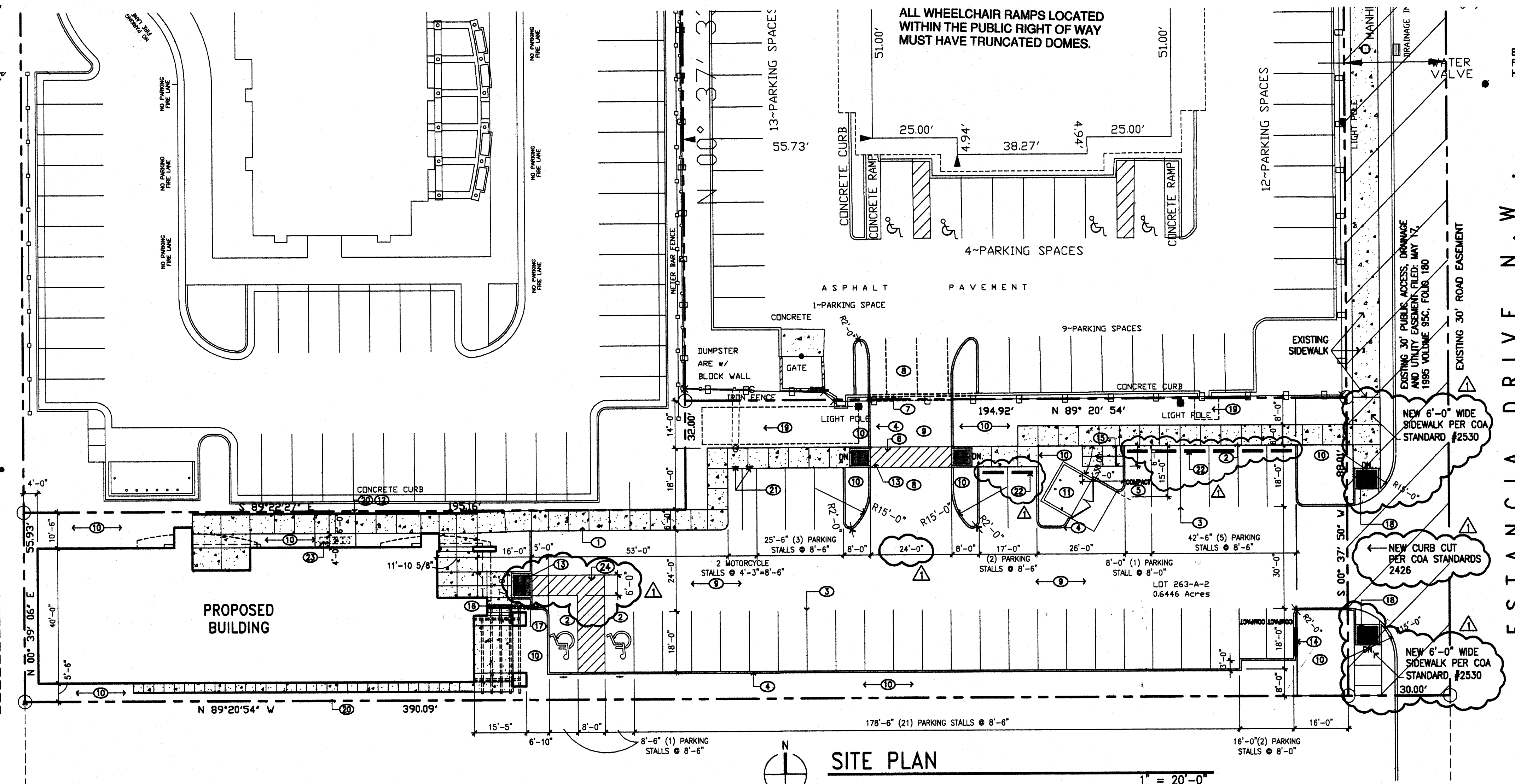
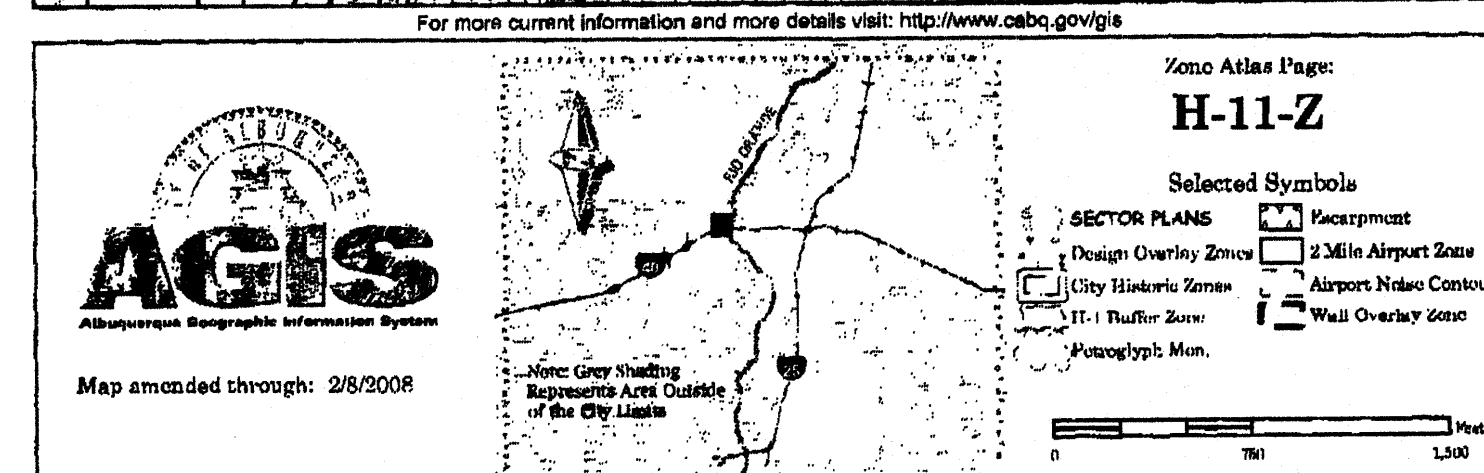


SITE PLAN W/ ADJACENT ACCESS



SITE PLAN



## PARKING DATA

DEVELOPMENT TYPE - OFFICE  
BUILDING AREA - 7,250  
OFFICE  
FIRST FLOOR NET LEASABLE AREA - 3,510 S.F.  
SECOND FLOOR NET LEASABLE AREA - 2,235 S.F.  
FIRST FLOOR PARKING REQUIRED - 3,510 S.F./200 = 17.6 STALLS  
SECOND FLOOR PARKING REQUIRED - 2,235 S.F./300 = 7.5  
TOTAL STALLS REQUIRED = 26  
TOTAL PROVIDED = 37 (INCLUDES 2 MOTORCYCLE STALLS)  
(FULL SIZE STALLS - 32)  
(SMALL CAR STALLS - 3)  
(MOTORCYCLE STALLS - 2)  
STALLS REMOVED AT HOTEL SHARED ACCESS LOT - 4  
NET PARKING STALLS = 33

## EXECUTIVE SUMMARY

THE PROPOSED 7,250 SQUARE FOOT TWO STORY OFFICE BUILDING IS LOCATED AT 6130 ILIFF ROAD NW. THE PRIMARY ENTRANCE IS LOCATED ON THE WEST SIDE OF ESTANCIA DRIVE, SOUTH OF ILIFF. THE EXISTING SITE IS LONG AND NARROW THAT RUNS IN THE EAST-WEST DIRECTION. THE PARKING AREA HAS BEEN LOCATED TO THE EAST OF THE BUILDING AND A SHARED ACCESS HAS BEEN CREATED TO THE PARKING LOT TO THE SOUTH. EXISTING PARKING STALLS REMOVED TO CREATE THE SHARED ACCESS HAVE BEEN CREATED AND ACCOUNTED FOR WITHIN THE NEW PARKING LOT.

## LEGAL DESCRIPTION

LOTS NUMBERED TWO HUNDRED SIXTY-THREE-A (263-A) AND TWO HUNDRED SIXTY-THREE-B (263-B) OF THE PLAT OF LOTS 263-A, 263-B, AND 263-C, TOWN OF ATRISCO GRANT, UNIT 8, ALBUQUERQUE, NEW MEXICO, AS THE SAME ARE SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON MAY 17, 1995, IN VOLUME 95C, FOLIO 180

## KEYED NOTES

- CONCRETE SIDEWALK, WIDTH AS NOTED, RE D4/A002.
- TYP. ACCESSIBLE PARKING SPACE W/ LOADING ZONE, PAINT WITH 4" WIDE WHITE STRIPES @ 45° HATCH LINES @ 18" O.C. AND H.C. SYMBOL. PROVIDE SIGNAGE TO INDICATE EACH SPACE. SIGN.
- 4" WIDE PAINTED PARKING STALL STRIPING, TYP. COLOR: WHITE.
- CURB, 6" HIGH CONCRETE.
- 12" TALL PAINTED 'COMPACT'.
- PEDESTRIAN CROSSING, PAINT WITH 4" WIDE WHITE STRIPES @ 45° HATCH LINES @ 18" O.C.
- REMOVE EXISTING CURB, FENCE AND LANDSCAPE FOR SHARED ACCESS DRIVE.
- SHARED ACCESS DRIVE.
- ASPHALTIC PAVING OVER PREPARED SUBGRADE PER GEOTECHNICAL REPORT.
- LANDSCAPE AREA, REFER TO LANDSCAPE PLAN.
- 8" CMU REFUSE ENCLOSURE.
- CONTINUOUS 3'-6" GUARDRAIL.
- ACCESSIBLE WHEELCHAIR RAMP MAXIMUM SLOPE 1:12.
- MONUMENT SIGN.
- BICYCLE RACK.
- SIDEWALK TRENCH DRAIN AT DOWNSPOUT NOZZLE, REFER.
- CONCRETE SWALE W/ LANDSCAPE COBBLES.
- ACCESSIBLE RAMP PER COA STANDARD 2426 W/ TRUNCATED DOMES.
- COLLECTION BASIN.
- RETAINING WALL.
- MOTORCYCLE PARKING SIGN - CONSPICUOUSLY POSTED UPRIGHT FREE-STANDING SIGN. EACH SIGN SHALL BE NO SMALLER THAN 12 BY 18 INCHES AND SHALL HAVE ITS LOWER EDGE NO LESS THAN FOUR FEET ABOVE GRADE.
- CONCRETE WHEEL STOP AT PARKING STALLS.
- 4 OUTDOOR SEATING SPACES - EACH SEAT SHALL BE A MINIMUM OF 24 INCHES IN WIDTH AND 15 INCHES IN HEIGHT.
- 6'-0" WIDE STRIPED PATHWAY FROM ADA STALLS TO WHEELCHAIR RAMP, MAX. SLOPE 1:20, PAINT WITH 4" WIDE WHITE STRIPES @ 45° HATCH LINES @ 18" O.C.

TRAFFIC CIRCULATION LAYOUT  
APPROVED  
3/18/09  
Signed  
Date

Public Infrastructure shown on these plans for information only and not part of approval. Separate DRC/Permit approval and Work Order required.

peter butterfield

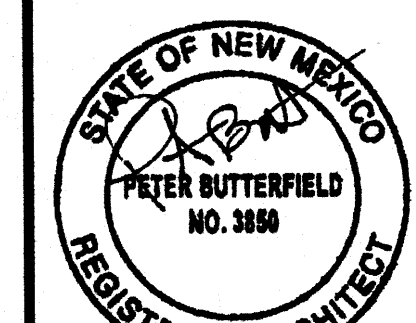
architect 13013 Glenwood Hills Ct NE  
Albuquerque NM 87111 (ph) 505.332.9323 (fax) 212.0901

DRAWING NAME

TCL

REVISIONS

COA TRAFFIC COMMENTS 1/20/2009



6/4/08

Office Building  
6130 Iliff Road NW (LOT 263-A-2 Estancia Drive N.W.)  
Albuquerque, N.M.

TCL

RECEIVED  
MAR 10 2009  
HYDROLOGY  
SECTION