

# CITY OF ALBUQUERQUE



July 23, 2008

Frank D. Lovelady, P.E.  
300 Alamosa Road NE  
Albuquerque, NM 87107

**Re: Sundaram Office Bldg Grading and Drainage Plan**  
**Engineer's Stamp dated 7-17-08 (H11/D003A)**

Dear Mr. Lovelady,

Based upon the information provided in your submittal received 7-23-08, the above referenced plan is approved for Building Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

Prior to Certificate of Occupancy release:

- As discussed on 7-23-08, retaining walls with TW/BW elevations are , required whenever there is a grade change of 18" or more. Therefore, provide TW/BW elevations approximately every 50 ft along the southern edge of this project and along Estancia Dr south of the entrance.
- Engineer Certification per the DPM checklist will be required.

If you have any questions, you can contact me at 924-3695.

Sincerely,

Curtis A. Cherne, P.E.  
Senior Engineer, Planning Dept.  
Development and Building Services

C: file

**DRAINAGE AND TRANSPORTATION INFORMATION SHEET**  
(Rev. 06/22/2005)

PROJECT TITLE: SUNDARAM OFFICE BUILDING ZONE MAP/DRG. FILE # H11 /D003A  
DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ WORK ORDER#: \_\_\_\_\_

LEGAL DESCRIPTION: LOT 263-A-2, TOWN OF ATRISCO GRANT, UNIT B  
CITY ADDRESS: \_\_\_\_\_

ENGINEERING FIRM: Frank D. Lovelady, P.E.  
ADDRESS: 300 Alamosa Road NE  
CITY, STATE: Albuquerque, NM

CONTACT: Frank Lovelady  
PHONE: 345-2267  
ZIP CODE: 87107

OWNER: TOTAL MANAGEMENT SYSTEMS, INC.  
ADDRESS: 6150 ILIFF ROAD NW  
CITY, STATE: Albuquerque, NM

CONTACT: PRAKASH SUNDARAM  
PHONE: 831-4201  
ZIP CODE: 87121

ARCHITECT: PETER BUTTERFIELD  
ADDRESS: 13013 Glenwood Hills Ct. NE  
CITY, STATE: Albuquerque, NM

CONTACT: PETER BUTTERFIELD  
PHONE: 1-505-298-3099  
ZIP CODE: 87111

SURVEYOR: Harris Surveying Company  
ADDRESS: 2412 Monroe Dr. NE  
CITY, STATE: Albuquerque, NM

CONTACT: Tony Harris  
PHONE: 889-8056  
ZIP CODE: 87110

CONTRACTOR: TOTAL MANAGEMENT SYSTEMS INC.  
ADDRESS: 6150 ILIFF ROAD NW  
CITY, STATE: Albuquerque, NM

CONTACT: PRAKASH SUNDARAM  
PHONE: 259-3805  
ZIP CODE: 87121

**TYPE OF SUBMITTAL:**

☐ DRAINAGE REPORT  
☐ DRAINAGE PLAN 1<sup>st</sup> SUBMITTAL  
☒ DRAINAGE PLAN RESUBMITTAL  
☐ CONCEPTUAL G & D PLAN  
☐ GRADING PLAN  
☐ EROSION CONTROL PLAN  
☐ ENGINEER'S CERT (HYDROLOGY)  
☐ CLOMR/LOMR  
☐ TRAFFIC CIRCULATION LAYOUT  
☐ ENGINEER'S CERT (TCL)  
☐ ENGINEER'S CERT (DRB SITE PLAN)  
☐ OTHER

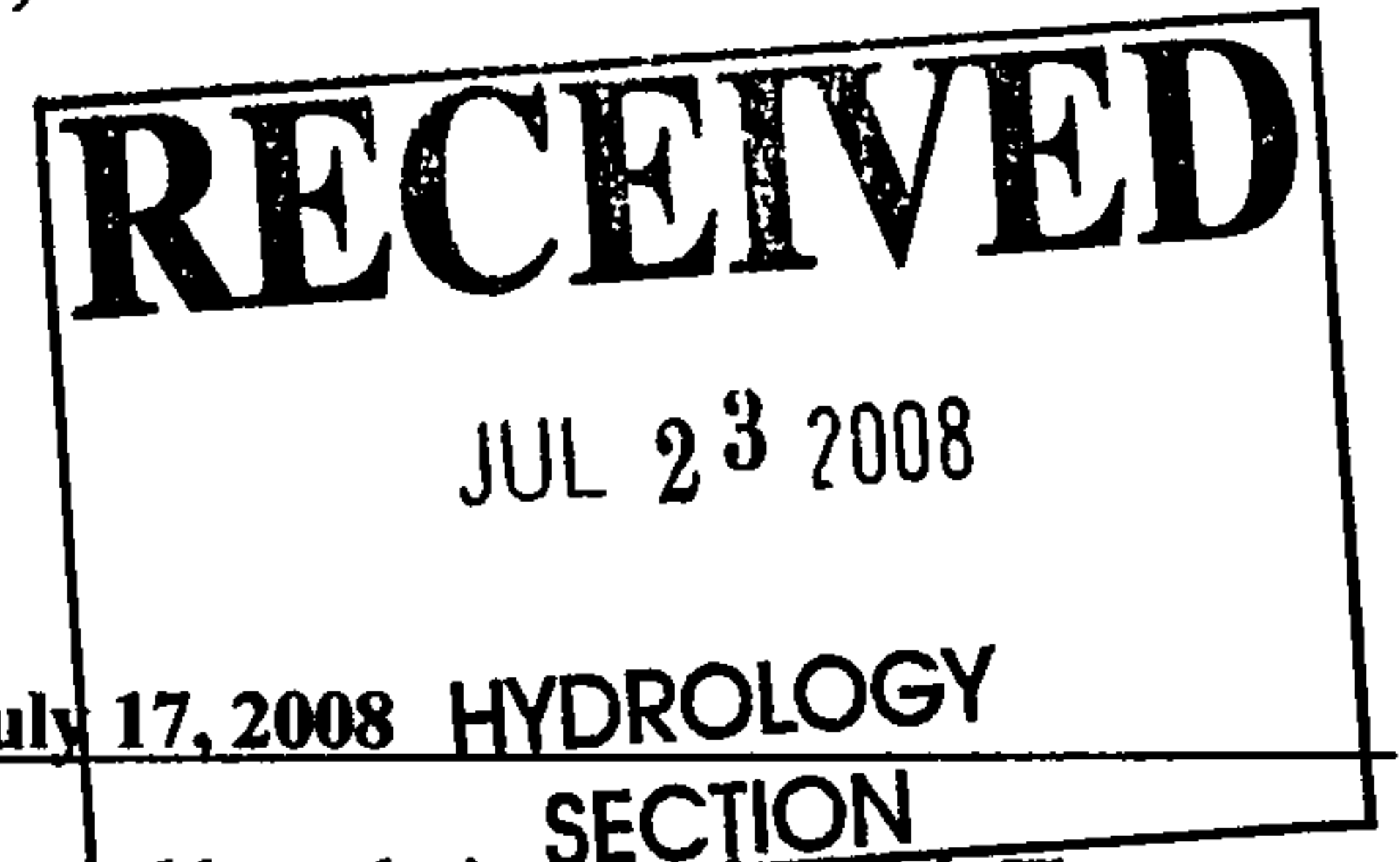
**CHECK TYPE OF APPROVAL SOUGHT:**

☐ SIA/FINANCIAL GUARANTEE RELEASE  
☐ PRELIMINARY PLAT APPROVAL  
☐ S. DEV. PLAN FOR SUB'D APPROVAL  
☐ S. DEV. FOR BLDG. PERMIT APPROVAL  
☐ SECTOR PLAN APPROVAL  
☐ FINAL PLAT APPROVAL  
☐ FOUNDATION PERMIT APPROVAL  
☒ BUILDING PERMIT APPROVAL  
☐ CERTIFICATE OF OCCUPANCY (PERM)  
☐ CERTIFICATE OF OCCUPANCY (TEMP)  
☐ GRADING PERMIT APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ WORK ORDER APPROVAL  
☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

☐ YES  
☒ NO  
☐ COPY PROVIDED

SUBMITTED BY: Frank D. Lovelady, P.E. DATE: July 17, 2008 **HYDROLOGY**



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

**DRAINAGE AND TRANSPORTATION INFORMATION SHEET**

(Rev. 06/22/2005)

PROJECT TITLE: SUNDARAM OFFICE BUILDING ZONE MAP/DRG. FILE # H11 /D003A  
DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ WORK ORDER#: \_\_\_\_\_

LEGAL DESCRIPTION: LOT 263-A-2, TOWN OF ATRISCO GRANT, UNIT B  
CITY ADDRESS: \_\_\_\_\_

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CITY, STATE: Albuquerque, NM

CONTACT: PRAKASH SUNDARAM  
PHONE: 259-3805  
ZIP CODE: 87121

**TYPE OF SUBMITTAL:**

☐ DRAINAGE REPORT  
☐ DRAINAGE PLAN 1<sup>st</sup> SUBMITTAL  
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☐ CONCEPTUAL G & D PLAN  
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☐ ENGINEER'S CERT (HYDROLOGY)  
☐ CLOMR/LOMR  
☐ TRAFFIC CIRCULATION LAYOUT  
☐ ENGINEER'S CERT (TCL)  
☐ ENGINEER'S CERT (DRB SITE PLAN)  
☐ OTHER

**CHECK TYPE OF APPROVAL SOUGHT:**

☐ SIA/FINANCIAL GUARANTEE RELEASE  
☐ PRELIMINARY PLAT APPROVAL  
☐ S. DEV. PLAN FOR SUB'D APPROVAL  
☐ S. DEV. FOR BLDG. PERMIT APPROVAL  
☐ SECTOR PLAN APPROVAL  
☐ FINAL PLAT APPROVAL  
☐ FOUNDATION PERMIT APPROVAL  
☒ BUILDING PERMIT APPROVAL  
☐ CERTIFICATE OF OCCUPANCY (PERM)  
☐ CERTIFICATE OF OCCUPANCY (TEMP)  
☐ GRADING PERMIT APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ WORK ORDER APPROVAL  
☐ OTHER (SPECIFY)

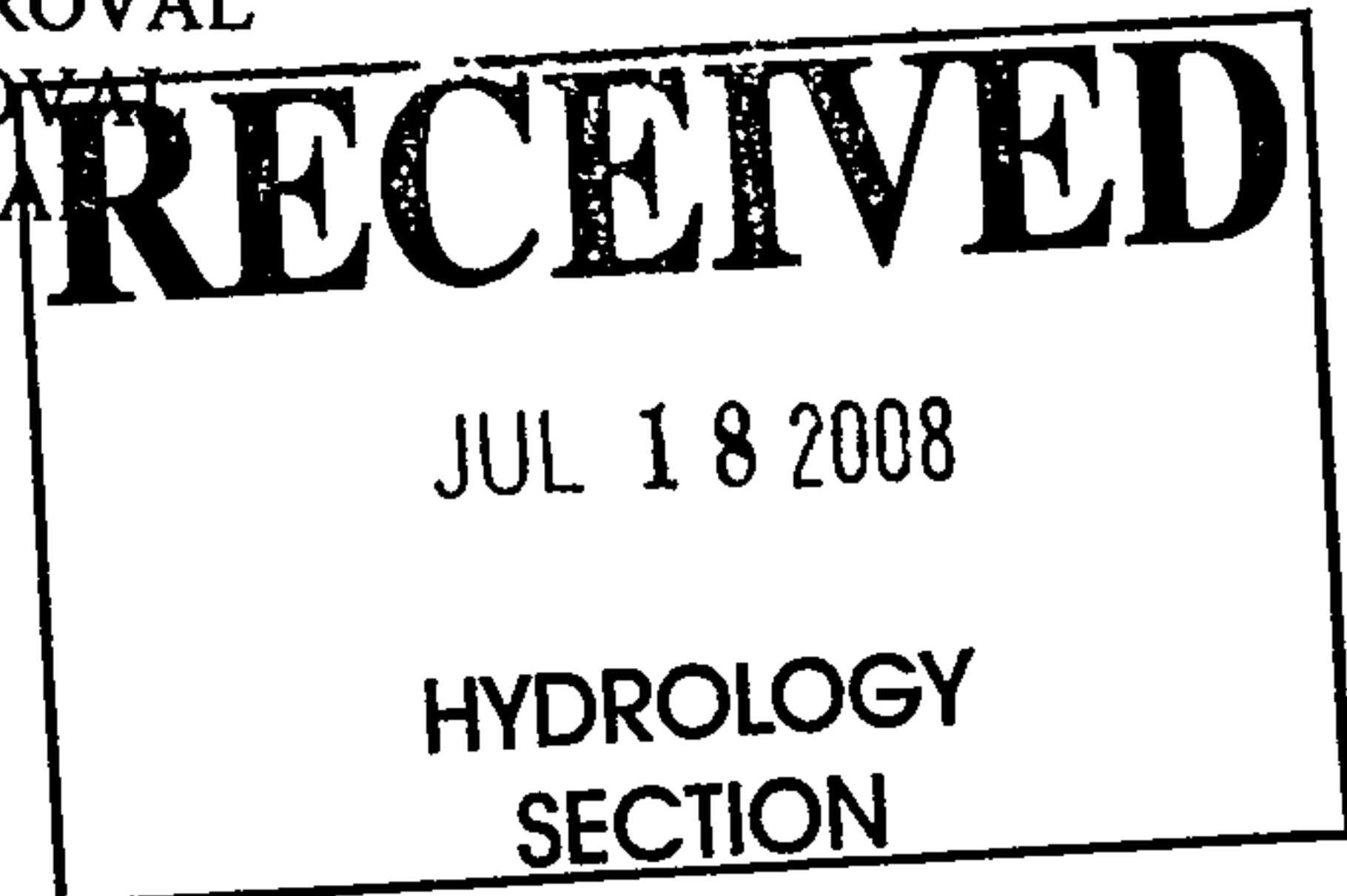
WAS A PRE-DESIGN CONFERENCE ATTENDED:

☐ YES  
☒ NO  
☐ COPY PROVIDED

SUBMITTED BY: Frank D. Lovelady, P.E. DATE: July 17, 2008

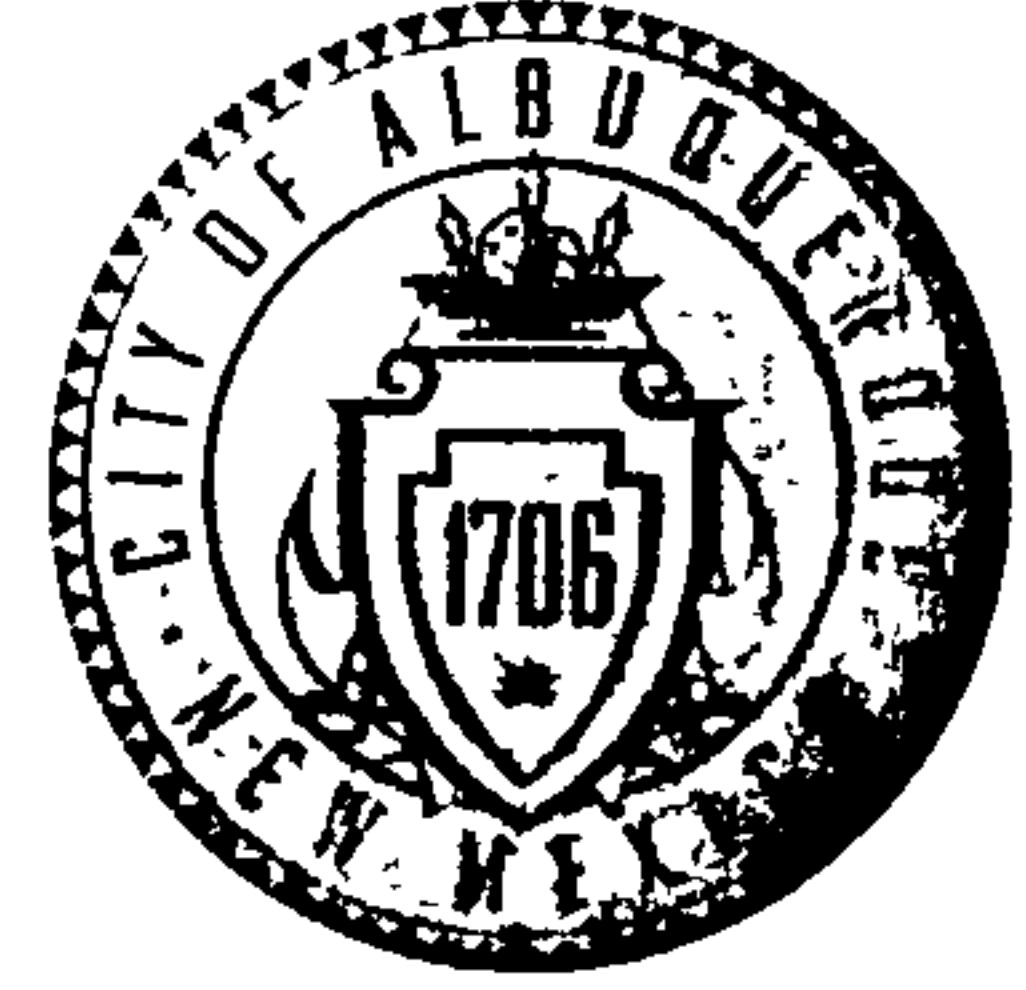
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2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.





# CITY OF ALBUQUERQUE



January 20, 2009

Peter Butterfield, R.A.  
Peter Butterfield Architect  
13013 Glenwood Hills Ct. NE  
Albuquerque, NM 87111

**Re: Sundaram Office Building, 6130 Iliff Rd. NW, Traffic Circulation Layout  
Architect's Stamp dated 6-04-08 (H-11/D003A)**

Dear Mr. Butterfield,

Based upon the information provided in your submittal received 1-07-09, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. Clarify existing versus proposed conditions. Is the sidewalk along Estancia Drive existing or proposed?
2. A build note is needed for the curb cut on Estancia Drive. This build note should reference City Standard 2426.
3. Add the following text to keyed note 18: "...per City Standard 2426 with truncated domes."
4. Define the maximum slope for all wheelchair ramps (1:12).
5. ~~Written permission from the owner of lot 263-B-1 is required to perform work on that lot.~~ *Removed per Kevin Curran - see 2/27/09 Email*
6. A 24' drive aisle in lieu of a 20' drive aisle is required between the two lots.
7. Parking bumpers will be needed along the northern most parking stalls to keep the 6' clear space for the pedestrian access.
8. Include a six-foot wide pathway from the ADA parking stalls to the ramp at the entrance to the building.

If you have any questions, you can contact me at 924-3991.

Sincerely,

Kristal D. Metro, P.E.  
Traffic Engineer, Planning Dept.  
Development and Building Services

C: File

**Metro, Kristal D.**

---

**From:** Curran, Kevin J.  
**Sent:** Friday, February 27, 2009 11:02 AM  
**To:** Metro, Kristal D.  
**Cc:** Dourte, Richard H.  
**Subject:** 6130 Iliff Rd./Joint Access Agreement

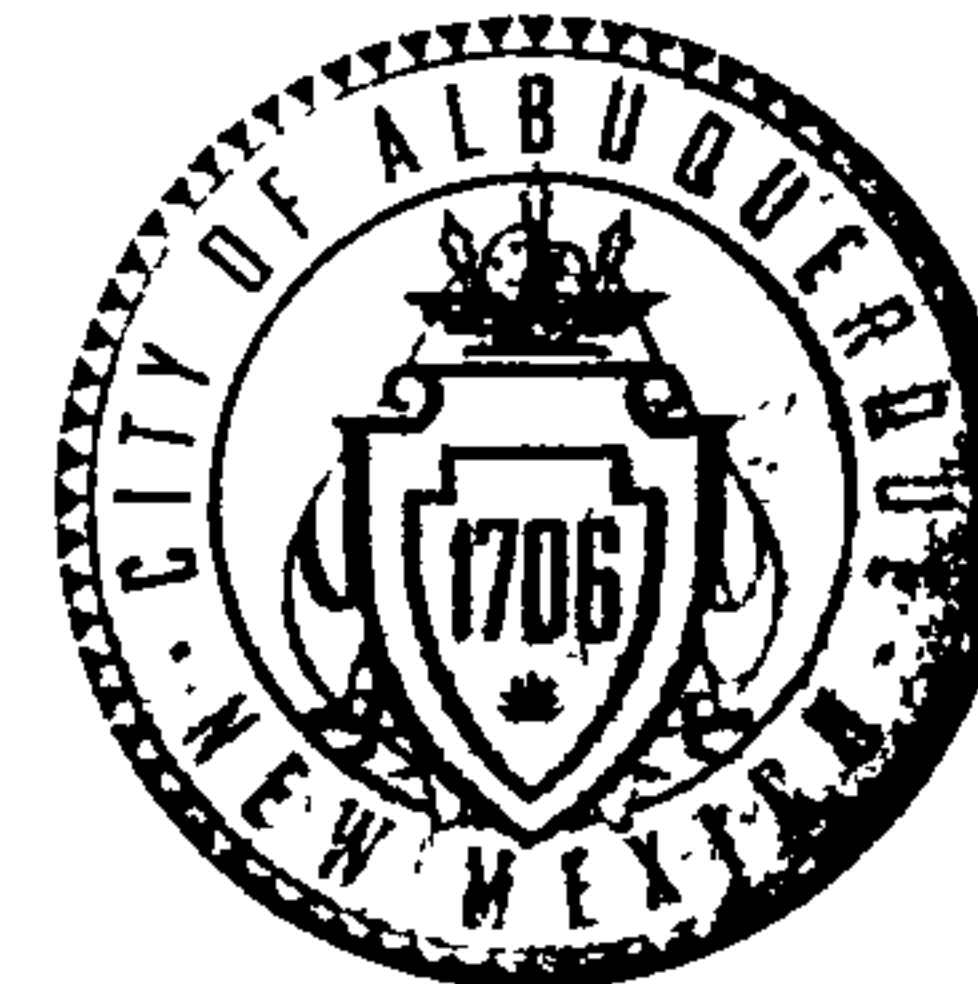
Kristal,

I have reviewed the Joint Access Agreement between the owners of lots 263-A-2 and 263-B-1 filed as Doc# 2007149393 on Oct. 26, 2007. I believe the Agreement allows the owner of lot 263-A-2 to enter lot 263-B-1 for the limited purpose of constructing the improvements for the common driveway as shown on Exhibit A to the Agreement. Please call if you need additional follow-up.

Kevin J. Curran  
Assistant City Attorney  
t 505-924-3995  
f 505-924-3440  
[kcurran@cabq.gov](mailto:kcurran@cabq.gov)

*After all the jacks are in their boxes, and the clowns have all gone to bed, you can hear happiness staggering on down the street, footsteps dressed in red.... and the wind cries Mary.  
Jimi Hendrix (1967)*

# CITY OF ALBUQUERQUE



March 18, 2009

Peter Butterfield, R.A.  
Peter Butterfield Architect  
13013 Glenwood Hills Ct. NE  
Albuquerque, NM 87111

Re: Sundaram Office Building, 6130 Iliff Rd. NW, Traffic Circulation Layout  
Architect's Stamp dated 6-04-08 (H-11/D003A)

Dear Mr. Butterfield,

The TCL submittal received 3-10-09 is approved for Building Permit. The plan is stamped and signed as approved. A copy of this plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation. **Public infrastructure or work done within City Right-of-Way shown on these plans is for information only and is not part of approval. A separate DRC and/or other appropriate permits are required to construct these items.**

PO Box 1293

Albuquerque

NM 87103

[www.cabq.gov](http://www.cabq.gov)

If a temporary CO is needed, a copy of the original TCL that was stamped as approved by the City will be needed. This plan must include a statement that identifies the outstanding items that need to be constructed or the items that have not been built in "substantial compliance," as well as the signed and dated stamp of a NM registered architect or engineer. Submit this TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

When the site is completed and a final C.O. is requested, use the original City stamped approved TCL for certification. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3306.

Sincerely,

Kristal D. Metro, P.E.  
Traffic Engineer, Planning Dept.  
Development and Building Services

C: File



LEGAL DESCRIPTION: Lot No 263 A-2 TOWN OF ARISCO GRANT  
PROPERTY ADDRESS: 6130 LILFE RD NW ALBUQUERQUE NM 87121

H-TT/P00317  
SUNDARAM

ENGINEERING FIRM: FRANK LOVELADY  
ADDRESS: 300 ALAMOSA RD NW  
CITY, STATE: ALBUQUERQUE NM

CONTACT: FRANK LOVELADY  
PHONE: 505 345 2267  
ZIP CODE: 87107

OWNER: FIVE STAR HOSPITALITY INC  
ADDRESS: 4501 ABERDEEN WAY NW  
CITY, STATE: ALBUQUERQUE NM

CONTACT: PRAKASH SUNDARAM  
PHONE: 505 831 4200  
ZIP CODE: 87120

ARCHITECT: PETER BUTTERFIELD ARCHITECT  
ADDRESS: 13013 GLENWOOD HILLS CT NE  
CITY, STATE: ALBUQUERQUE NM

CONTACT: PETER BUTTERFIELD  
PHONE: 505 332 9323  
ZIP CODE: 87111

SURVEYOR: HARRIS SURVEYING INC  
ADDRESS: 2412-D MONROE ST NE  
CITY, STATE: ALBUQUERQUE NM

CONTACT: ANTHONY HARRIS  
PHONE: 505 889-8056  
ZIP CODE: 87110

CONTRACTOR:  
ADDRESS:  
CITY, STATE:

CONTACT:  
PHONE:  
ZIP CODE:

CHECK TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1<sup>st</sup> SUBMITTAL, *REQUIRES TCL or equal*
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMP/LOMP
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

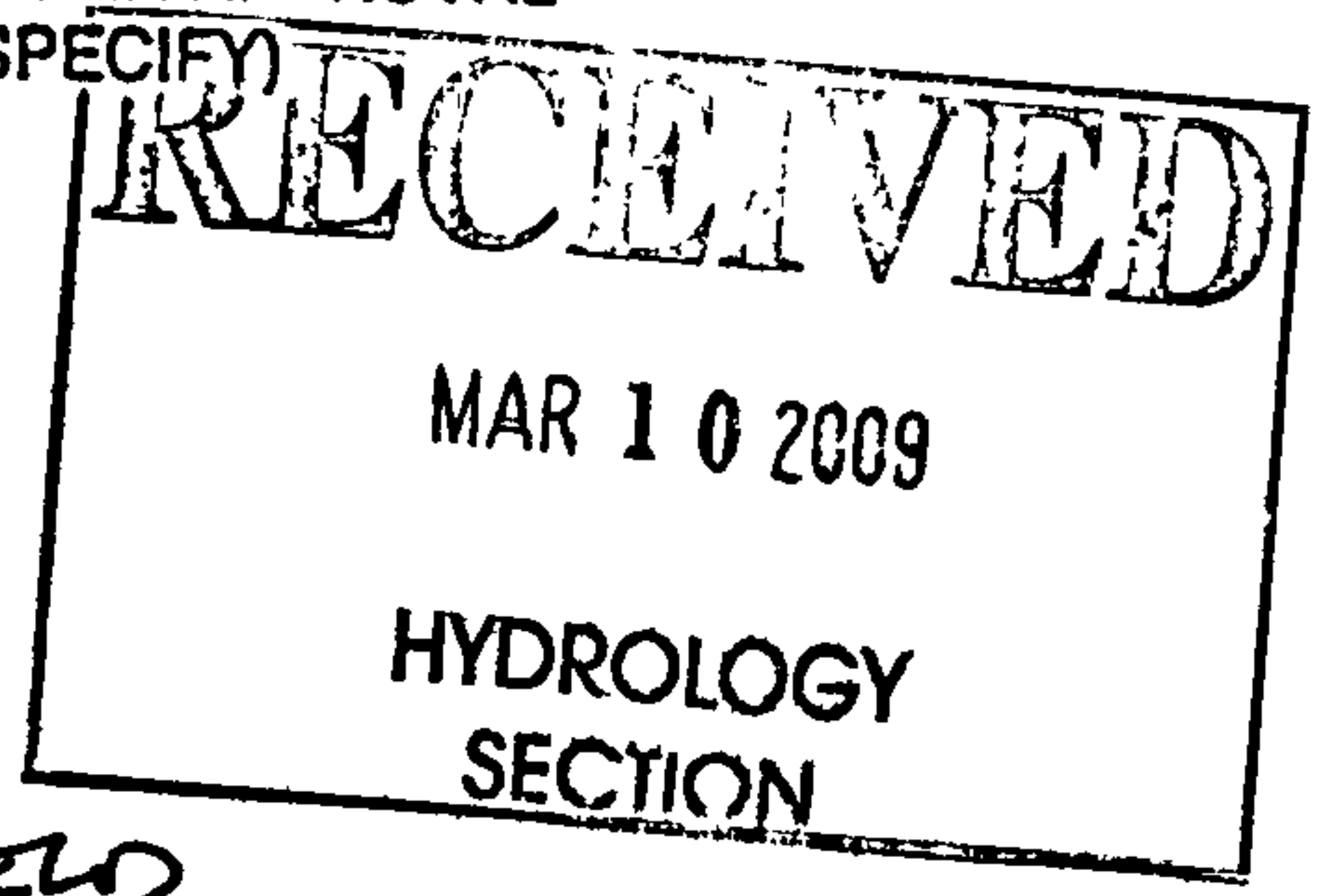
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- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

AS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☒ NO
- ☐ COPY PROVIDED

<Resub>



DATE SUBMITTED: 3/10/09 BY: PETER BUTTERFIELD

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

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3. Drainage Report: Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

**Curran, Kevin J.**

H-11/D003A

**From:** Curran, Kevin J.  
**Sent:** Friday, February 27, 2009 11:02 AM  
**To:** Metro, Kristal D.  
**Cc:** Dourte, Richard H.  
**Subject:** 6130 Iliff Rd./Joint Access Agreement

Kristal,

I have reviewed the Joint Access Agreement between the owners of lots 263-A-2 and 263-B-1 filed as Doc# 2007149393 on Oct. 26, 2007. I believe the Agreement allows the owner of lot 263-A-2 to enter lot 263-B-1 for the limited purpose of constructing the improvements for the common driveway as shown on Exhibit A to the Agreement. Please call if you need additional follow-up.

Kevin J. Curran  
Assistant City Attorney  
t 505-924-3995  
f 505-924-3440  
[kcurran@cabq.gov](mailto:kcurran@cabq.gov)

After all the jacks are in their boxes, and the clowns have all gone to bed, you can hear happiness staggering on down the street, footsteps dressed in red.... and the wind cries Mary.  
Jimi Hendrix (1967)



**Chappell Law Firm, P.A.***Attorneys at Law*

*Bill Chappell, Jr.  
Michael Hoeferkamp  
Martha L. King*

*Albuquerque Centre, Suite 150  
6001 Indian School Rd. NE  
Albuquerque, New Mexico 87110*

*Telephone  
(505) 878-9600*

*Telecopier  
(505) 878-9696*

February 26, 2009

*Via Email to: kcurran@cabq.gov*  
*and Facsimile to: 924-3440*

Kevin J. Curran, Esq.  
City of Albuquerque Legal Department  
P.O. Box 2248  
Albuquerque, New Mexico 87103-2248

Re: ***Sundaram Office Building, 6130 Iliff Road NW, Traffic Circulation Layout***

Dear Mr. Kevin:

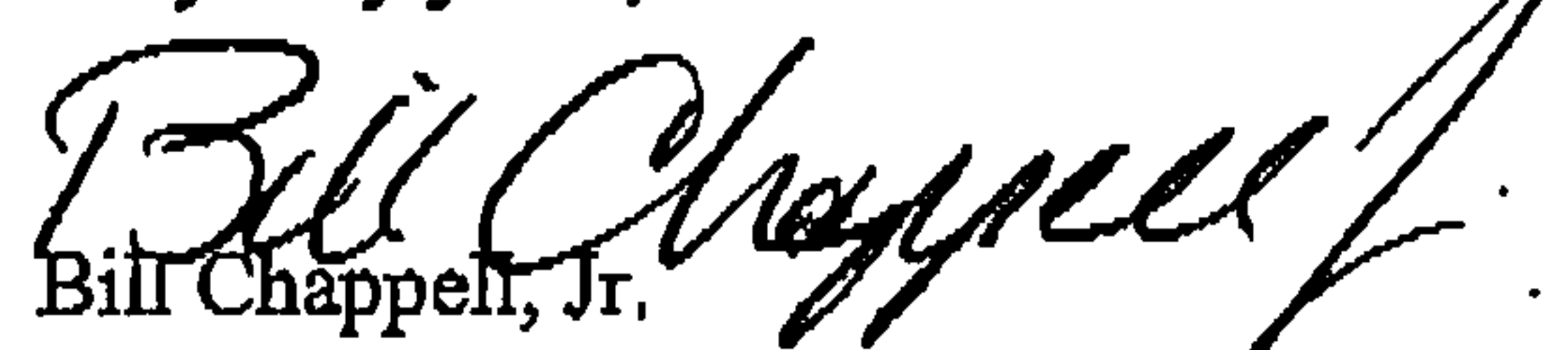
We have a client who is trying to process an application for the construction of a small commercial facility on the West Side. The City has required, because of fire protection (I assume), that the property have two access points. Our client at one time owned this and the adjoining tract, and separated the two tracts. On the first tract they built a hotel which they sold; however, prior to or at the time of the sale, a Joint Access Agreement was recorded. I have enclosed a copy of that Access Agreement.

The access provided by the Access Agreement and the access to the public street would be sufficient to meet the two access requirements of the City. However, we are advised by the architect (Peter Butterfield, R.A.) that the planner (Kristal Metro) has required some type of letter of approval from the adjoining property owner in addition to the recorded Access Agreement. The adjoining owner is not agreeable to signing another document. My question is why the Access Agreement as recorded is not sufficient.

The purpose of this letter is to ask you to review the Access Agreement and call me at your convenience to discuss the Agreement or other options that may be available. This requirement by the planner, as far as I know, is the only issue holding up the processing of the project.

Thank you for your cooperation.

Very truly yours,

  
Bill Chappell, Jr.

BC:gnb

cc: Mr. Prakash Sundaram (*Via Email*)  
G:\Data\W760\2009\23636\General\Letters\Curran 022609 re Access Agr.wpd

## JOINT ACCESS AGREEMENT

This Joint Access Agreement ("Agreement") is entered into effective the 24<sup>th</sup> day of October, 2007, by and between Eagle Investors, Inc., a New Mexico corporation and Five Stars Hospitality, Inc., a New Mexico corporation, (collectively referred to as the "Parties").

WHEREAS, the Parties to this Agreement desire to share access to a common driveway between their respective parcels of real estate; and

WHEREAS Eagle Investors, Inc. owns Lot 263-A-2, and Five Stars Hospitality, Inc. owns Lot 263-B-1, both as shown on the Plat of of Lots 263-A-1, 263-A-2 & 263-B-1, Town of Atrisco Grant, Unit 8, situate within projected Sections 11 & 14, Township 10 North, Range 2 East, N.M.P.M., Albuquerque, New Mexico, filed in the office of the clerk of Bernalillo County on May 18, 2007 in Plat Book 2007C, page 129, as Document No. 2007074043.

NOW, THEREFORE, it is agreed as follows:

1. The Parties hereby grant and convey access from Lot 263-A-2 to Lot 263-B-1 and from Lot 263-B-1 to Lot 263-A-2 at the location shown the Site Plan attached as Exhibit A hereto. Each party is only granted a right of access to the driving areas of the other party. The Parties or their successors may make separate agreements as may be mutually agreeable for access to their respective parking spaces for the Parties, their successors in interest, their lessees and/or their business invitees in the ordinary course of business.

2. Eagle Investors, Inc. or its successors will construct the improvements for the common driveway and obtain any necessary government approval. The Parties or their successors shall each be responsible for the maintenance costs of the portion of the driveway that is located on their respective properties.

3. Neither of the Parties shall take any action to interfere with the day-to-day business of the other, and neither shall take any action to create additional liability for the other.

4. Each party hereby acknowledges receipt of good and valuable consideration in making this Agreement.

5. The said access shall be a perpetual access easement, subject to the provisions outlined herein.

[SIGNATURE PAGE FOLLOWS]

Doc# 2007149393

10/26/2007 02:15 PM Page 1 of 3  
ACRE R:\$13.00 N. Toulouse, Bernalillo County



**EAGLE INVESTMENTS, INC.,**  
a New Mexico corporation

By *[Signature]*  
Its SVP  
(title)

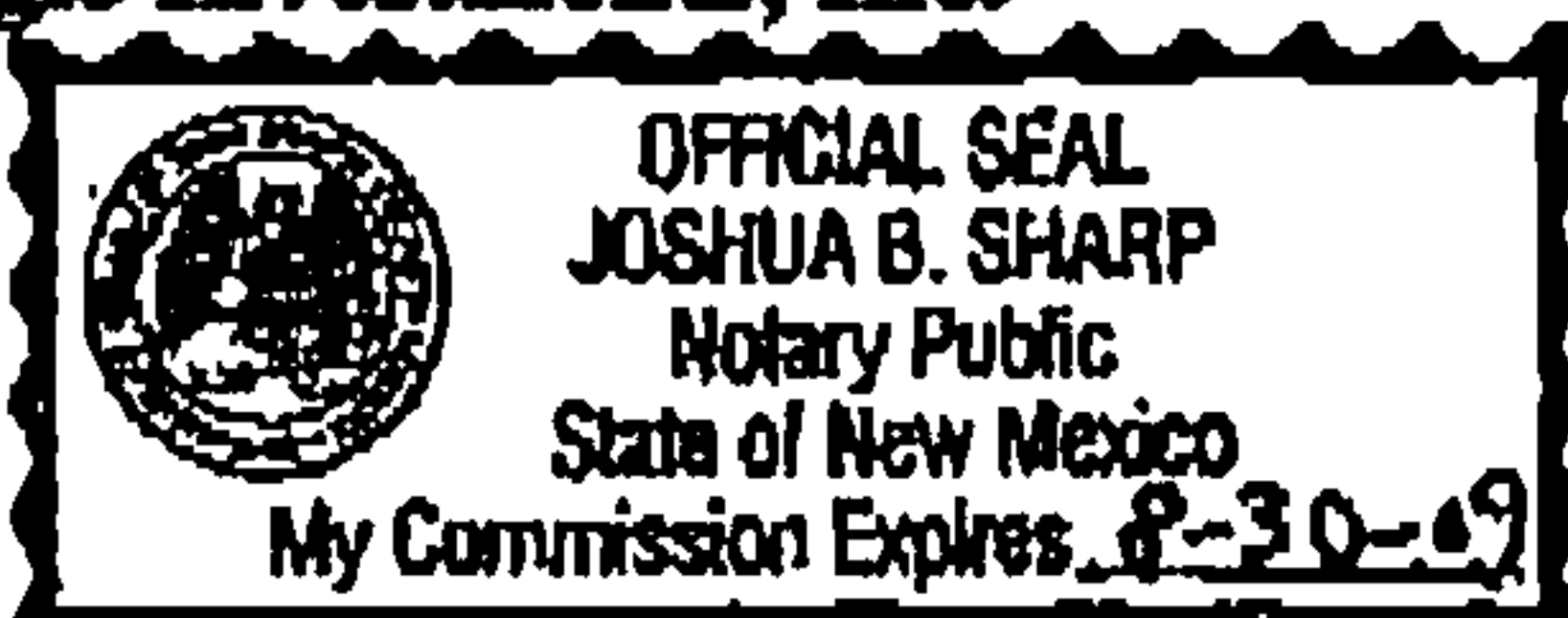
**FIVE STARS HOSPITALITY, INC.,**  
a New Mexico corporation

By *[Signature]*  
Its SVP  
(title)

### ACKNOWLEDGMENTS

STATE OF NEW MEXICO )  
 )ss  
COUNTY OF BERNALILLO )

The forgoing instrument was acknowledged before me this 25<sup>th</sup> day of October, 2007, by Prakash M. Sundaram as SVP (title) of and on behalf of Eagle Investments, Inc.



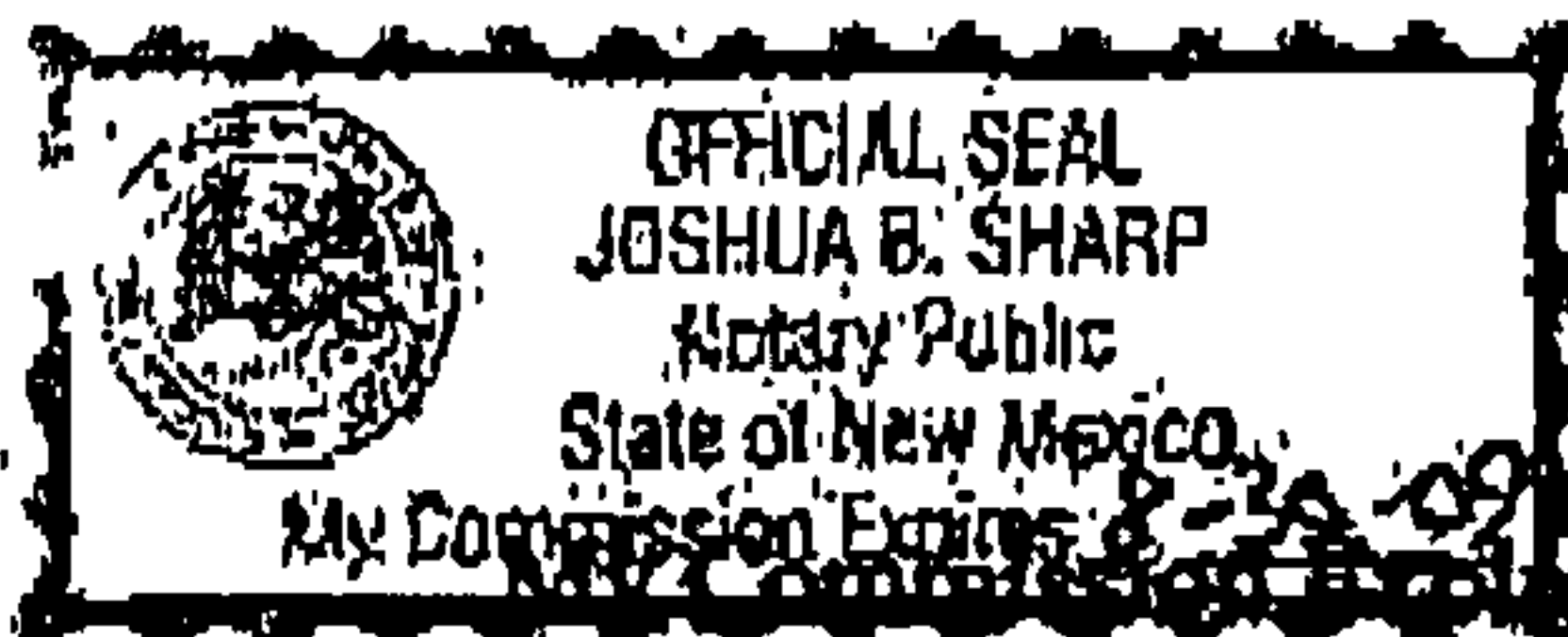
My Commission Expires: August 30<sup>th</sup>, 2009

Notary Public

*[Signature]*

STATE OF NEW MEXICO )  
 )ss  
COUNTY OF BERNALILLO )

The forgoing instrument was acknowledged before me this 25<sup>th</sup> day of October, 2007, by Prakash M. Sundaram as SVP (title) of and on behalf of Five Stars Hospitality, Inc.



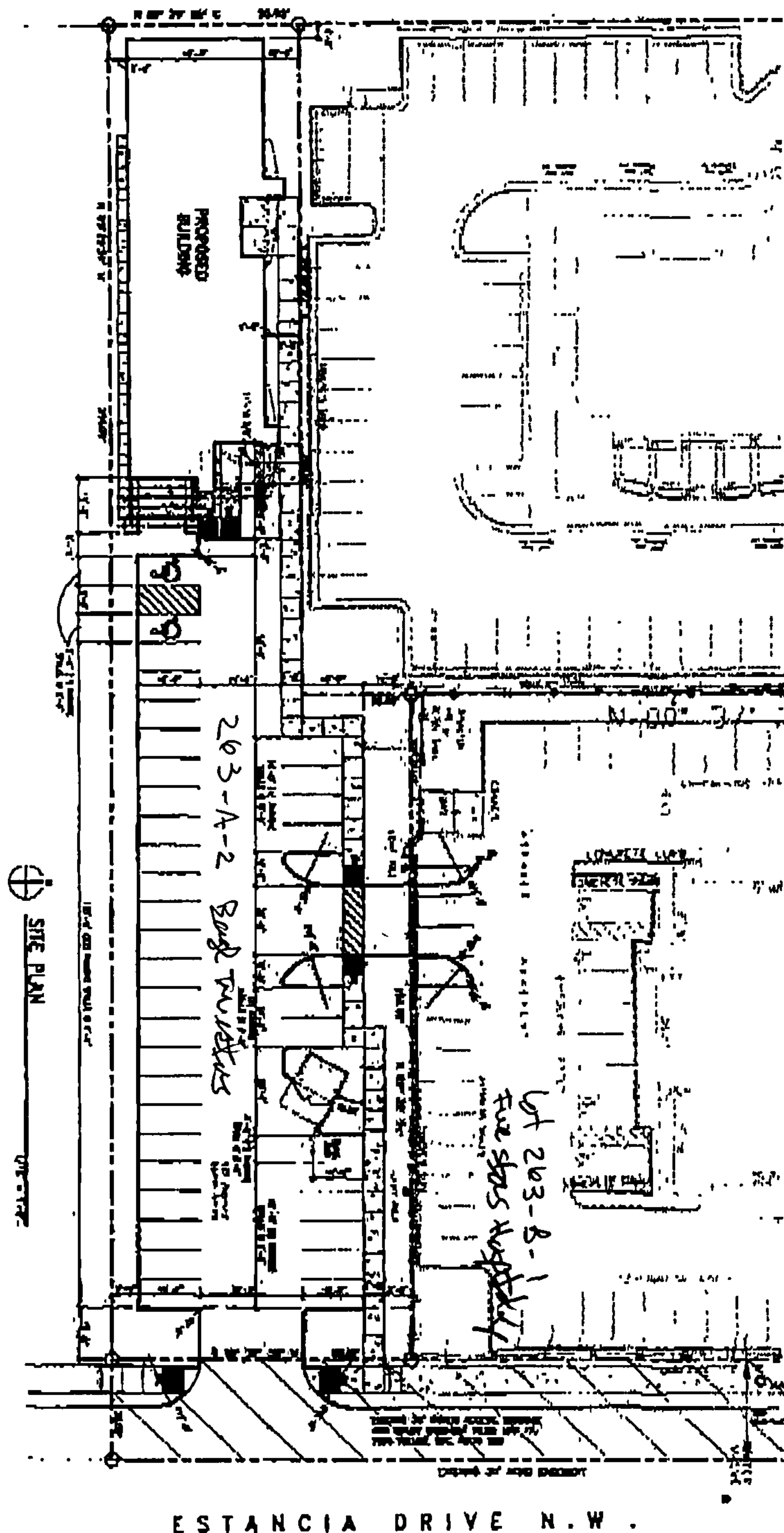
My Commission Expires: August 30<sup>th</sup>, 2009

Notary Public

*[Signature]*



Exhibit 'A'



GENERAL NOTES:  
 1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE, NEW MEXICO, ZONING ORDINANCE, CHAPTER 10, ARTICLE 1, SECTION 1.01, AND THE CITY OF ALBUQUERQUE, NEW MEXICO, SUBDIVISION MAP ACT, CHAPTER 10, ARTICLE 1, SECTION 1.02.  
 2. THE PROPOSED BUILDING SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE, NEW MEXICO, ZONING ORDINANCE, CHAPTER 10, ARTICLE 1, SECTION 1.01, AND THE CITY OF ALBUQUERQUE, NEW MEXICO, SUBDIVISION MAP ACT, CHAPTER 10, ARTICLE 1, SECTION 1.02.  
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 5. THE PROPOSED BUILDING SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE, NEW MEXICO, ZONING ORDINANCE, CHAPTER 10, ARTICLE 1, SECTION 1.01, AND THE CITY OF ALBUQUERQUE, NEW MEXICO, SUBDIVISION MAP ACT, CHAPTER 10, ARTICLE 1, SECTION 1.02.

Office Building  
 LOT 263-A-2 Estancia Drive N.W.  
 Albuquerque, N.M.  
 A001

Site Plan

peter botterfield architect  
 1000 1st Ave N.W. | Albuquerque, NM 87102  
 (505) 243-1000 | Fax: (505) 243-1001

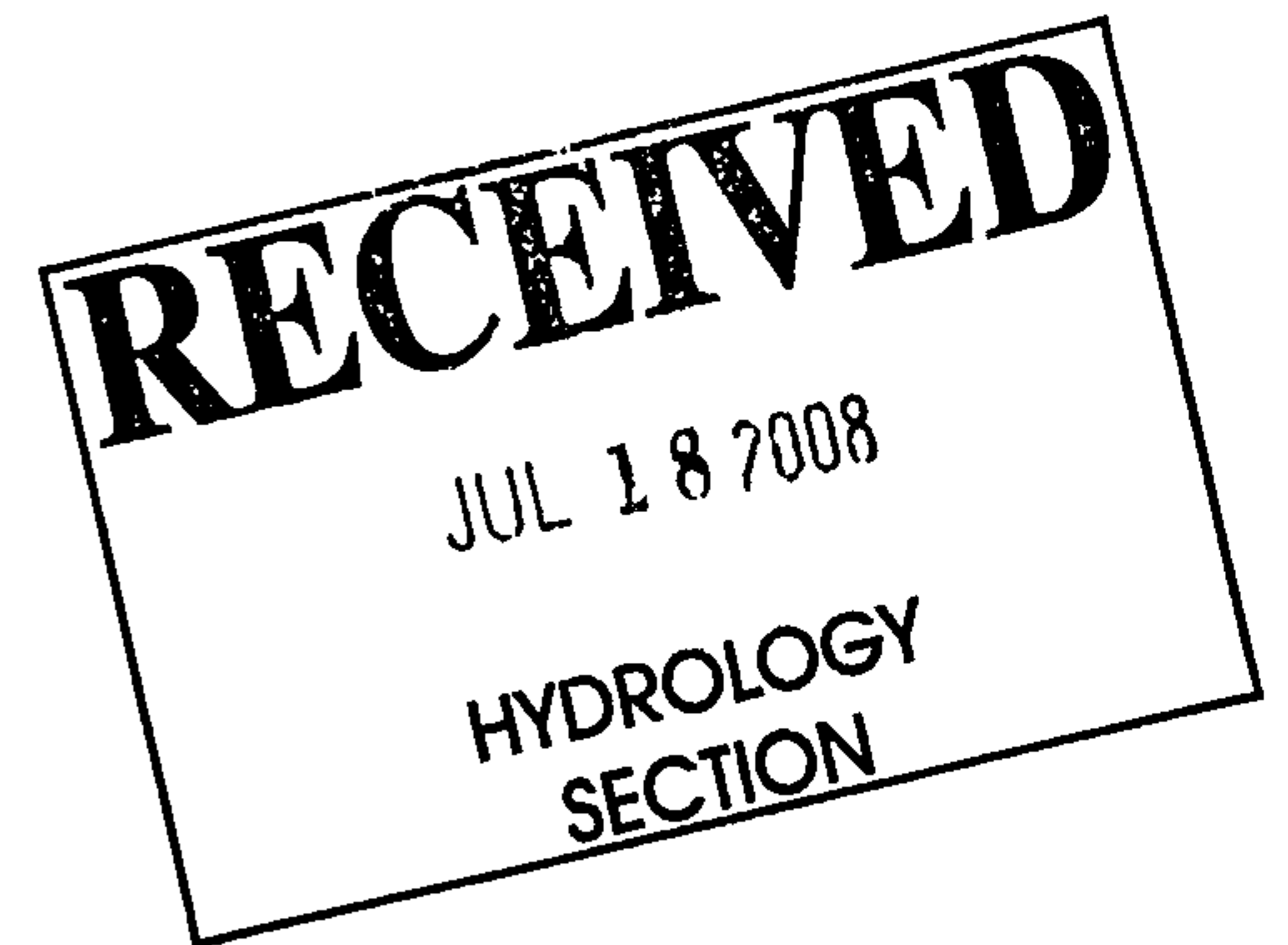
***Frank D. Lovelady, PE***

300 Alamosa Road NW, Albuquerque, New Mexico 87107 Phone (505) 345-2267 Fax (505) 345-2115

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July 17, 2008

Curtis A. Cherne, P.E.,  
Engineering Associate, Planning Dept.  
Development and Building Services  
City of Albuquerque  
P.O. Box 1293  
Albuquerque, NM 87103



**RE: SUNDARAM OFFICE BUILDING GRADING AND DRAINAGE PLAN  
ENGINEERIN'S STAMP DATED 5-22-08 (H11/D003A)**

Dear Mr. Cherne:

With regard to your letter of June 25, 2008, attached is the revised grading and drainage plan referenced above. The comments contained in your letter are addressed below in the same numerical order.

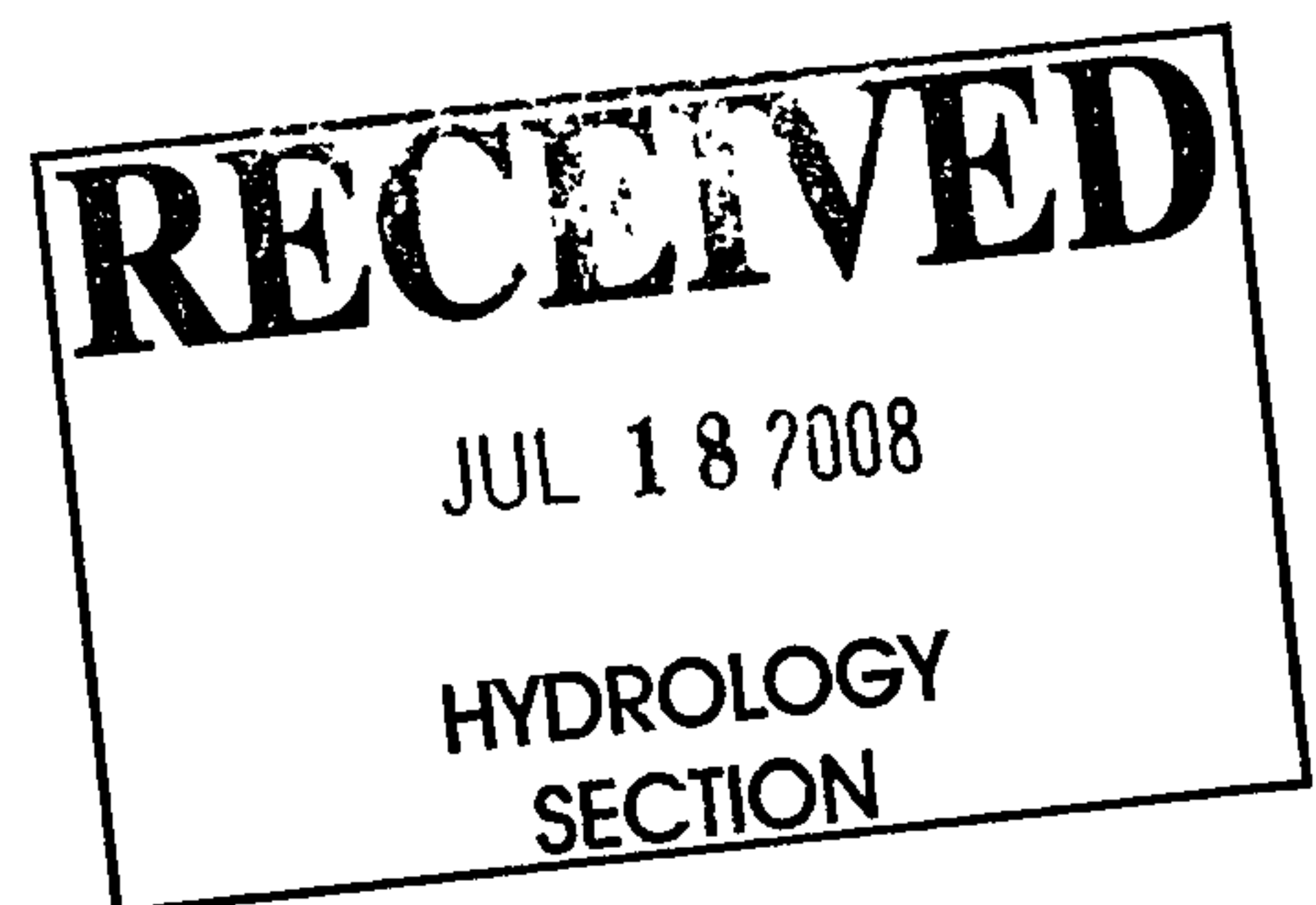
1. With regard to analyzing the storm drain in Iliff Rd. and the 24" RCP from the pond to Iliff Rd., I found as-built drawings of the existing storm drains at the City Map Room. A peak flow of 15.12 cfs is shown for the 24" RCP. I could not find any discharge quantities for the easterly motel site. For the westerly motel site, which is roughly the same size, the discharge is 8 cfs which discharges via 18" pipe connection into the 24" RCP at a point very close to Iliff. The flow in Iliff is 35 cfs at 1.04%, the HGL being at approximately 0.8 x D. The flow from this site is only 2.47 cfs. The site is an infill site. I provided pond volume and allowable discharge calculations. However, providing a pond will require construction of a very expensive retaining wall with questionable justification.
2. Runoff from this site will now be discharged via the 24" RCP culvert to Iliff Road.
3. The drawing has been revised to make clearer, hopefully, as to what is to be constructed.
4. The 12" sch. 80 pipe has been shown by Keyed Note No. 11. Again, hopefully, it will be easy to see where it comes from.
5. The keyed note numbers have been changed. The note that was 8. is now 9. and basically I revised it to show more clearly what is necessary.
6. The section lines for all sections have been redrawn for clarification.

Curtis A. Cherne, P.E.  
Engineering Associate Planning Department  
July 17, 2008

If you have any questions or if you require additional information, please contact me at 345-2267.

Sincerely,

*Frank D. Lovelady*  
Frank D. Lovelady, PE





# CITY OF ALBUQUERQUE



June 25, 2008

Frank D. Lovelady, P.E.  
300 Alamosa Road NE  
Albuquerque, NM 87107

**Re: Sundaram Office Bldg Grading and Drainage Plan**  
**Engineer's Stamp dated 5-22-08 (H11/D003A)**

Dear Mr. Lovelady,

Based upon the information provided in your submittal received 5-22-08, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

- Provide an analysis of the storm drain in Iliff Rd. and the 24" RCP from the pond to Iliff Rd. to support free discharge from this site.
- Runoff from this site should be discharged via the 24" RCP to Iliff Rd.
- It is difficult to see what is to be built in the existing pond area. It may be helpful to separate existing conditions from proposed conditions.
- In Section A-A, where does the 12" Sch 80 PVC from the east come from? Is it existing?
- Concerning Note 8, what will the rundown area look like if the rundown is removed?
- It is not clear where Section A-A and Section B-B are cut.

If you have any questions, you can contact me at 924-3695.

Sincerely,

Curtis A. Cherne, P.E.  
Senior Engineer, Planning Dept.  
Development and Building Services

C: file