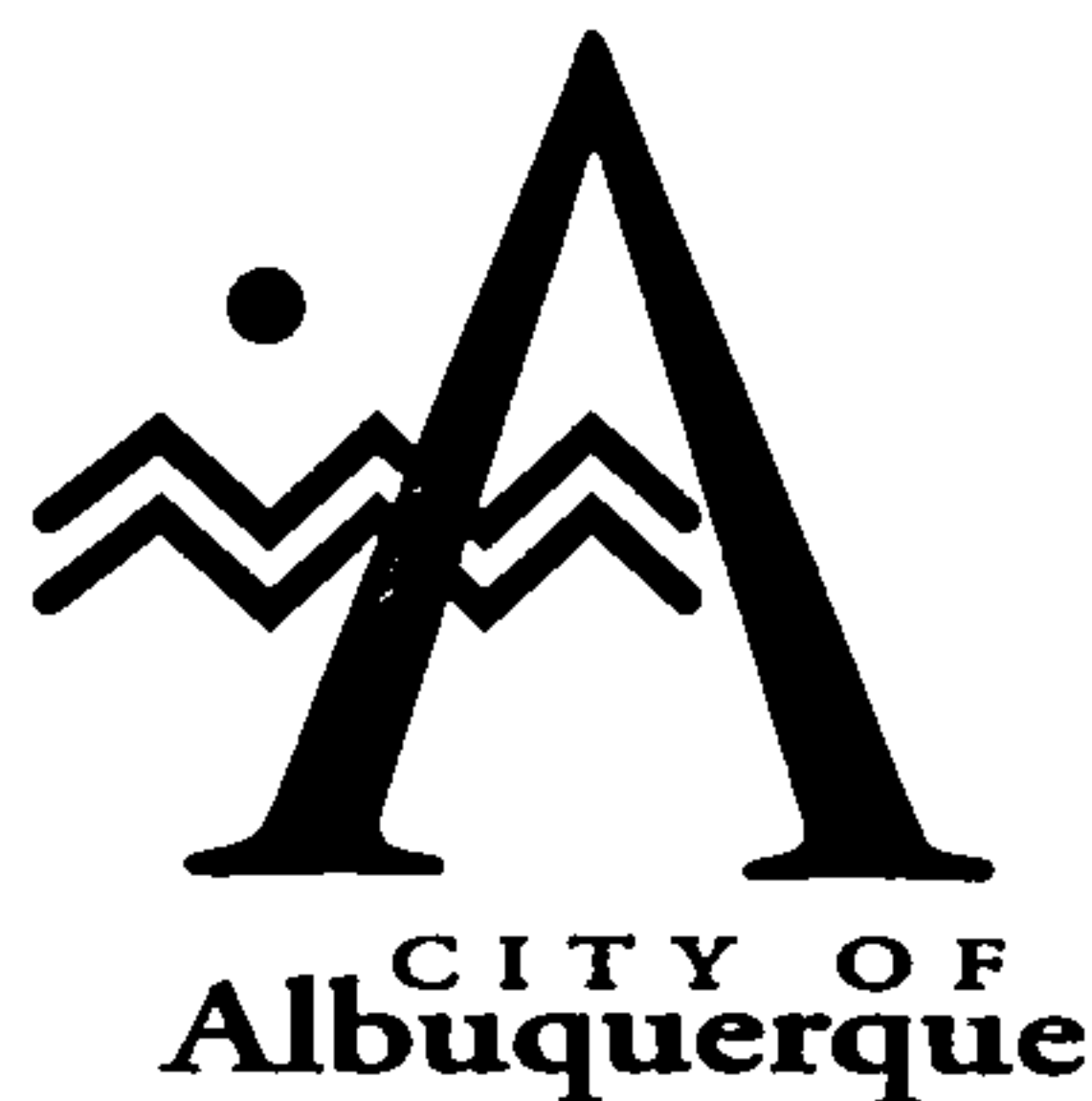
Susan M. Calongne, P.E.
City/County Floodplain Administrator

c: Andrew Garcia

File

Good for You, Albuquerque!





Martin J. Chávez, Mayor

August 7, 1996

Gregory J. Krenik, P.E.
Mark Goodwin & Associates
P. O. Box 90606
Albuquerque, New Mexico

*This Certification satisfies the
requirement for Certification of the
site for release of financial
guarantees, per the Infrastructure
list dated 4/2/96.*
- Susan Calongne
11/27/96

RE: ENGINEER'S CERTIFICATION FOR HOLIDAY INN EXPRESS - ILIFF (H11/D3),
SUBMITTED FOR PERMANENT CERTIFICATE OF OCCUPANCY RELEASE,
ENGINEER'S CERTIFICATION STAMP DATE 7/23/96.

Dear Mr. Krenik:

The Engineer's Certification submitted on July 23, 1996 for the above referenced Holiday Inn Express located at 6100 Iliff Road NW is adequate for Permanent Certificate of Occupancy release.

If you should have any questions, or if I may be of further assistance to you, please call me at 768-2666.

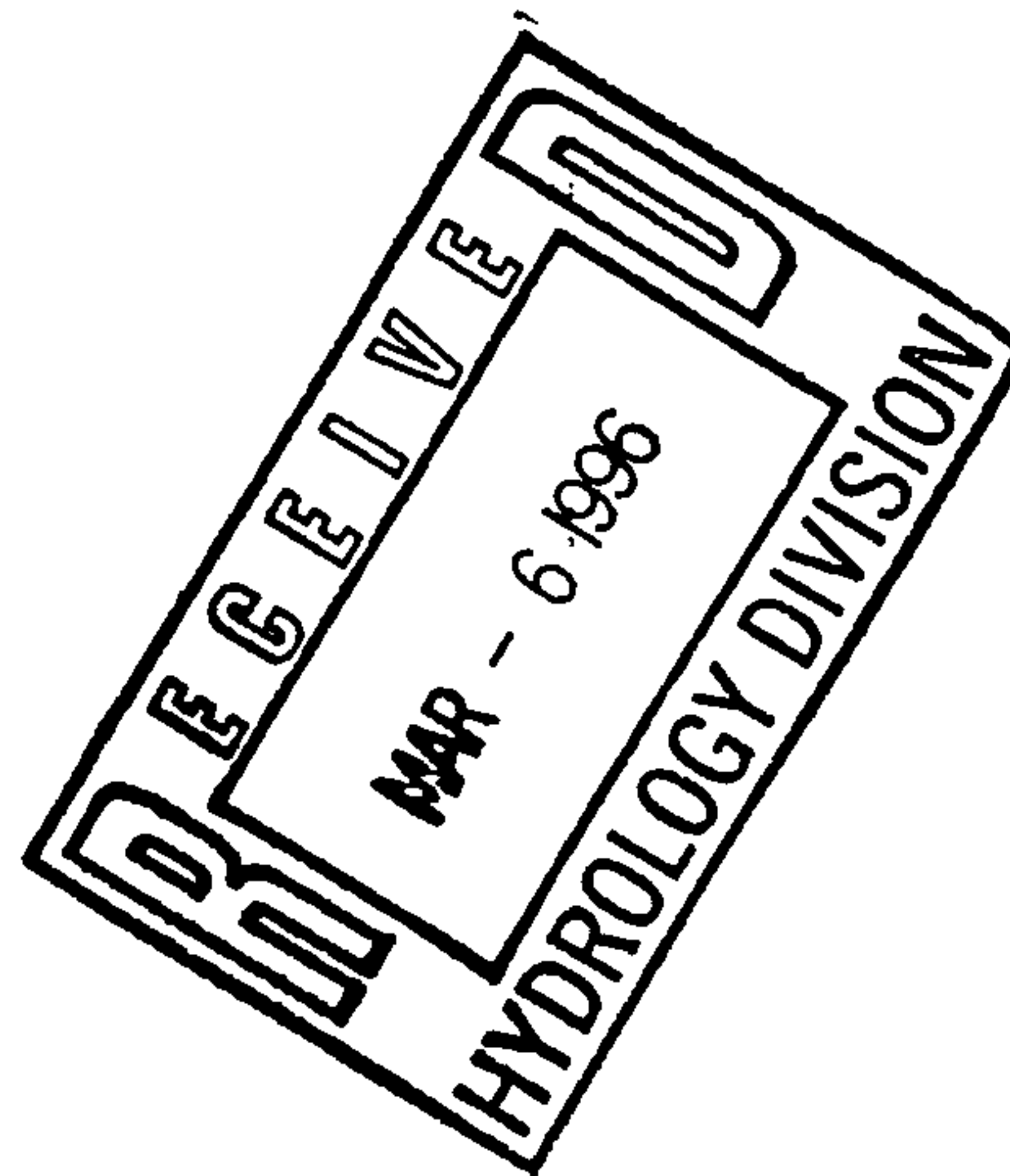
Sincerely,

Susan M. Calongne, P.E.
City/County Floodplain Administrator

c: Andrew Garcia, City Hydrology
Tom Sundaram, Owner
File



DRAINAGE CALCULATIONS
for
HOLIDAY INN EXPRESS MOTEL — ILIFF



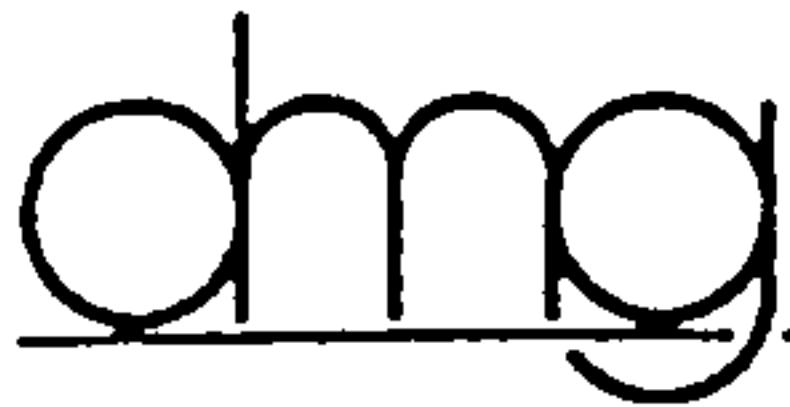
July 1995



8-30-95
9-14-95
3-5-96
3-7-96
3-19-96

ADDENDUM

D. MARK GOODWIN & ASSOCIATES



D. Mark Goodwin & Associates, P.A.
Consulting Engineers and Surveyors

PROJECT ILIFF - PHASE I
SUBJECT DRAINAGE CALCS
BY GJK DATE 2-28-96
CHECKED _____ DATE _____
SHEET 1 OF _____
REVISED 3-7-96

- THE PURPOSE OF THIS ADDENDUM IS TO REVISE THE POND SIZE TO CONTAIN 2-100 yr 6hr STORMS PLUS THE DISPLACEMENT VOLUME.

- ALSO AT THIS TIME A PRELIMINARY PLAN WILL BE DONE FOR A STORM DRAIN IN ILIFF WEST TO A POINT THE NORTH THROUGH A DRAINAGE EASEMENT ALONG THE EDGE OF ONE OF THE PROPERTY OWNERS TO THE BOX CULVERT EXTENSION ALONG I-40.

- FROM SHEET 1 OF THE HOLIDAY INN EXPRESS MOTEL REPORT PREPARED BY MARK GOODWIN & ASSOCIATES

$$V = 16,645 \text{ CF} - \text{RUNOFF FROM SITE} \checkmark$$

- FROM SHEET 5 OF THE SAME REPORT

DISPLACEMENT VOLUME REQUIRED FOR PHASE I

$$V = 176,942 \text{ CF} \checkmark$$

- TOTAL VOLUME REQUIRED FOR POND - RETENTION

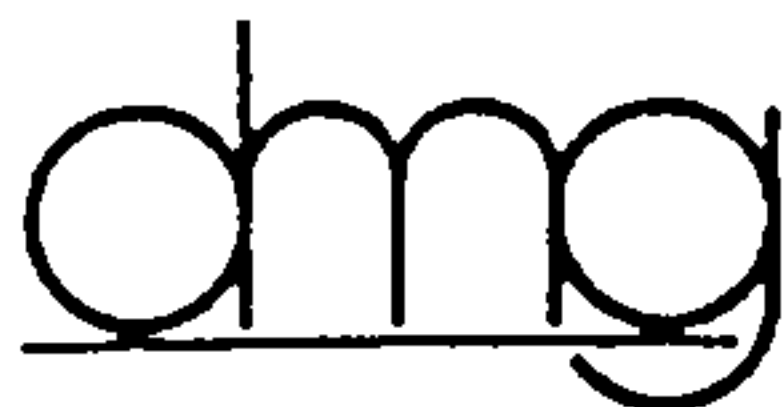
$$V = (2 \times 16,645) + 176,942 \\ = 210,232 \text{ CF}$$

- MODIFY POND SIZE FOR THIS VOLUME

ELEVATION	AREA (SF)	VOLUME (CF)
90	30788	0
91	34288	32538
92	37907	68635.5
93	74369	124773.5
94	99940	211928

211928 > 210,232 OK -

NO. OUTFALL WILL BE REQUIRED AT THIS TIME
BUT THE 24" RCP THAT WILL BE USED FOR
FUTURE DISCHARGE WILL BE INSTALLED AND
CAPPED AT THIS TIME



D. Mark Goodwin & Associates, P.A.
Consulting Engineers and Surveyors

PROJECT ILIFF-PHASE I
SUBJECT DRAINAGE CALCS
BY GSK DATE 2-28-96
CHECKED _____ DATE _____

SHEET 2 OF _____

REVISED 3-7-96 3-19-96

- DESIGN STORMDRAIN IN ILIFF TO THE WEST-OUTFALL
ON SITE FLOW FROM CB#1 & CB#2 WILL BE
REVERSED AND FLOW FROM 2 TO 1

18" RCP @ 1.61 %

FLOW AT THIS TIME WILL DISCHARGE TO A
SEPARATE POND UNTIL THE OFFSITE STORM DRAIN
IS COMPLETE.

TOTAL $Q = 0.56 + 1.26 = 1.82$ CFS FROM SHEETS 5 & 12 OF —
ORIGINAL REPORT

FIND POND VOLUME FOR 2 - 100 yr 6 hr storms

$$V = 2 \times (0.09 + 0.0426)$$

$$= 0.1232 \text{ AC-FT}$$

$$= 5367 \text{ CF}$$

12" PVC?

ELEVATION	AREA (F)	VOLUME (CF)
87.50	874	0
88	1137	1005.5
89	1720	2434
90	2377	4482.5
91	3109	7225.5 > 5367 OK

- DESIGN ILIFF STORMDRAIN

LOTS 289C, 289D & KELLY INN LOT "A" WILL ALL
DRAIN TO THE NORTH AND TIE INTO THE WEST
MESA DIVERSION BOX CULVERT. 2.6655 AC

LOT 290 WILL TIE INTO THE WEST MESA DIVERSION
BOX CULVERT. 0.2571 AC

LOT 264 WILL HAVE THE NORTH PORTION
DRAIN TO ILIFF AND TIE INTO MH#2. 2.9272 AC

LOT 265 WILL
HAVE THE NORTH
PORTION DRAIN TO
ILIFF AND TIE
INTO MH#3
2.6495 AC

THIS DESIGN WILL HAVE ALL PARCELS DISCHARGE
AT THE RATE A MAPCA ESTABLISHES FOR THE WEST
MESA DIVERSION DISCHARGE RATE PER ACRE. — not established
yet

THE STORMDRAIN IN ILIFF WILL BE DESIGNED FOR
ONLY THE RUNOFF FROM THE HOLIDAY INN EXPRESS
(LOT 263-B), AND
THE NORTH 1.2256 AC OF LOT 263-C. THIS AREA
WILL BE FOR THE DESIGN FROM POND TO MH#2



D. Mark Goodwin & Associates, P.A.
Consulting Engineers and Surveyors

PROJECT LIFF - PHASE I
SUBJECT DRAINAGE CALCS
BY GJK DATE 2-28-96
CHECKED _____ DATE _____
SHEET 3 OF _____
REVISED 3-7-96 3-19-96

FROM MH#2 TO MH#3 THE RUNOFF FROM THE NORTH
PORTION OF LOTS 264 AND LOT 263-A WILL BE ADDED,

FROM MH#3 TO THE BOX THE RUNOFF FROM THE NORTH
PORTION OF LOT 265 WILL BE ADDED.

- STORMDRAIN WILL BE DESIGNED FOR DIRECT DISCHARGE
WITH TWO TREATMENTS OF 85% "D" AND 15% "B"

SINCE THE DISCHARGE RATE IS NOT YET SET FOR
THE BASIN THE DIRECT DISCHARGE WILL BE USED FOR
DESIGN.

- SIZE RUN FROM POND TO MH#1

$$\begin{aligned} \text{AREA} &= 2.4787 \text{ AC} \quad \text{LOT 263-B} \\ &+ 1.2256 \text{ AC} \quad \text{LOT 263-C} \\ &\underline{3.7043 \text{ AC}} \end{aligned}$$

$$P_1 = 1.90 \text{ in}$$

$$P_6 = 2.20 \text{ in}$$

$$P_{24} = 2.65 \text{ in}$$

$$DT = 0.03333 \text{ HR}$$

$$TP = 0.1333 \text{ HR}$$

$$\text{TYPE "B"} = 15\%$$

$$\text{TYPE "D"} = 85\%$$

FROM HYMO SHEETS 4-6

$$Q = 15.12 \text{ CFS}$$

$$V = 0.5475 \text{ AC-FT}$$

FROM POND TO MH1 SLOPE 0.5%

USE 24" RCP

FROM NOMO SHEET 7

24" CARRIES 16 CFS. ✓

FROM MH1 TO MH2 SLOPE = 1.41%

USE 24" RCP

FROM NOMO SHEET 7

24" CARRIES 26 CFS

- SIZE RUN FROM MH2 TO MH3

$$\begin{aligned} \text{AREA} &= 2.1495 \text{ AC} \quad \text{LOT 263-A} \\ &+ 2.9272 \text{ AC} \quad \text{LOT 264} \\ &\underline{5.0767 \text{ AC}} \end{aligned}$$

RUN HYMO WITH SAME DATA

FROM HYMO SHEETS 8-10

$$Q = 20.71 \text{ CFS}$$

$$V = 0.7503 \text{ AC-FT}$$

$$\text{TOTAL } Q \text{ IN LINE} = 15.12 + 20.71 = 35.83 \text{ CFS}$$

CITY OF ALBUQUERQUE



July 14, 2006

Mr. Frank Lovelady, P.E.
300 Alamosa Road NE
Albuquerque, NM 87107

Re: HAMPTON INN, ILIFF ROAD NW
6150 Iliff Road NW
Approval of Permanent Certificate of Occupancy (C.O.)
Engineer's Stamp dated 0/24/2005 (H-11/D3)
Certification dated 07/12/2006

Dear Frank:

Based upon the information provided in your submittal received 07/13/2006, the above referenced certification is approved for release of Permanent Certificate of Occupancy by Hydrology.

If you have any questions, you can contact me at 924-3982.

Sincerely,

Arlene V. Portillo
Plan Reviewer, Planning Dept.-Hydrology
Development and Building Services

C: C.O. Clerk
File

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(Rev. 06/22/2005)

PROJECT TITLE: HAMPTON INN, ILIFF ROAD NW ZONE MAP/DRG. FILE # H11 /D3
DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: LOT 263A, TOWN OF ATRISCO GRANT, UNIT B
CITY ADDRESS: 6150 ILIFF ROAD NW 87121

ENGINEERING FIRM: Frank D. Lovelady, P.E.
ADDRESS: 300 Alamosa Road NE
CITY, STATE: Albuquerque, NM

CONTACT: Frank Lovelady
PHONE: 345-2267
ZIP CODE: 87107

OWNER: TOTAL MANAGEMENT SYSTEMS, INC.
ADDRESS: 6150 ILIFF ROAD NW
CITY, STATE: Albuquerque, NM

CONTACT: PRAKASH SUNDARAM
PHONE: 259-3805
ZIP CODE: 87121

ARCHITECT: LEON K. LAUVER & ASSOC.
ADDRESS: 700 W. BENJAMIN AVE.
CITY, STATE: NORFOLK, NEBRASKA

CONTACT: LEON K. LAUVER
PHONE: 1-402-371-3333
ZIP CODE: 68701

SURVEYOR: Harris Surveying Company
ADDRESS: 2412 Monroe Dr. NE
CITY, STATE: Albuquerque, NM

CONTACT: Tony Harris
PHONE: 889-8056
ZIP CODE: 87110

CONTRACTOR: TOTAL MANAGEMENT SYSTEMS INC.
ADDRESS: 6150 ILIFF ROAD NW
CITY, STATE: Albuquerque, NM

CONTACT: PRAKASH SUNDARAM
PHONE: 259-3805
ZIP CODE: 87121

TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☒ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT
☐ ENGINEER'S CERT (TCL)
☐ ENGINEER'S CERT (DRB SITE PLAN)
☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY (PERM)
☒ CERTIFICATE OF OCCUPANCY (TEMP)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY _____)

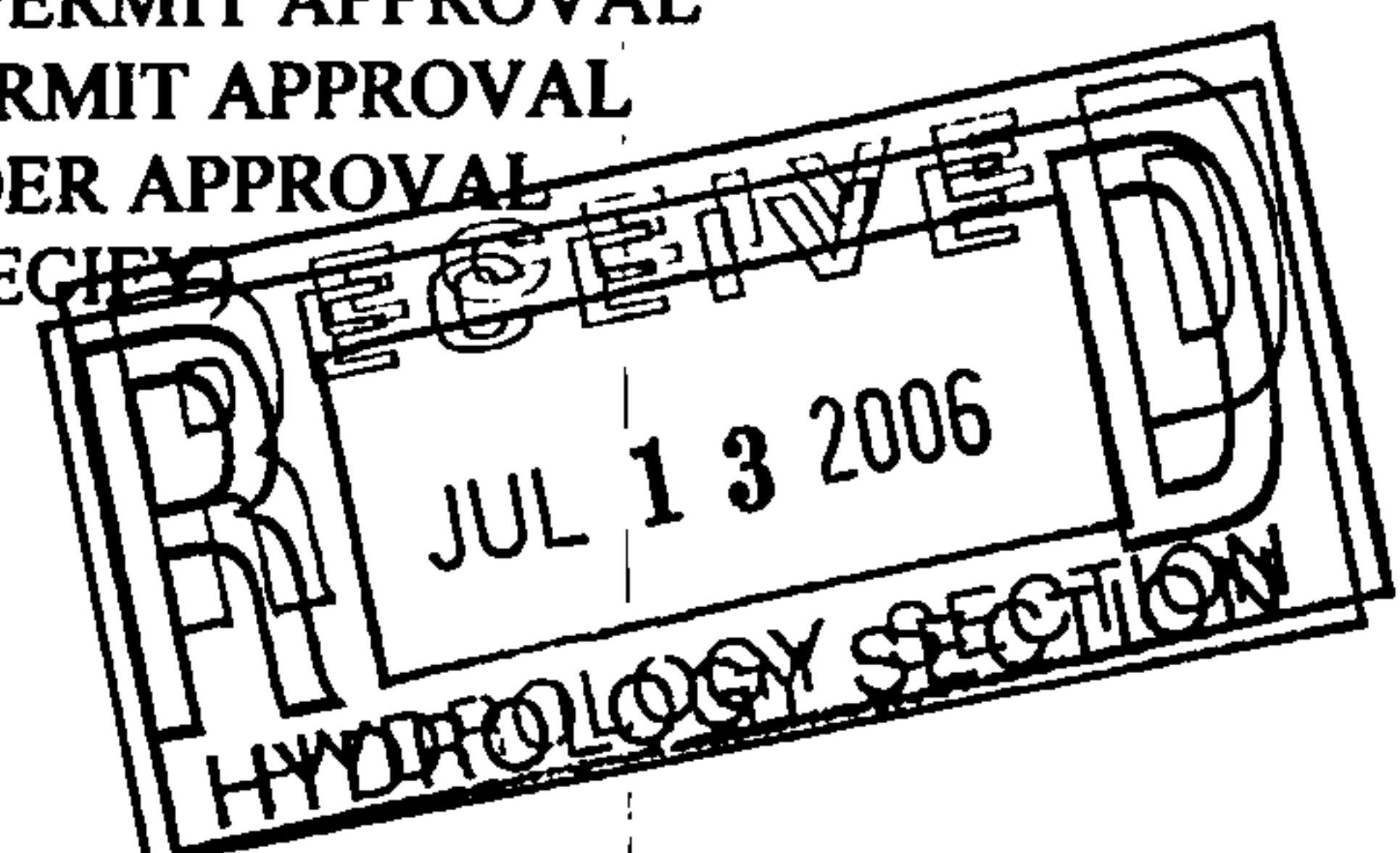
WAS A PRE-DESIGN CONFERENCE ATTENDED:

☒ YES
☐ NO
☐ COPY PROVIDED

SUBMITTED BY: Frank D. Lovelady, P.E. DATE: July 12, 2006

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.



CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services Section**

July 17, 2006

Frank D. Lovelady, P.E.
300 Alamosa Road NW
Albuquerque, NM 87107

Re: Certification Submittal for Final Building Certificate of Occupancy for
Hampton Inn, [H-11 / D3]
6150 Iliff Road NW
Engineer's Stamp Dated 07/14/06

Dear Mr. Lovelady:

The TCL / Letter of Certification submitted on July 14, 2006 is sufficient for acceptance by this office for final Certificate of Occupancy (C.O.). Notification has been made to the Building and Safety Section.

Sincerely,

Nilo E. Salgado-Fernandez, P.E.
Senior Traffic Engineer
Development and Building Services
Planning Department

c: Engineer
Hydrology file
CO Clerk

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov