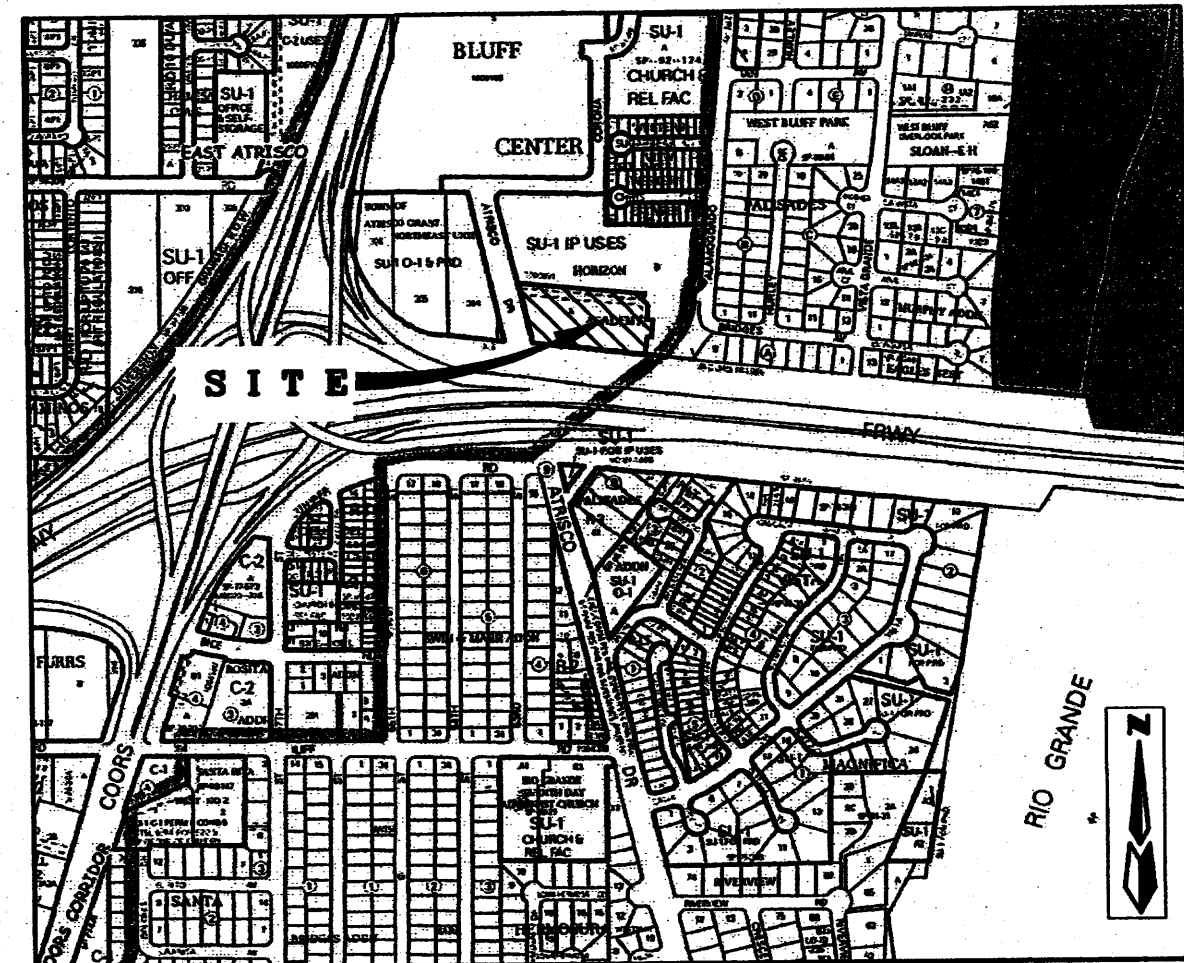
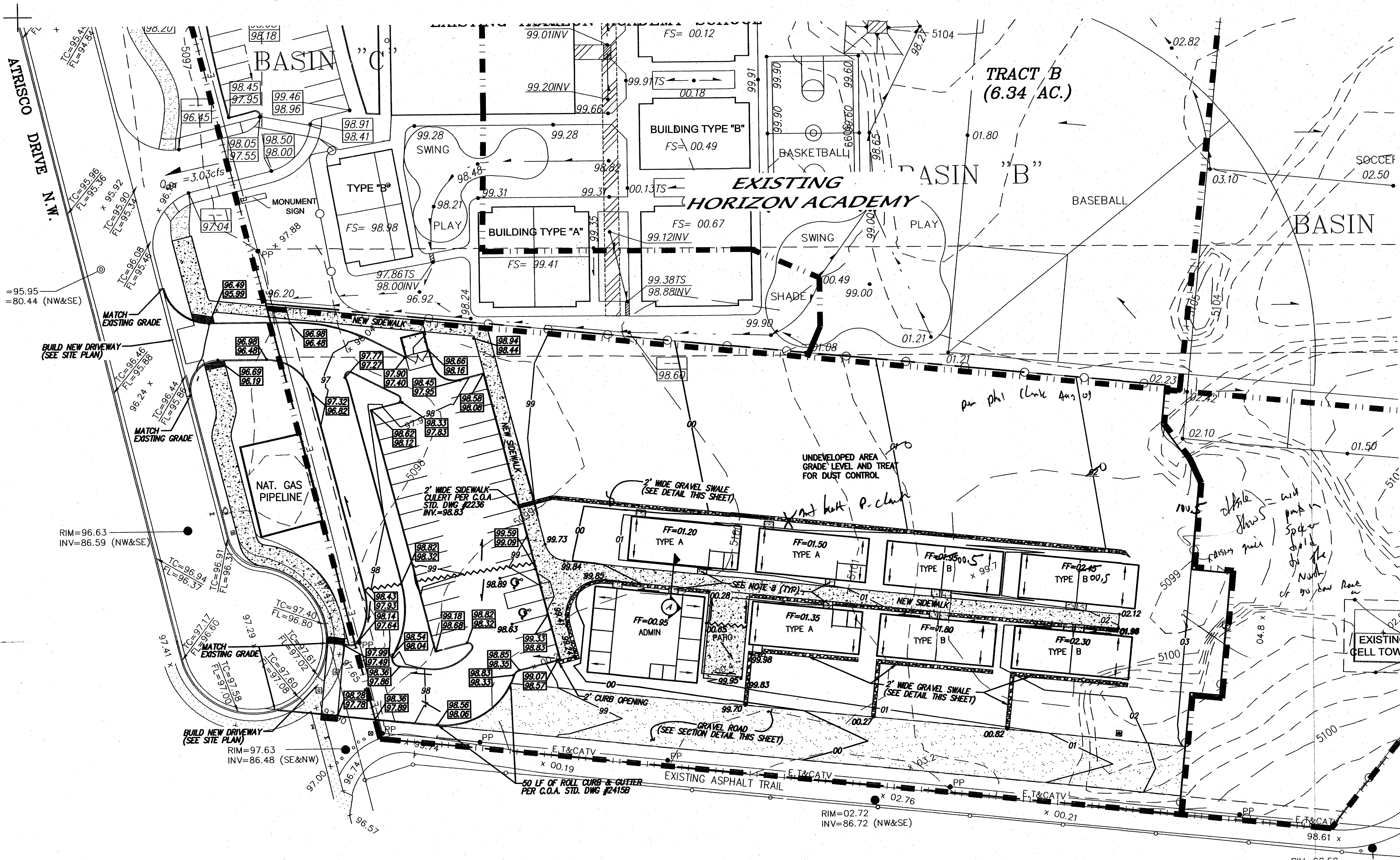




VICINITY MAP ZONE MAP: H-11-Z

LEGAL DESCRIPTION

TRACT "A" HORIZON ACADEMY SUBDIVISION.

ACS BENCHMARK

ACS ALUMINUM CAP STAMPED "11-H11", LOCATED IN THE CENTER MEDIAN OF COORS BLVD. N.W. 0.12 MILES SOUTH OF OURAY ROAD N.W. GEOGRAPHIC POSITION (NAD 1927), IN FEET, N.M. STATE PLANE COORDINATES (CENTRAL ZONE), X=364,763.94, Y=1,495,852.97, ELEVATION=5088.51, NGVD29, IN FEET.

LEGEND

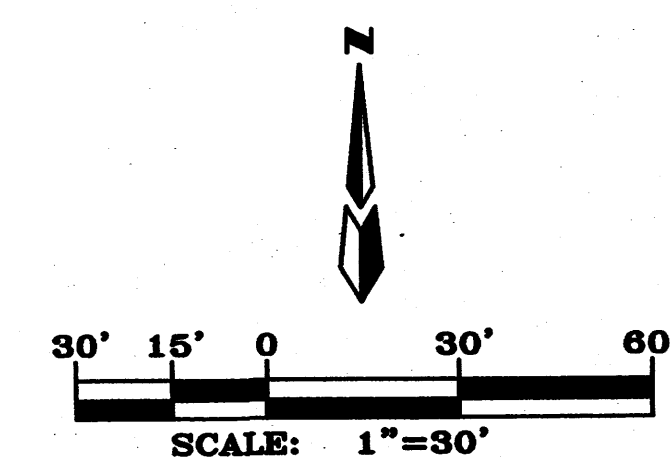
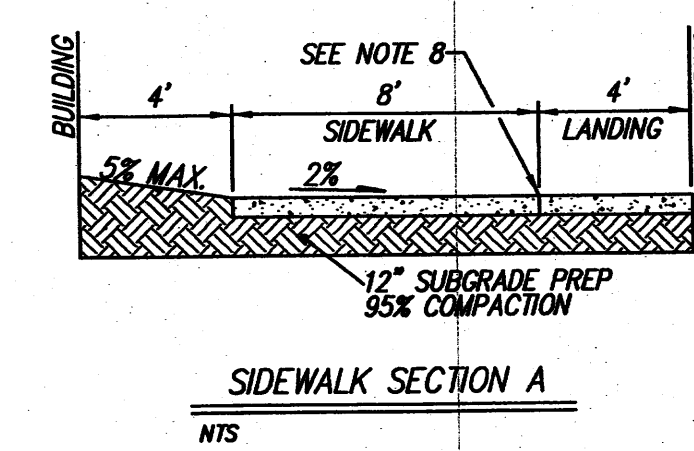
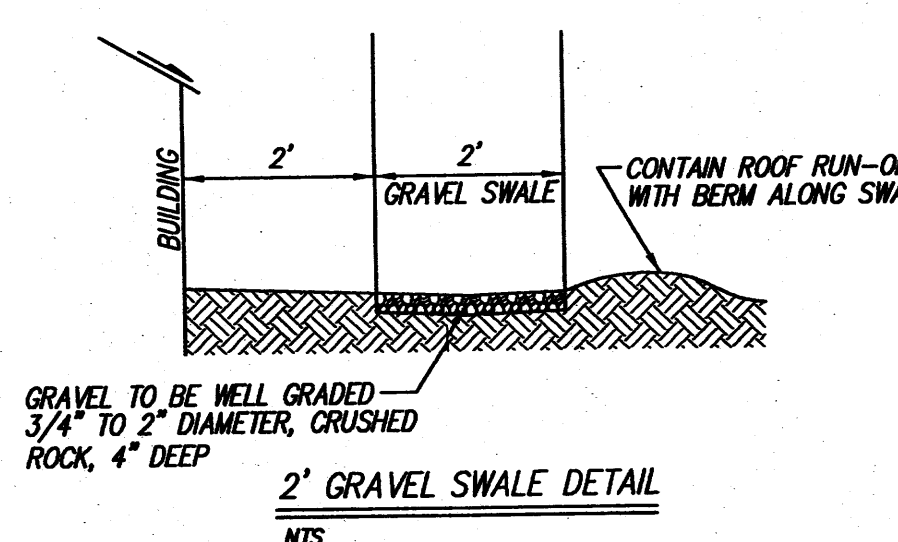
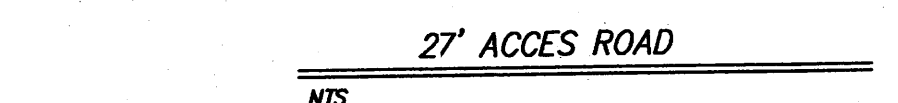
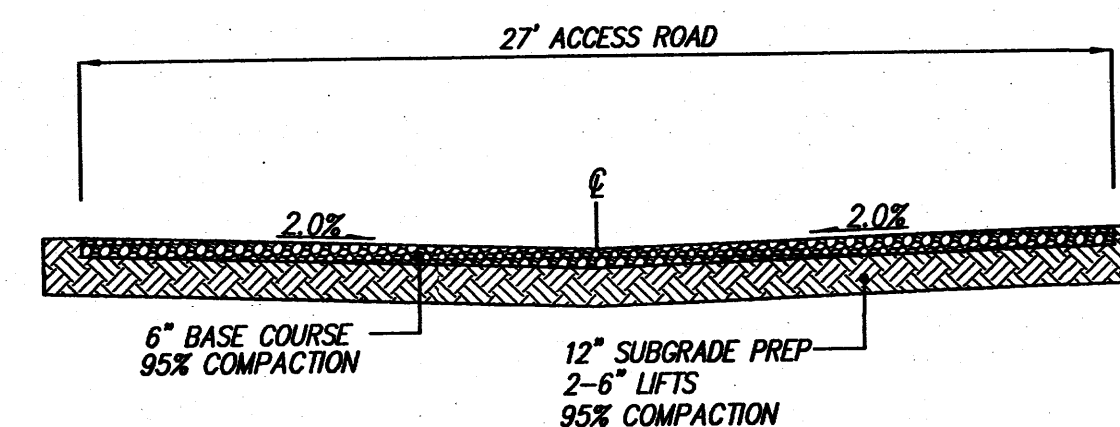
— 5105 —	EXISTING CONTOUR (MAJOR)
— 5104 —	EXISTING CONTOUR (MINOR)
TC=	EXISTING TOP OF CURB ELEVATION
FL=	EXISTING FLOWLINE ELEVATION
x 00.00	EXISTING SPOT ELEVATION
—	EXISTING ASPHALT CURB
—	EXISTING CONCRETE CURB
—	EXISTING CONCRETE/SIDEWALK
—	EXISTING WALL OR HEAD WALL
—	EXISTING SIGN
—	EXISTING SANITARY SEWER MANHOLE
—	EXISTING WATER VALVE
—	EXISTING FIRE HYDRANT
—	EXISTING OVERHEAD UTILITY LINES
—	EXISTING POWER POLE
—	EXISTING GUYWIRE
—	EXISTING LIGHT POLE
—	EXISTING TELEPHONE PEDESTAL
—	EXISTING UNDERGROUND GAS MARKER
—	EXISTING GAS VALVE/METER
—	EXISTING STORM SEWER MANHOLE
—	EXISTING DROP INLET
—	DRAINAGE BASIN BOUNDARY
—	NEW CONCRETE EXTRUDED CURB
—	PROPOSED PARKING LOT OR FIELD SWALE OR FLOWLINE
—	EXISTING SIDEWALK CULVERT
FF= 00.88	NEW FINISH FLOOR ELEVATION
02.02	NEW SPOT ELEVATION
97.67	NEW TOP OF CURB ELEVATION
97.72	NEW FLOWLINE ELEVATION
—	NEW FLOW DIRECTION
—	NEW ROOF DRAIN
—	NEW WATER BLOCK

NOTICE TO CONTRACTOR

1. An excavation/construction permit will be required before beginning any work within City right of way. An approved copy of these plans must be submitted at the time of application for this permit.
2. All work detailed on these plans to be performed, except as otherwise stated or provided herein, shall be constructed in accordance with "City of Albuquerque Standard Specifications for Public Works Construction" (1986 Edition).
3. Two working days prior to any excavation, Contractor must contact the Line Locating Service, 765-1234, for location of existing utilities.
4. Prior to construction, the Contractor shall excavate and verify the horizontal and vertical locations of all obstructions. Should a conflict exist, the Contractor shall notify the Engineer so that the conflict can be resolved with a minimum of delay.
5. Backfill compaction shall be according to residential street use.
6. Maintenance of these facilities shall be the responsibility of the Owner of the property served.
7. Contractor is responsible for obtaining excavation permit for the S.O. 19 and providing proof of acceptance by the City prior to Hydrology sign-off for Certificate of Occupancy.

GENERAL NOTES

1. THERE ARE NO OFFSITE FLOWS ENTERING THIS SITE.
2. INDIVIDUAL PROPERTY OWNERS ARE RESPONSIBLE FOR MAINTAINING DRAINAGE IMPROVEMENTS ON THEIR RESPECTIVE PROPERTIES SO THAT THEY CONTINUE TO FUNCTION PROPERLY LONG TERM.
3. ELEVATIONS SHOWN HEREON ARE INTENDED TO BE FINAL GRADES. OWNER, ROUGH GRADING CONTRACTOR AND LANDSCAPE CONTRACTOR ARE RESPONSIBLE FOR ASSURING THAT AFTER ALL WORK IS COMPLETE, SITE'S FINAL SURFACE GRADES ARE AS SHOWN HEREON.
4. EARTHWORK CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND FOLLOWING REQUIREMENTS OF THE SURFACE DISTURBANCE PERMIT FROM THE CITY ENVIRONMENTAL HEALTH DEPARTMENT.
5. OWNER AND ALL ASSOCIATED CONTRACTORS WHO ENGAGE IN ALTERATION OF SITE SURFACES OUTSIDE OF BUILDINGS, SHALL FILE A NOTICE OF INTENT WITH EPA AND FOLLOW STORM WATER POLLUTION PREVENTION PLAN REQUIREMENTS.
6. EACH OF THE TRACTS SHOWN HEREON IS SUBJECT TO A RECIPROCAL CROSS LOT DRAINAGE EASEMENT.
7. SEE ORIGINAL GRADING & DRAINAGE PLAN FOR HORIZON ACADEMY.
8. DESIGN ASSUMES ALL LANDINGS ARE FLUSH WITH SIDEWALK.
9. ALL CONCRETE CURB & GUTTER, UNLESS OTHERWISE NOTED, SHALL BE EXTRUDED CURB.



SITE PLAN FOR BUILDING PERMIT

GRADING & DRAINAGE PLAN

MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS

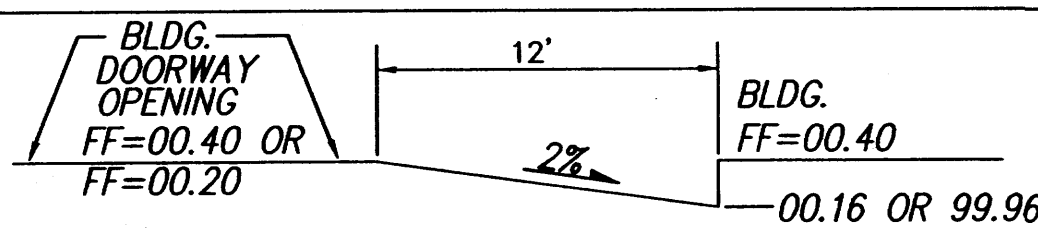
SHEET

OF 01

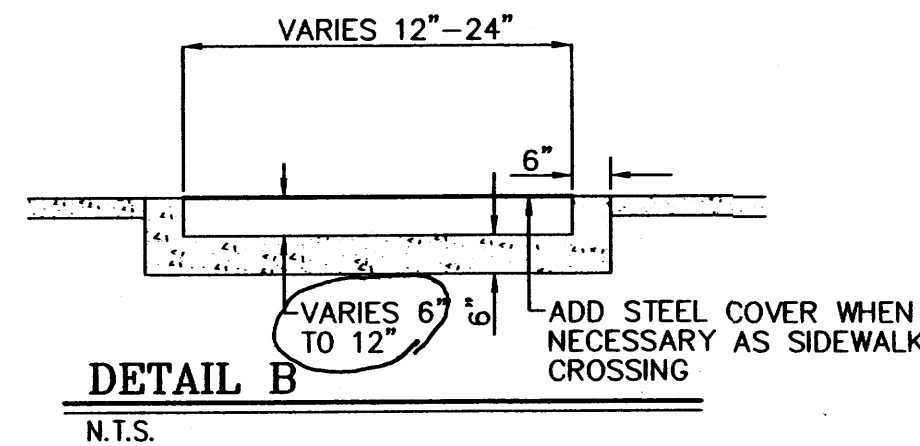
RELOCATABLE CLASSROOMS FOR
WEST BLUFF CAMPUS
1900 ATRISCO DRIVE NW
ALBUQUERQUE, NEW MEXICO

MASTERWORKS ARCHITECTS, INC.
516 ELEVENTH ST NW 242-1866
ALBUQUERQUE, NEW MEXICO 87102

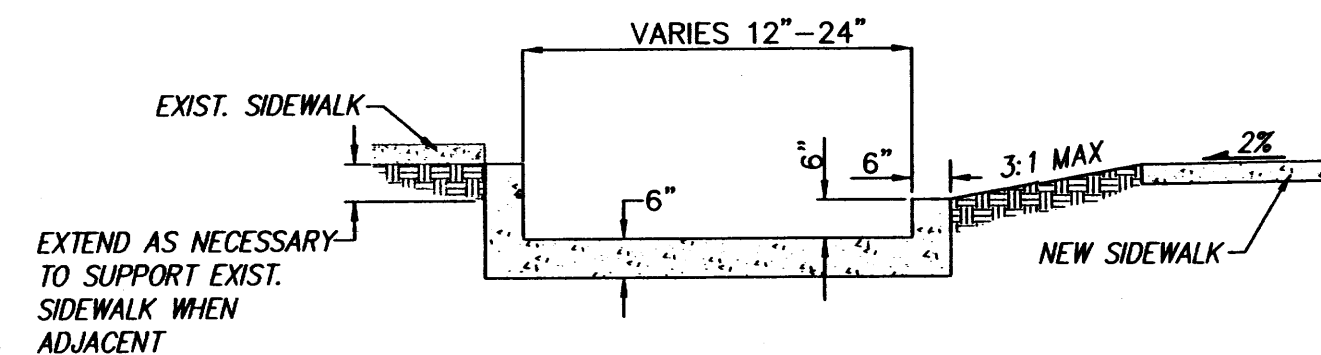




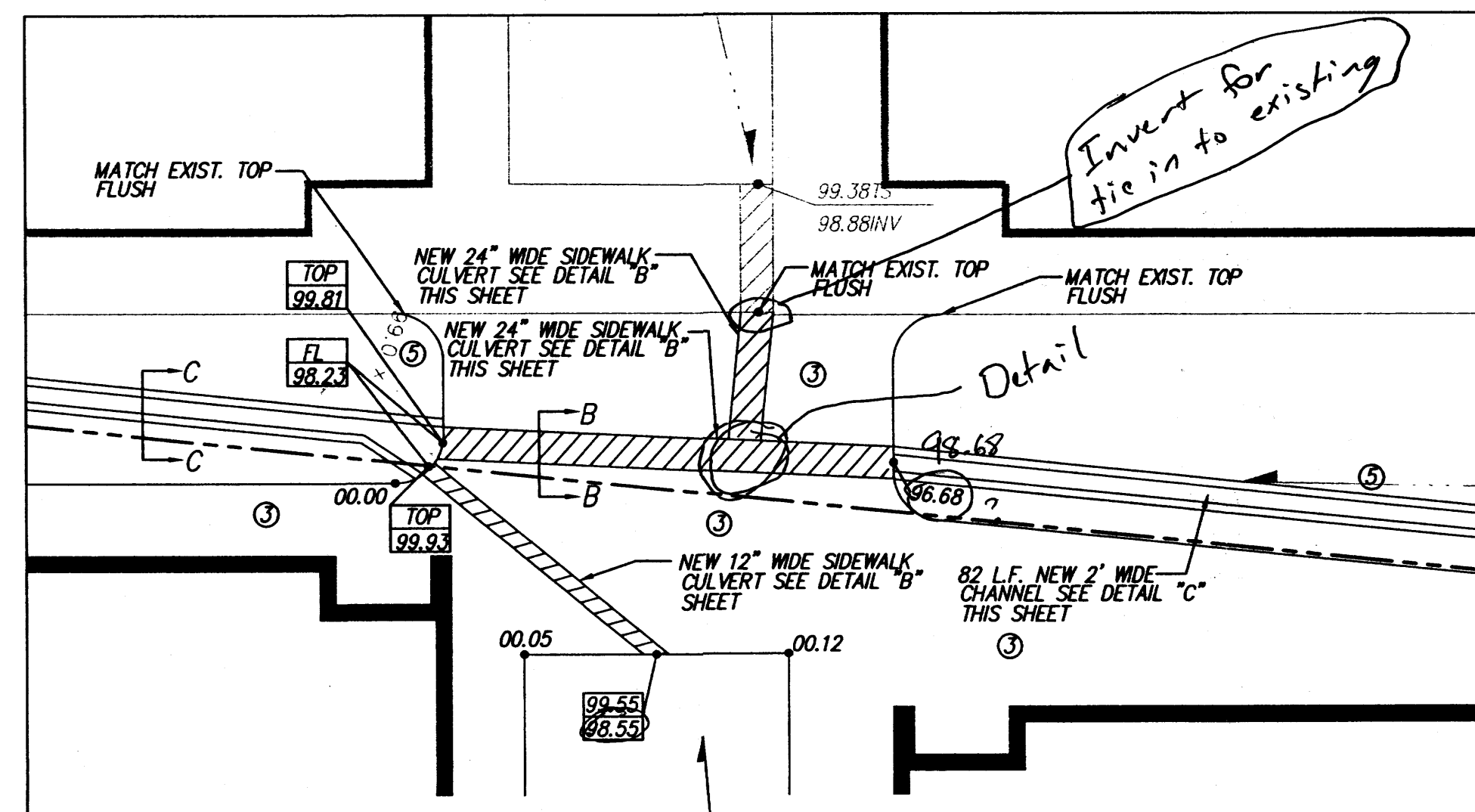
SECTION A-A
N.T.S.



DETAIL B
N.T.S.



DETAIL C
N.T.S.



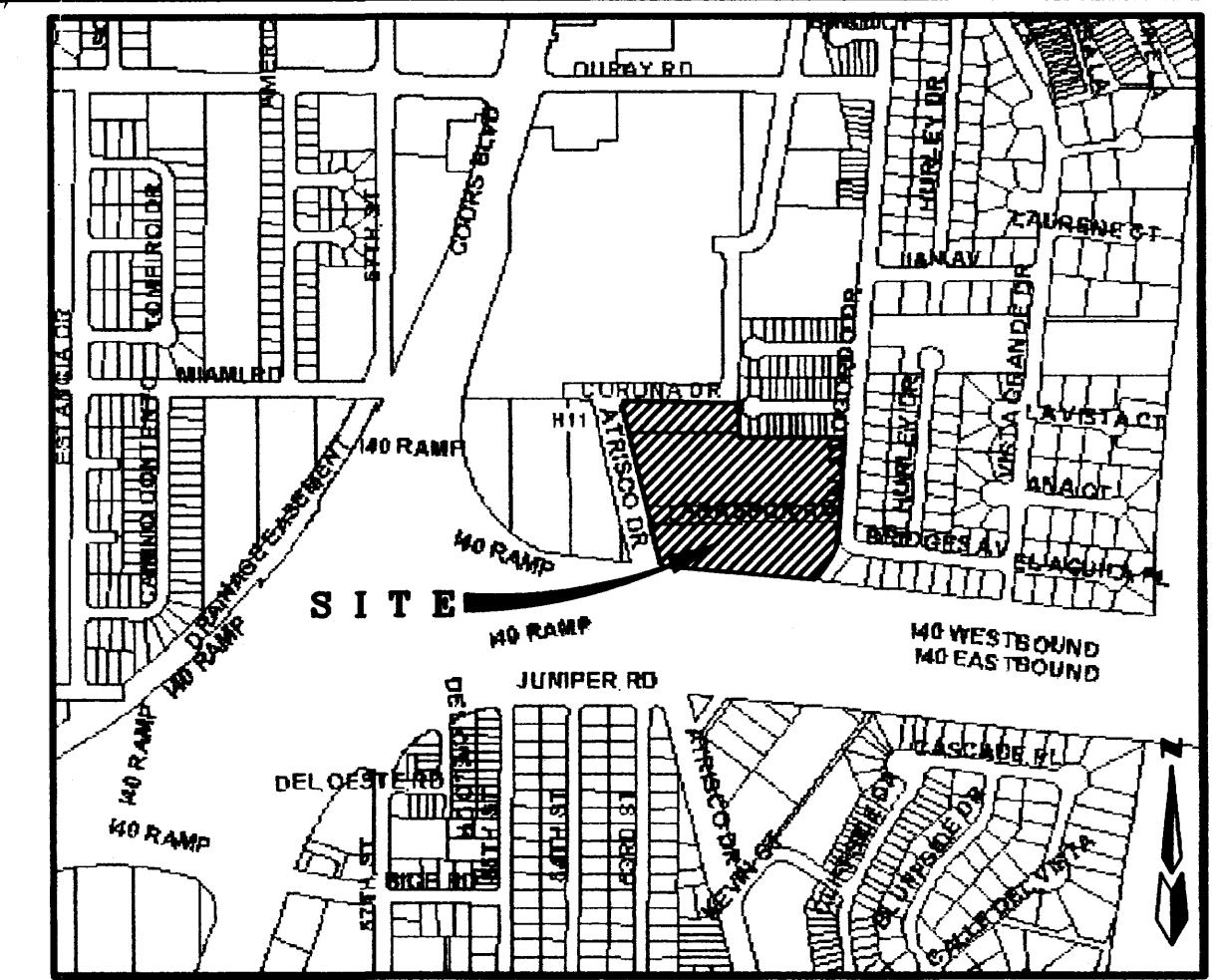
DETAIL D-D
N.T.S.

GENERAL NOTES

1. THERE ARE NO OFFSITE FLOWS ENTERING THIS SITE.
2. INDIVIDUAL PROPERTY OWNERS ARE RESPONSIBLE FOR MAINTAINING DRAINAGE IMPROVEMENTS ON THEIR RESPECTIVE PROPERTIES SO THAT THEY CONTINUE TO FUNCTION PROPERLY YEAR AFTER YEAR.
3. ELEVATIONS SHOWN HEREON ARE INTENDED TO BE FINAL GRADES. OWNER, ROUGH GRADING CONTRACTOR AND LANDSCAPE CONTRACTOR ARE RESPONSIBLE FOR ASSURING THAT AFTER ALL WORK IS COMPLETE, SITE'S FINAL SURFACE GRADES ARE AS SHOWN HEREON.
4. EARTHWORK CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND FOLLOWING REQUIREMENTS OF THE SURFACE DISTURBANCE PERMIT FROM THE CITY ENVIRONMENTAL HEALTH DEPARTMENT.
5. OWNER AND ALL ASSOCIATED CONTRACTORS WHO ENGAGE IN ALTERATION OF SITE SURFACES OUTSIDE OF BUILDINGS, SHALL FILE A NOTICE OF INTENT WITH EPA AND FOLLOW STORM WATER POLLUTION PREVENTION PLAN REQUIREMENTS.
6. EACH OF THE TRACTS SHOWN HEREON IS SUBJECT TO A RECIPROCAL CROSS LOT DRAINAGE EASEMENT.
7. SEE ORIGINAL CONCEPTUAL GRADING & DRAINAGE PLAN FOR HORIZON ACADEMY.
8. UPON COMPLETION AND ACCEPTANCE OF ALL WORK, OWNER SHALL MAINTAIN DRAINAGE FACILITIES FROM TIME TO TIME AS NECESSARY TO ENSURE CONTINUOUS FUNCTION.

KEYED NOTES

- ① REMOVE EXISTING SIDEWALK, EXISTING CURB & GUTTER OR DRIVEPAD AS NECESSARY IN ORDER TO INSTALL NEW PRIVATE ENTRANCE PER COA DWG. 2426
- ② LANDSCAPED AREAS, UPON COMPLETION, SHALL BE FLUSH WITH ADJOINING TOP OF SIDEWALK GRADE OR LOWER.
- ③ NEW CONCRETE PAVING; SEE ARCHITECTURAL PLAN.
- ④ DIRECT EXISTING RUNOFF FROM EXISTING SCHOOL INTO NEW CONCRETE CHANNELS.
- ⑤ STABILIZE AREA BETWEEN EDGE OF SIDEWALK AND TOP OF CONCRETE SWALE WITH ANGULAR LANDSCAPE ROCK.



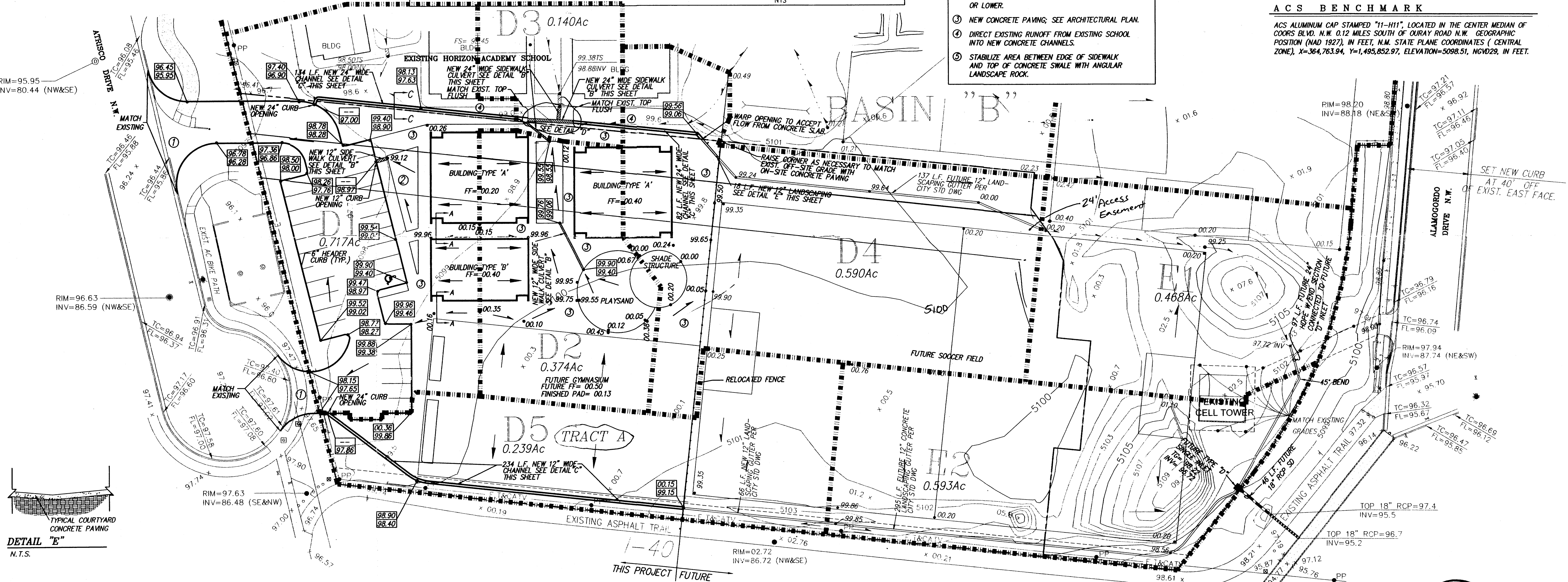
VICINITY MAP ZONE MAP: H-11-Z

LEGAL DESCRIPTION

TRACT "B" HORIZON ACADEMY SUBDIVISION.

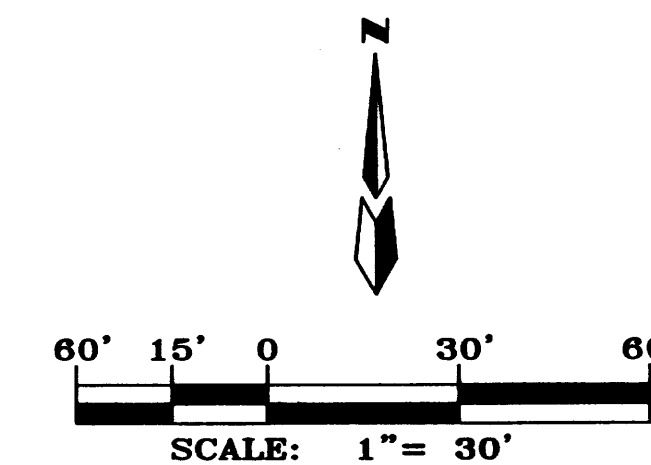
ACS BENCHMARK

ACS ALUMINUM CAP STAMPED "11-H11", LOCATED IN THE CENTER MEDIAN OF COORS BLVD. N.W. 0.12 MILES SOUTH OF OURAY ROAD N.W. GEOGRAPHIC POSITION (NAD 1927), IN FEET, N.M. STATE PLANE COORDINATES (CENTRAL ZONE), X=364,763.94, Y=1,495,852.97, ELEVATION=5098.51, NGVD29, IN FEET.



LEGEND

5105	EXISTING CONTOUR (MAJOR)	●	EXISTING SANITARY SEWER MANHOLE	—	EXISTING GAS VALVE/METER	→	FLOW DIRECTION
5104	EXISTING CONTOUR (MINOR)	○	EXISTING CLEANOUT	—	EXISTING STORM SEWER MANHOLE	→	ROOF DRAIN
TC=	EXISTING TOP OF CURB ELEVATION	—	EXISTING WATER VALVE	—	EXISTING DROP INLET	→	DRAINAGE BASIN NAME
FL=	EXISTING FLOWLINE ELEVATION	—	EXISTING FIRE HYDRANT	—	DRAINAGE BASIN BOUNDARY	→	APPROX. AREA OF DRAINAGE BASIN
x 00.00	EXISTING SPOT ELEVATION	—	EXISTING OVERHEAD UTILITY LINES	—	NEW CONCRETE HEADER CURB	→	
—	EXISTING ASPHALT CURB	—	EXISTING POWER POLE	—	EXISTING CHAINLINK FENCE	→	
—	EXISTING CONCRETE CURB	—	EXISTING GUYWIRE	—	PROPOSED PARKING LOT OR FIELD SWALE OR FLOWLINE	→	
—	EXISTING CONCRETE/SIDEWALK	—	EXISTING LIGHT POLE	—	EXISTING SIDEWALK CULVERT	→	
—	EXISTING WALL OR HEAD WALL	—	EXISTING TELEPHONE PEDESTAL	—	FINISH FLOOR ELEVATION	→	
—	EXISTING SIGN	—	EXISTING UNDERGROUND GAS MARKER	—	NEW SPOT ELEVATION	→	
—	EXISTING CHAIN LINK FENCE	—		—	TOP OF CURB FLOWLINE	→	



GRADING & DRAINAGE PLAN

dmg MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505)828-2200, FAX (505)797-9539

REV	DATE	BY	REVISION
1			
2			
3			
4			
5			

GEORGE RAINHART, ARCHITECT AND ASSOCIATES P.C.
2325 SAN PEDRO NE., SUITE 2-B
ALBUQUERQUE, NEW MEXICO 87110
PHONE (505) 884-9110 FAX (505) 837-9877

PROJECT TITLE	HORIZON ACADEMY, WESTBLUFF ADDITION
PROJECT NO.	140-ATRISCO
PROJECT MANAGER	George Rainhart, AIA
DRAWN BY	DER
CHECKED BY	DER
SHEET TITLE	CONCEPTUAL GRADING & DRAINAGE PLAN
DATE:	03.02.04
SCALE:	1"=40'-0"
SHEET NO.	C-1

(1) EXISTING 10' PUE (10-02-2000, 200C-256)

- (2) EXISTING 5' PUE (07-30-65, VOL. D712, FOLIO 113)
- (3) VACATED RIGHTS- OF-WAY OF LAKESPUR ROAD N.W. (V-78-32)
- (4) EXISTING 10' PUE (10-08-1966, VOL. D758- FOLIO 506) NOTE: ENCROACHMENT AGREEMENT EASEMENT FOR SLOPE AND BIKE PATH INTO THE SOUTH 5' OF ABOVE MENTIONED 10' EASEMENT. (12-02-87, BK.MISC. 563A, PG. 759A)
- (5) A 40' X 40' TRACT, DESIGNATED AS PARCEL 2 LEASED TO WIRESTAR AND CRICKET COMMUNICATIONS. (LOCATION APPROXIMATE)

CURVE DATA						
CURVE	LENGTH	DELTA	RADIUS	TANGENT	DIRECTION	CHORD
C1	166.55'	33°19'47"	286.31'	85.71'	S21°42'26"W	164.21'
C2	45.66'	104°38'55"	25.00'	32.37'	N38°52'21"E	39.57'

1. Bearings are New Mexico State Plane Grid Bearings (Central Zone).

2. Distances are ground distances.
3. Bearings and distances in parenthesis are record.
4. Basis of boundary are the following plats (and documents) of record entitled:

PLAT FOR "TOWN OF ATRISCO GRANT, UNIT 8" (12-05-44, D-117)

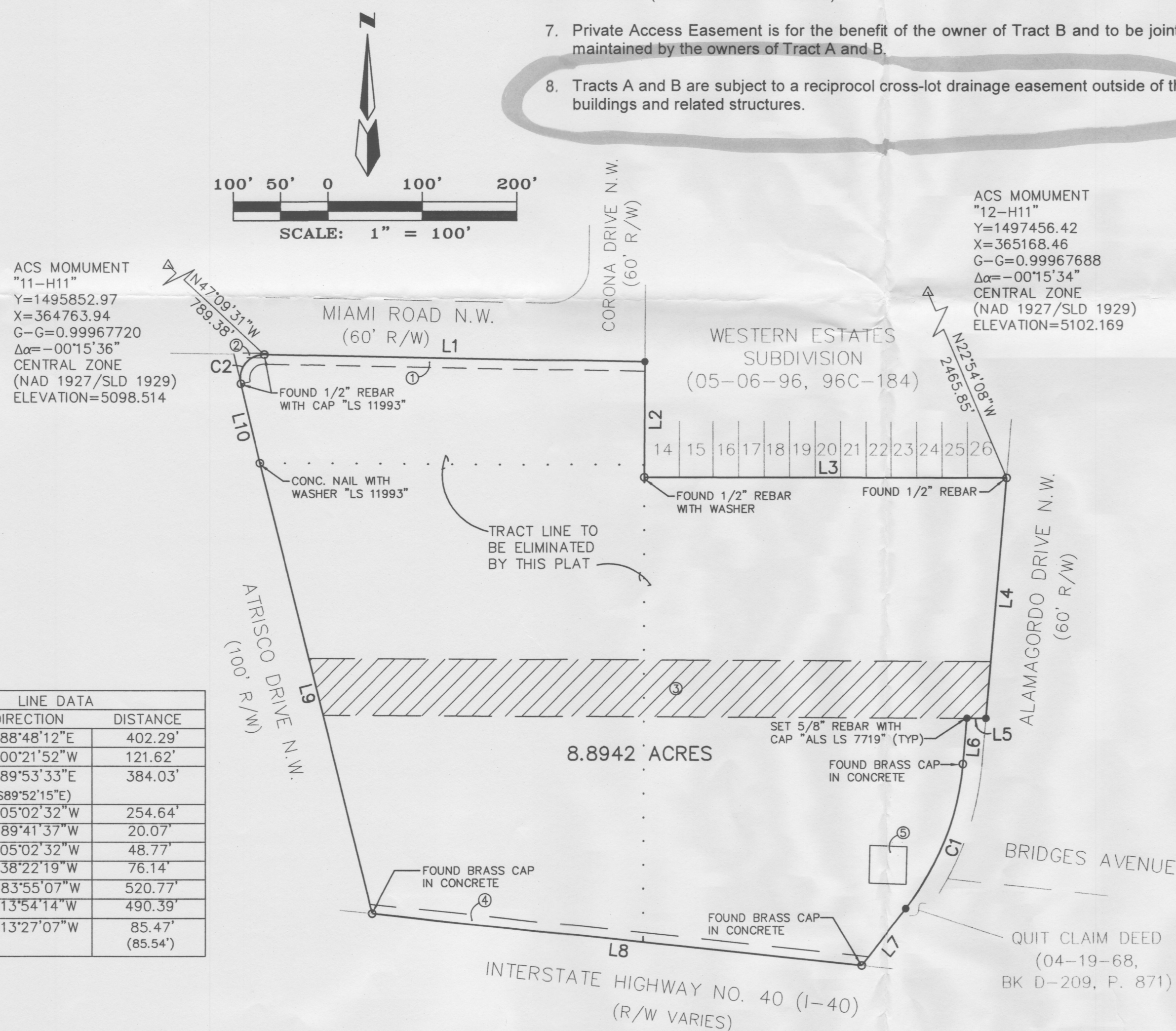
PLAT FOR "WEST BLUFF SUBDIVISION" (10-02-00, 200C-58)

PLAT FOR "THE PALISADES" (05-23-45, D-58)

PLAT FOR "WESTERN ESTATES SUBDIVISION" (05-06-96, 96C-184)

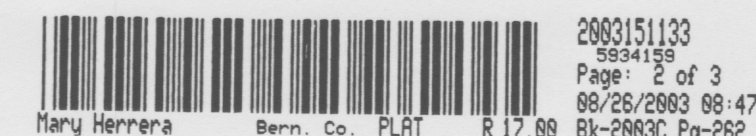
all being records of Bernalillo County, New Mexico.

5. Unless otherwise noted all points are set 5/8" rebar with cap "ALS LS 7719".
6. Title Report: provided by Rio Grande Title Company Inc. Commitment No.: 02004365 (Effective date: 11-21-00)
7. Private Access Easement is for the benefit of the owner of Tract B and to be jointly maintained by the owners of Tract A and B.
8. Tracts A and B are subject to a reciprocal cross-lot drainage easement outside of the buildings and related structures.



WITHIN THE
TOWN OF ATRISCO GRANT
PROJECTED SECTION 10

TOWNSHIP 10 NORTH, RANGE 2 EAST, NMPM
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
APRIL, 2003



A tract of land situate within the Town of Atrisco Grant, projected section 10, Township 10 North, Range 2 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico being the remaining portion of TRACT A13, TOWN OF ATRISCO GRANT, NORTHEAST UNIT as the same is shown and designated in said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on December 5, 1944 in Book D, Folio 117 and a portion of BLOCK 9, PALISADES as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on May 23, 1945 in Book D, Folio 58 together with all of TRACT 6, WEST BLUFF CENTER SUBDIVISION, as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on October 2, 2000 in Book 2000C, page 256 being more particularly described as follows:

BEGINNING at a point of the herein described tract, said point being on the south right-of-way line of Miami Road N.W. from whence the Albuquerque Control Survey Monument "11-H11" bears N 47°09'31" W, 789.38 feet;

THENCE along said south right-of-way line S 88°48'12" E, 402.29 feet to a point, said point being on the west line of WESTERN ESTATES SUBDIVISION as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on May 6, 1996 in Volume 96C, Folio 184;

THENCE leaving said south right-of-way line S 00°21'52" W, 121.62 feet along a line common with the west line of said WESTERN ESTATES SUBDIVISION to a point, said point being common with the southwest corner of said WESTERN ESTATES SUBDIVISION:

THENCE S 89°53'33" E, 384.03 feet along a line common with the south line of said WESTERN ESTATES SUBDIVISION to the northeast corner, said point being common with the southeast corner of said WESTERN ESTATES SUBDIVISION and further being on the westerly right-of-way line of Alamogordo Drive N.W.;

THENCE along said westerly right-of-way line S 05°02'32" W, 254.64 feet to a point:

THENCE continuing N 89°41'37" W, 20.07 feet to a point;

THENCE continuing S 05°02'32" W, 48.77 feet to a point of curvature;

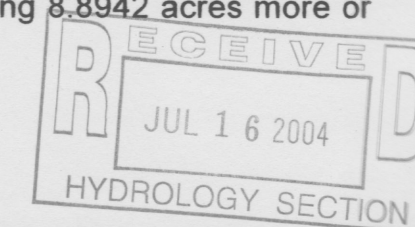
THENCE continuing 166.55 feet along a curve to the right, whose radius is 286.31 feet through a central angle of 33°19'47" and whose chord bears S 21°42'26" W, 164.21 feet to a point of tangency:

THENCE continuing S 38°22'19" W, 76.14 feet to the southeast corner, said point being on the northerly right-of-way line of Interstate Highway No. 40 (I-40);

THENCE leaving said westerly right-of-way line N 83°55'07" W, 520.77 feet along said northerly right- of-way line to the southwest corner, said point being on the easterly right-of-way line of Atrisco Drive N.W.:

THENCE leaving said northerly right-of-way line N 13°54'14" W, 490.39 feet along said easterly right- of-way to a point;
THENCE continuing N 13°27'07" W, 85.47 feet to a point of curvature:

THENCE leaving said easterly right-of-way line 45.66 feet along a curve to the right, whose radius is 25.00 feet through a central angle of $104^{\circ}38'55''$ and whose chord bears N $38^{\circ}52'21''$ E, 39.57 feet to the point of beginning and containing 8.8942 acres more or less.



Dwg: A02134FPS2.dwg	Drawn: RICHARD	Checked: ALS	Sheet 2 of 3
Scale: 1"=100'	Date: 04/14/03	Job: A02134	

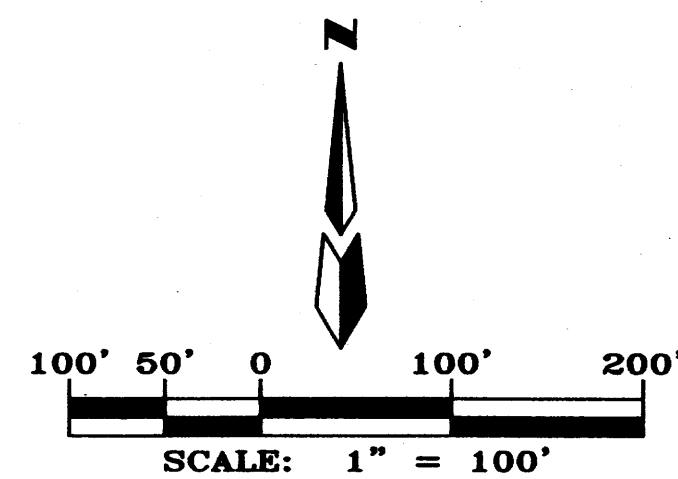
EASEMENTS:

- EXISTING 10' PUE (10-02-2000, 200C-256)
- EXISTING 5' PUE (07-30-65, VOL. D712, FOLIO 113)
- EXISTING 10' PUE (10-08-1966, VOL. D758- FOLIO 506) NOTE: ENCROACHMENT AGREEMENT EASEMENT FOR SLOPE AND BIKE PATH INTO THE SOUTH 5' OF ABOVE MENTIONED 10' EASEMENT. (12-02-87, BK.MISC. 563A, PG. 759A)
- A 40' X 40' TRACT, DESIGNATED AS PARCEL 2 LEASED TO WIRESTAR AND CRICKET COMMUNICATIONS. (LOCATION APPROXIMATE)

PLAT FOR HORIZON ACADEMY SUBDIVISION

WITHIN THE
TOWN OF ATRISCO GRANT
PROJECTED SECTION 10
TOWNSHIP 10 NORTH, RANGE 2 EAST, NMPM
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
APRIL, 2003

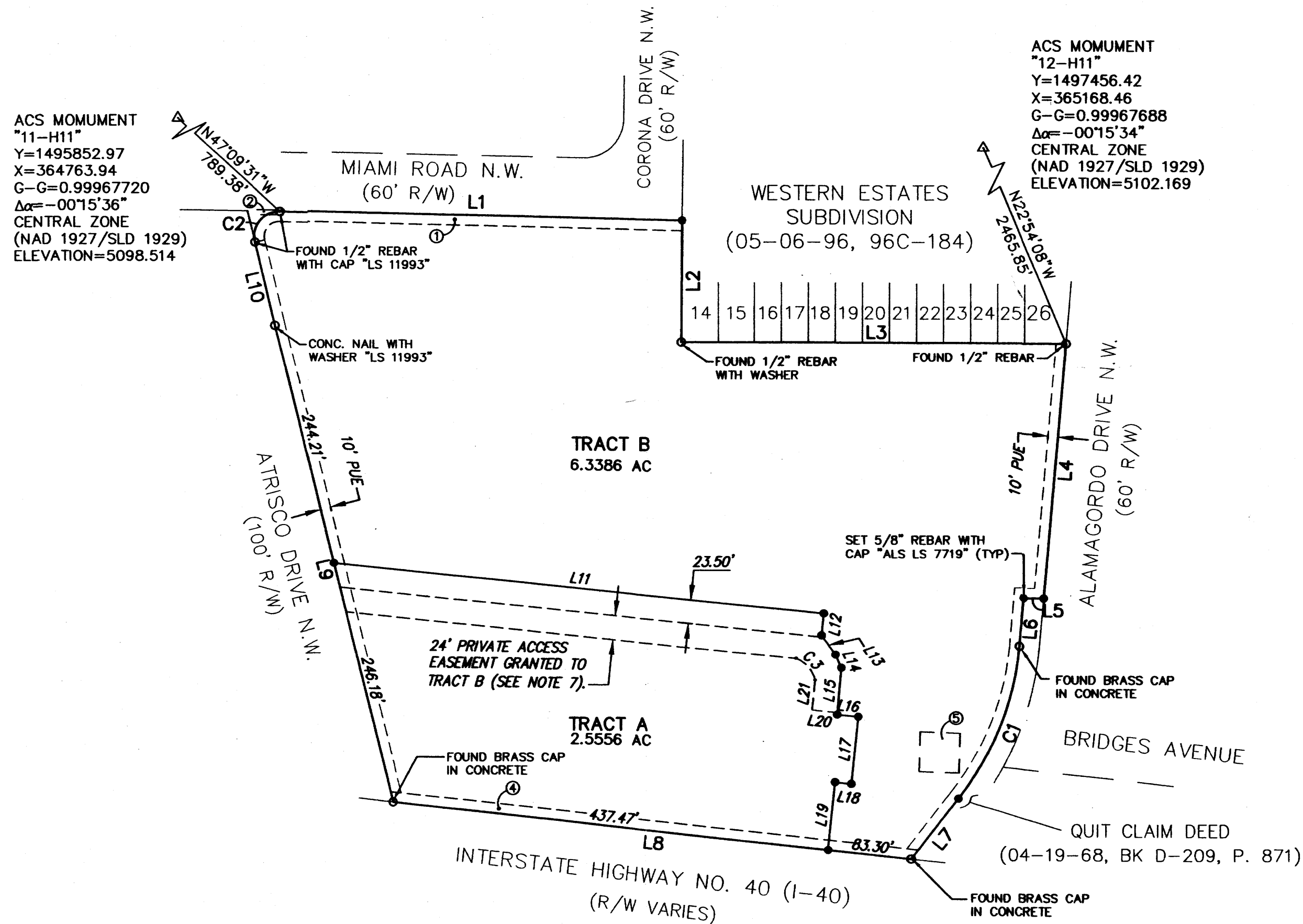
2003151133
5834139
Page: 3 of 3
02/26/2003 08:47R
Bk-2003C Pg-262
Mary Herrera Bern. Co. PLAT R 17.00 Bk-2003C Pg-262



LINE DATA		
LINE	DIRECTION	DISTANCE
L1	S88°48'12"E	402.29'
L2	S00°21'52"W	121.62'
L3	S89°53'33"E (S89°52'15"E)	384.03'
L4	S05°02'32"W	254.64'
L5	N89°41'37"W	20.07'
L6	S05°02'32"W	48.77'
L7	S38°22'19"W	76.14'
L8	N83°55'07"W	520.77'
L9	N13°54'14"W	490.39'
L10	N13°27'07"W	85.47' (85.54')
L11	S84°13'30"E	492.18'
L12	S05°46'30"W	21.83'
L13	S35°38'18"E	23.92'
L14	S24°12'54"E	14.39'
L15	S05°01'30"W	47.18'
L16	S84°13'30"E	21.00'
L17	S05°46'30"W	67.50'
L18	N84°13'30"W	16.27'
L19	S05°55'47"W	67.22'
L20	N84°13'30"W	25.47'
L21	S05°46'30"W	30.23'

CURVE DATA						
CURVE	LENGTH	DELTA	RADIUS	TANGENT	DIRECTION	CHORD
C1	166.55'	33°19'47"	286.31'	85.71'	S21°42'26"W	164.21'
C2	45.66'	104°38'55"	25.00'	32.37'	N38°52'21"E	39.57'
C3	29.77'	54°28'17"	31.31'	16.12'	N41°30'48"W	28.66'

ACS MOMUMENT
"11-H11"
Y=1495852.97
X=364763.94
G-G=0.99967720
Δα=-00°15'36"
CENTRAL ZONE
(NAD 1927/SLD 1929)
ELEVATION=5098.514

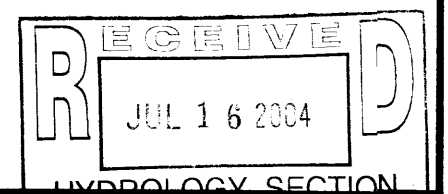


ACS MOMUMENT
"12-H11"
Y=1497456.42
X=365168.46
G-G=0.99967688
Δα=-00°15'34"
CENTRAL ZONE
(NAD 1927/SLD 1929)
ELEVATION=5102.169

ABBREVIATIONS

10' PUE = PUBLIC UTILITY EASEMENTS
GRANTED WITH THIS PLAT

R/W = RIGHT-OF-WAY



Dwg: A02134FPS3.dwg Drawn: RICHARD Checked: ALS
Scale: 1"=100' Date: 04/14/03 Job: A02134

Sheet 3 of 3

GRADING & DRAINAGE PLAN

PROJECT NOT IN FLOOD HAZARD ZONE

THE PROPOSED COMMERCIAL FACILITY PROJECT IS LOCATED IN THE NORTHWEST MESA AREA OF THE CITY OF ALBUQUERQUE, NM. THE GRADING AND DRAINAGE SCHEME HEREON IS IN COMPLIANCE WITH THE CITY OF ALBUQUERQUE STORM DRAINAGE ORDINANCE. THE PLAN IS REQUIRED IN ORDER TO FACILITATE THE OWNER'S REQUEST FOR BUILDING PERMIT. THE PLAN SHOWS:

1. EXISTING CONTOURS, SPOT ELEVATIONS, EXISTING DRAINAGE PATTERNS AND EXISTING IMPROVEMENTS (ADMIN. AND MODULAR BLDGS.)
2. PROPOSED IMPROVEMENTS: 4000 SQUARE FOOT STRUCTURE(S), PARKING, GRAVEL ACCESS DRIVE, CONCRETE FLATWORK, AND NEW GRADE ELEVATIONS.
3. FUTURE IMPROVEMENTS: 8400 SF MULTI-PURPOSE BLDG. + 3 1900 SF MODULARS, AND PAVED ASPHALT PARKING AND DRIVE.
4. ON-SITE ANALYSIS AS TO STORM WATER MANAGEMENT AND EROSION CONTROL.

THE PURPOSE OF THE PLAN IS TO ESTABLISH CRITERIA FOR CONTROLLING STORM RUNOFF AND EROSION, AND ESSENTIALLY ALLOWING HISTORIC FLOWS TO CONTINUE TO DRAIN THROUGH THE PROPERTY. PRESENTLY, THE SITE IS BOUNDED ON WEST, NORTH AND EAST BY DEVELOPED PROPERTY. ATRISCO AVENUE ON THE WEST IS AN IMPROVED PAVED, MINOR LOCAL ROADWAY WITH CURB/GUTTER AND ATTACHED SIDEWALK.

THE SITE SLOPES AT APPROXIMATELY 1% TO THE WEST. ALL OFFSITE FLOWS ARE QUANTIFIED ON THE PLAN, AND ADDRESSED IN THE CALCULATIONS.

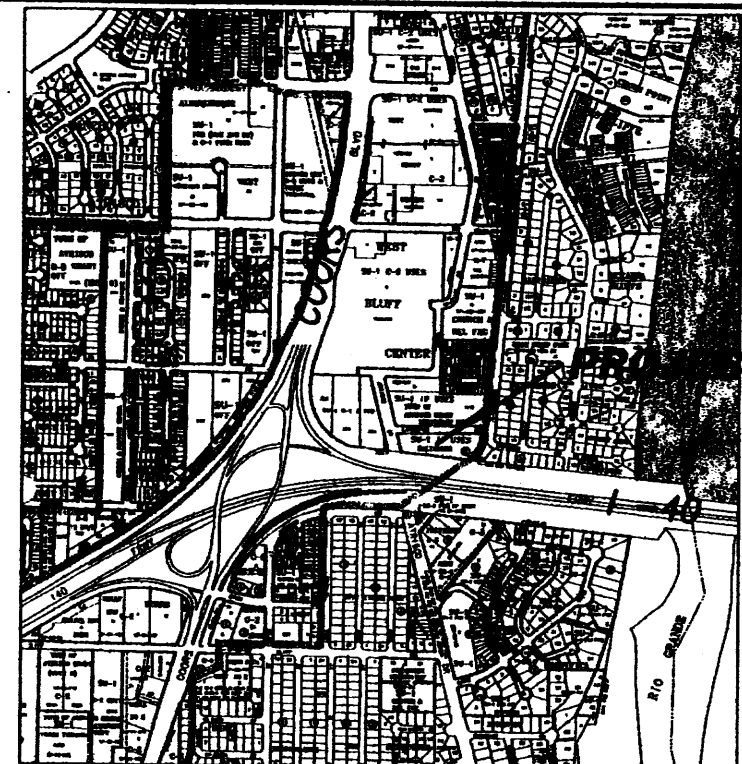
THE SITE IS NOT ENCUMBERED BY A DESIGNATED FEMA FLOODPLAIN ZONE.

HISTORICAL SITE RUNOFF OUTFALL LOCATIONS WILL REMAIN UNCHANGED IN DEVELOPMENT. NO GRADING IS PROPOSED WITHIN THE CITY R.O.W. FREE DISCHARGE OF DEVELOPED FLOW IS ACCEPTABLE SINCE CONVEYANCE TO ADEQUATE FACILITIES EXIST DOWNSTREAM.

NOTE: REF: 2008 FIRM MAPS, USING NAVD 1988 DATUM

FIRM MAP PANEL # 327 G

Scale: 1" = 30'



VICINITY MAP ZONE H-11

NOTES

1. ALL WORK WITHIN THE RIGHT-OF-WAY SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECS. FOR PUBLIC WORKS CONSTRUCTION, 7TH EDITION W/ UPDATES.
2. AN EXCAVATION/CONSTRUCTION PERMIT IS REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY R.O.W. AN APPROVED COPY OF THIS PLAN MUST BE SUBMITTED AT THE TIME OF APPLICATION.
3. ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES, AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
4. ALL LANDSCAPING AREA SHALL BE SOFT-LINED WITH NATIVE VEGETATION AND/OR GRAVEL. ASPHALT PARKING AREA SHALL DRAIN DIRECTLY TO EXISTING CURB CUT.
5. LANDSCAPING IRRIGATION SYSTEM SHALL BE DRIP-TYPE.
6. CONTRACTOR SHALL ENSURE THAT NO SITE SOILS/SEDIMENT OR SILT ENTER THE RIGHT-OF-WAYS DURING CONSTRUCTION.
7. REVEGETATE ALL AREAS DISTURBED DUE TO CONSTRUCTION PER CITY OF ALBUQ. SPEC. 1011, NATIVE SEED MIX.
8. MAXIMUM SITE GRADING WITHOUT EROSION PROTECTION: 3 HORIZONTAL TO 1 VERTICAL. 3:1. ALL DIMENSIONS TO FACE OF CURB, UNLESS NOTED OTHERWISE.

LEGEND

- +24.0 EXIST. SPOT ELEVATION
- 10 EXIST. CONTOUR
- 24.0 NEW SPOT ELEVATION
- 12 NEW CONTOUR
- EXIST. EDGE OF ROAD
- NEW SWALE
- DRAINAGE DIRECTION
- TA TOP OF ASPHALT
- OPP EXISTING POWER POLE
- NEW RIP RAP EROSION PROTECTION, 6" AVG. DIA. ROCK
- NEW CONCRETE

CALCULATIONS

DESIGN CRITERIA
HYDROLOGIC METHODS PER SECTION 22.2, HYDROLOGY OF THE DEVELOPMENT PROCESS MANUAL (DPM) REVISED JANUARY 1993 FOR CITY OF ALBUQUERQUE ADOPTED BY THE COUNTY OF BERNALILLO
DISCHARGE RATE: $Q = Q_{PEAK} \times AREA$. "Peak Discharge Rates For Small Watersheds"
VOLUMETRIC DISCHARGE: $VOLUME = E_{Weighted} \times AREA$
 $P100 = 2.2$ inches, Zone 1
Time of Concentration, $TC = 10$ Minutes
DESIGN STORM: 100-YEAR/6-HOUR, 10-YEAR/6-HOUR Where [] = 10 YEAR VALUES

EXISTING CONDITIONS
40RD, 30% C, 30% B,
LOT AREA = 3.32 ACRES, WHERE EXCESS PRECIP. "Weight" = 1.29 in. [0.70]
PEAK DISCHARGE, $Q100 = 10.79$ CFS [6.1], WHERE UNIT PEAK DISCHARGE = 3.27 CFS/AC. [1.8]
THEREFORE: $VOLUME 100 = 15453$ CF [8385]

DEVELOPED CONDITIONS
DETERMINE LAND TREATMENTS, PEAK DISCHARGE AND VOLUMETRIC DISCHARGE FOR STUDY AREA

	AREA	LAND TREATMENT	Q_{Peak}	E
UNDEVELOPED/	0.00 Ac.(0%)	A	1.29[0.24]	0.49[0.08]
LANDSCAPING/POND	0.33 Ac.(10%)	B	2.03[0.76]	0.67[0.22]
GRAVEL & COMPACTED SOIL	0.30 Ac.(9%)	C	2.87[1.49]	0.99[0.44]
ROOF - PAVEMENT	2.68 Ac.(81%)	D	4.40[2.90]	1.97[1.24]
	3.32 Ac.			

THEREFORE: $E_{Weighted} = 1.75$ in.[1.06] &
 $Q100 = 13.28$ CFS
 $Q10 = 8.4$ CFS
 $VOLUME 100 = 20963$ CF
 $VOLUME 10 = 12698$ CF

I, PHILIP W. CLARK, A PROFESSIONAL ENGINEER LICENSED IN ACCORDANCE WITH THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT I HAVE VISITED THE SITE SHOWN HEREON, AND THAT THE CONTOURS SHOWN REPRESENT THE EXISTING GROUND CONDITIONS, AND DO FURTHER CERTIFY THAT NO EARTHWORK OF ANY KIND, NOR ANY DISTURBANCE OF THE EXISTING GROUND HAS OCCURRED ON THIS SITE SINCE THE CONTOURS WERE DETERMINED.

PHILIP W. CLARK
NMPE #10285

PROJECT DATA

LEGAL DESCRIPTION

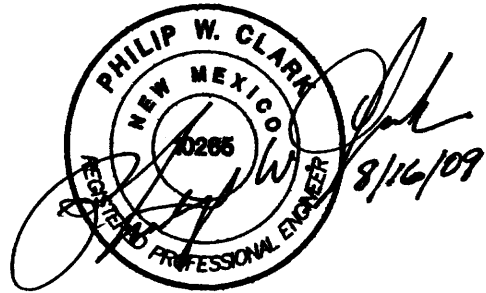
TRACT A-1, HORIZON ACADEMY SUBDIVISION, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

PROJECT BENCHMARK

CONSTRUCTION BENCH, INVERT OF EXISTING SIDEWALK CULVERT MSL ELEVATION = 5098.83 (NGVD 29) AS TIED TO VERTICAL CONTROL ACS MONUMENT, 11-H-11, ALUMINUM DISK LOCATED IN AT THE CENTER OF MEDIAN COORS AND OURAY NW (63° S.)

TOPOGRAPHIC INFORMATION

COMPILED BY CLARK CONSULTING ENGINEERS, DATE 8/2009 FROM ACTUAL SUPPLEMENTAL SURVEY + TERRAMETRICS OF NM.



RECEIVED
AUG 20 2009
HYDROLOGY SECTION

Clark Consulting Engineers 19 Ryan Road Edgewood, New Mexico 87015 Tel: (505) 281-2444 Fax: (505) 281-2444	
DATE	REVISION
TRACT A-1, HORIZON ACADEMY SUBDIVISION ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO WEST BLUFF CHARTER CAMPUS 1800 Atrisco Drive, NW Grading & Drainage Plan	
DESIGNED BY: PWC	DRAWN BY: CCE
CHECKED BY: PWC	DATE: 6/4/09
JOB # West-Bluff	FILE # G/D
1 OF 1	

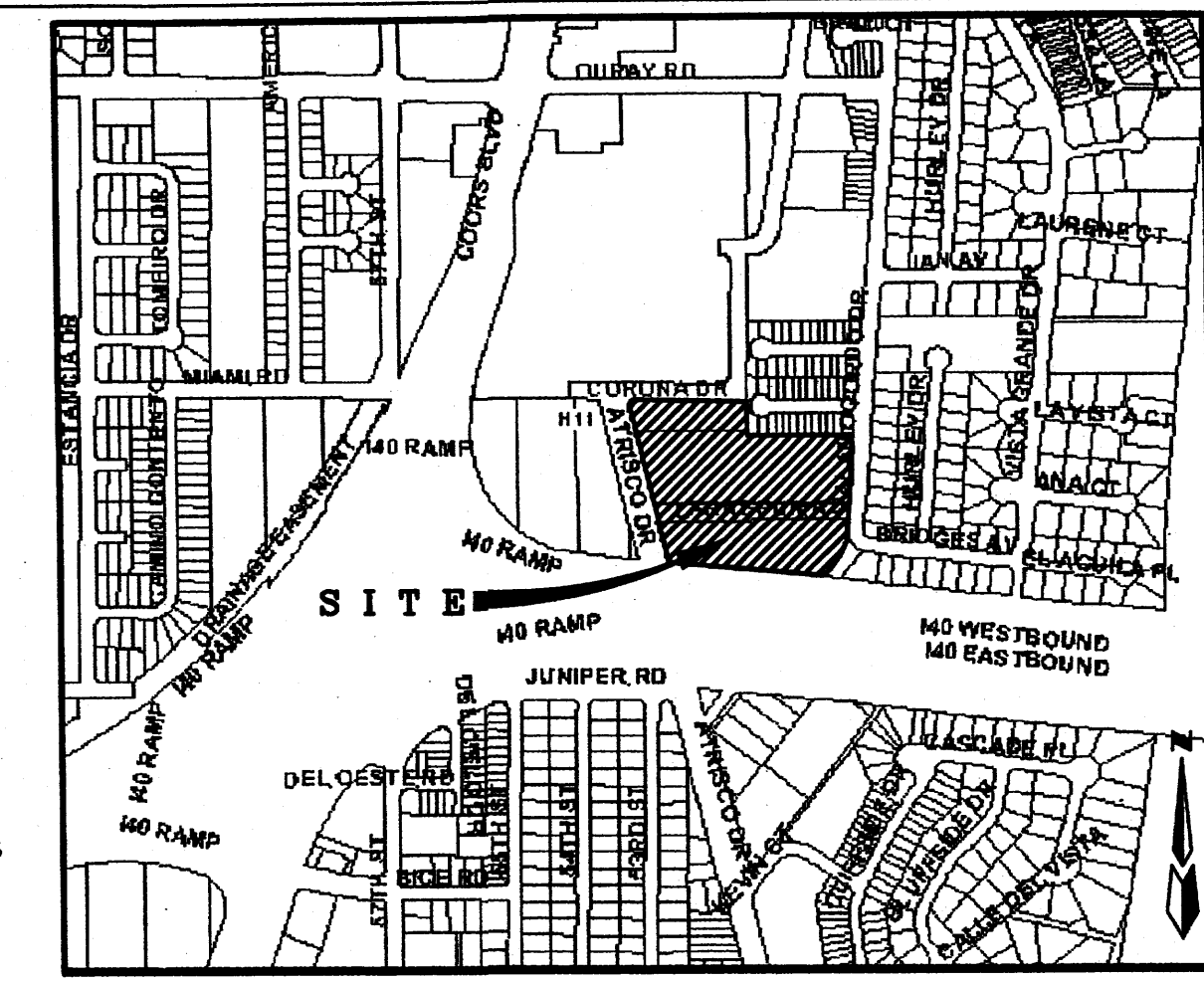
- KEYED NOTES**
- REMOVE EXISTING SIDEWALK, EXISTING CURB & GUTTER OR DRIVEPAD AS NECESSARY IN ORDER TO INSTALL NEW PRIVATE ENTERANCE PER COA DWG. 2426
 - NEW 24" SIDEWALK CULVERT PER COA STD. DWG. 2236

EXISTING WALL - MART WESTBLUFF CENTER
REPLACE WITH 6" CONCRETE SIDEWALK
NEW 24" x 8" SIDEWALK CULVERT PER COA STD. DWG. 2236
FLARE SOUTH OPENING TO 6'-8"

CONCRETE SWALE SECTION
N.T.S.

GENERAL NOTES

- THERE ARE NO OFFSITE FLOWS ENTERING THIS SITE.
- INDIVIDUAL PROPERTY OWNERS ARE RESPONSIBLE FOR MAINTAINING DRAINAGE IMPROVEMENTS ON THEIR RESPECTIVE PROPERTIES SO THAT THEY CONTINUE TO FUNCTION PROPERLY YEAR AFTER YEAR.
- ELEVATIONS SHOWN HEREON ARE INTENDED TO BE FINAL GRADES. OWNER, ROUGH GRADING CONTRACTOR AND LANDSCAPE CONTRACTOR ARE RESPONSIBLE FOR ASSURING THAT AFTER ALL WORK IS COMPLETE, SITE'S FINAL SURFACE GRADES ARE AS SHOWN HEREON.
- EARTHWORK CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND FOLLOWING REQUIREMENTS OF THE SURFACE DISTURBANCE PERMIT FROM THE CITY ENVIRONMENTAL HEALTH DEPARTMENT.
- OWNER AND ALL ASSOCIATED CONTRACTORS WHO ENGAGE IN ALTERATION OF SITE SURFACES OUTSIDE OF BUILDINGS, SHALL FILE A NOTICE OF INTENT WITH EPA AND FOLLOW STORM WATER POLLUTION PREVENTION PLAN REQUIREMENTS.
- EACH OF THE TRACTS SHOWN HEREON SHALL BE SUBJECT TO A RECIPROCAL CROSS LOT DRAINAGE EASEMENT.
- THIS PLAN ONLY COVERS THE HORIZON ACADEMY (TRACT "B"). THE PROPOSED HOTEL IS SHOWN FOR INFORMATION ONLY. GRADING EXCEPT FOR TEMPORARY STOCKPILING OF EXCESS MATERIAL SHALL NOT OCCUR ON TRACT "A".
- SEE CONCEPTUAL GRADING & DRAINAGE PLAN FOR OVERALL SITE HYDROLOGY INFORMATION.



VICINITY MAP ZONE MAP: H-11-Z

LEGAL DESCRIPTION

TRACT "B" HORIZON ACADEMY SUBDIVISION.

ACS BENCHMARK

ACS ALUMINUM CAP STAMPED "11-H11", LOCATED IN THE CENTER MEDIAN OF COORS BLVD. N.W. 0.12 MILES SOUTH OF OURAY ROAD N.W. GEOGRAPHIC POSITION (NAD 1927), IN FEET, N.M. STATE PLANE COORDINATES (CENTRAL ZONE), X=364,763.94, Y=1,495,852.97, ELEVATION=5098.51, NGVD29, IN FEET.

LEGEND

- 5105 --- EXISTING CONTOUR (MAJOR)
- 5104 --- EXISTING CONTOUR (MINOR)
- TC= EXISTING TOP OF CURB ELEVATION
- FL= EXISTING FLOWLINE ELEVATION
- x 00.00 EXISTING SPOT ELEVATION
- EXISTING ASPHALT CURB
- EXISTING CONCRETE CURB
- EXISTING CONCRETE/SIDEWALK
- EXISTING WALL OR HEAD WALL
- EXISTING BOLLARD/FENCE POST
- EXISTING SIGN
- EXISTING CHAIN LINK FENCE
- EXISTING SANITARY SEWER MANHOLE
- EXISTING CLEANOUT
- EXISTING WATER VALVE
- EXISTING FIRE HYDRANT
- EXISTING OVERHEAD UTILITY LINES
- EXISTING POWER POLE
- EXISTING GUYWIRE
- EXISTING LIGHT POLE
- EXISTING TELEPHONE PEDESTAL
- EXISTING UNDERGROUND GAS MARKER
- EXISTING GAS VALVE/METER
- EXISTING STORM SEWER MANHOLE
- EXISTING DROP INLET
- PROPOSED HIGH POINT
- DRAINAGE BASIN BOUNDARY
- NEW CONCRETE HEADER CURB
- NEW CHAINLINK FENCE
- PROPOSED PARKING LOT OR FIELD SWALE OR FLOWLINE
- SIDEWALK CULVERT PER COA STD. DWG. 2236
- FS= 00.88 FINISH SLAB ELEVATION
- 02.02 NEW SPOT ELEVATION
- 99.20 TOP OF CURB FLOWLINE
- 99.20 As Built Elevation
- FLOW DIRECTION

DRAINAGE CERTIFICATION

I, John M. MacKenzie, of the firm Mark Goodwin & Associates, hereby certify that this project has been graded and will drain in accordance with the approved plans and specifications. The plans and specifications were prepared by me or under my direct supervision and I am a duly licensed Professional Engineer in the State of New Mexico. I further certify that I have personally visited the project site on 11/25/2003 and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for Release of Certificate of Occupancy.

Although the work is formed, as of today's date, the contractor has not yet placed the concrete for new sidewalk required along the east boundary of the site.

John M. MacKenzie
John M. MacKenzie NMPE 11619
Date 11.7.2003

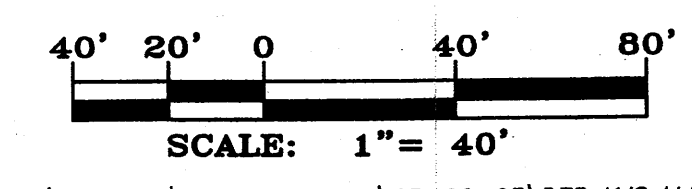
NOTICE TO CONTRACTOR

- An excavation/construction permit will be required before beginning any work within City right of way. An approved copy of these plans must be submitted at the time of application for this permit.
- All work detailed on these plans to be performed, except as otherwise stated or provided hereon, shall be constructed in accordance with "City of Albuquerque Standard Specifications for Public Works Construction" (1986 Edition).
- Two working days prior to any excavation, Contractor must contact the Line Locating Service, 765-1234, for location of existing utilities.
- Prior to construction, the Contractor shall excavate and verify the horizontal and vertical locations of all obstructions. Should a conflict exist, the Contractor shall notify the Engineer so that the conflict can be resolved with a minimum of delay.
- Backfill compaction shall be according to residential street use.
- Maintenance of these facilities shall be the responsibility of the Owner of the property served.
- Contractor is responsible for obtaining excavation permit for the S.O. 19 and providing proof of acceptance by the City prior to Hydrology sign-off for Certificate of Occupancy.

Design Approval	HYDROLOGY SECTION	DATE
Inspection Approval	CONSTRUCTION SECTION	DATE
Acceptance	CONSTRUCTION/SECTION/PERMITS	DATE

NO GRADING IN BASINS "D" & "E"
(THIS CONTRACT)

Paul L. Bile
APPROVED FOR ROUGH GRADING
School only
5/27/03
DATE



SCALE: 1" = 40'

dmg MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505)828-2200, FAX (505)797-9539

REVISION	BY	DATE	REV

PROJECT TITLE
HORIZON ACADEMY, WESTBLUFF
140+ ATRISCO
ALBUQUERQUE, NM

PROJECT MANAGER
George Rainhart, AIA

DRAWN BY
DER

JOB NO.
0200A

SHEET TITLE
GRADING & DRAINAGE PLAN

DATE:
12.13.02

SCALE:
1"=40'-0"

sheet:
C-1

of:

GEORGE RAINHART, ARCHITECT AND ASSOCIATES P.C.
2325 SAN PEDRO NE., SUITE 2-B
ALBUQUERQUE, NEW MEXICO 87110
PHONE (505) 884-9110 FAX (505) 837-9877

KEYED NOTES

- REMOVE EXISTING SIDEWALK, EXISTING CURB & GUTTER OR DRIVEPAD AS NECESSARY IN ORDER TO INSTALL NEW PRIVATE ENTERANCE PER COA DWG. 2426
- NEW 24" SIDEWALK CULVERT PER COA STD. DWG. 2236

EXISTING WAL-MART WESTBLUFF CENTER

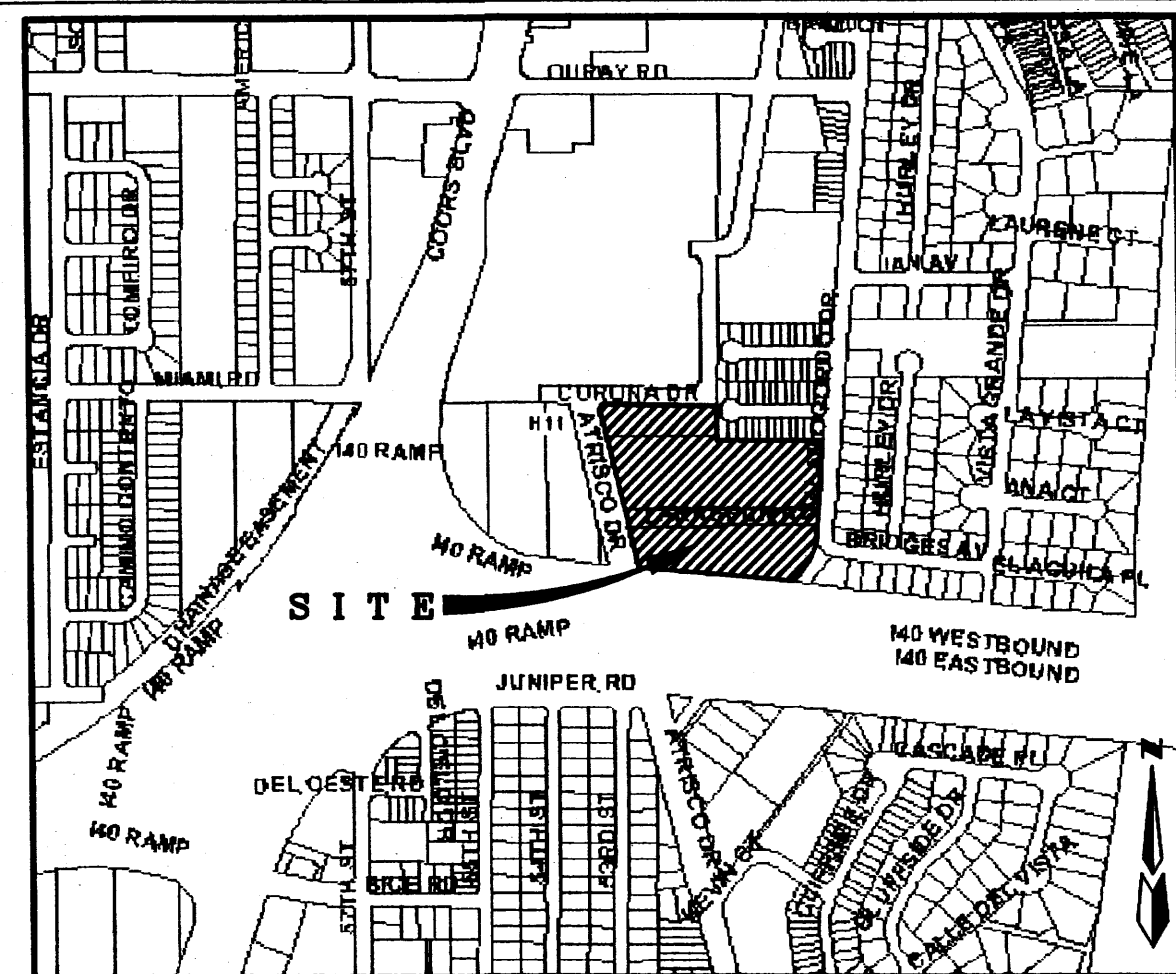
REMOVE EXISTING DRIVEPAD
REPLACE WITH 6" CONCRETE SIDEWALK
NEW 24" x 8" SIDEWALK CULVERT
PER COA STD. DWG. 2236
FLARE SOUTH OPENING TO 6'-8"

CONCRETE SWALE SECTION

N.T.S.

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- THERE ARE NO OFFSITE FLOWS ENTERING THIS SITE.
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VICINITY MAP ZONE MAP: H-11-Z

LEGAL DESCRIPTION

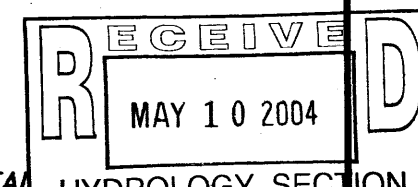
TRACT "B" HORIZON ACADEMY SUBDIVISION.

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LEGEND

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- 5104 EXISTING CONTOUR (MINOR)
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- EXISTING DROP INLET
- PROPOSED HIGH POINT
- DRAINAGE BASIN BOUNDARY
- NEW CONCRETE HEADER CURB
- NEW CHAINLINK FENCE
- PROPOSED PARKING LOT OR FIELD SWALE OR FLOWLINE
- SIDEWALK CULVERT PER COA STD. DWG. 2236
- FINISH SLAB ELEVATION
- NEW SPOT ELEVATION
- TOP OF CURB ELEVATION
- FLOWLINE
- FLOW DIRECTION



MAY 10 2004

HYDROLOGY SECTION

GEORGE RAINHART, ARCHITECT AND ASSOCIATES P.C.
2325 SAN PEDRO NE, SUITE 2-B
ALBUQUERQUE, NEW MEXICO 87110
PHONE (505) 884-9110 FAX (505) 837-9877

PROJECT TITLE
HORIZON ACADEMY, WESTBLUFF
140+ ATRISCO
ALBUQUERQUE, NM

DATE
12.13.02

SCALE
1"=40'-0"

DRAWN BY
DER

SHEET TITLE
GRADING & DRAINAGE PLAN

of

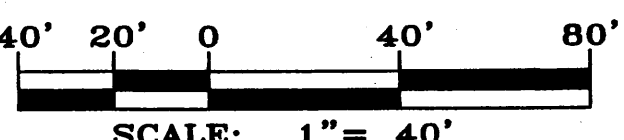
NO GRADING IN BASINS "D" & "E"
(THIS CONTRACT)

DRAINAGE FACILITIES WITHIN CITY RIGHT OF WAY

Design Approval	HYDROLOGY SECTION	DATE
Inspection Approval	CONSTRUCTION SECTION	DATE
Acceptance	CONSTRUCTION/SECTION/PERMITS	DATE

APPROVED FOR ROUGH GRADING
5/27/03

DATE



SCALE: 1"=40'

F:\A02\kbs\A2134\h\A2134\30.dwg (05-22-03) DER KJS MJR

MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505)828-2200, FAX (505)797-9539

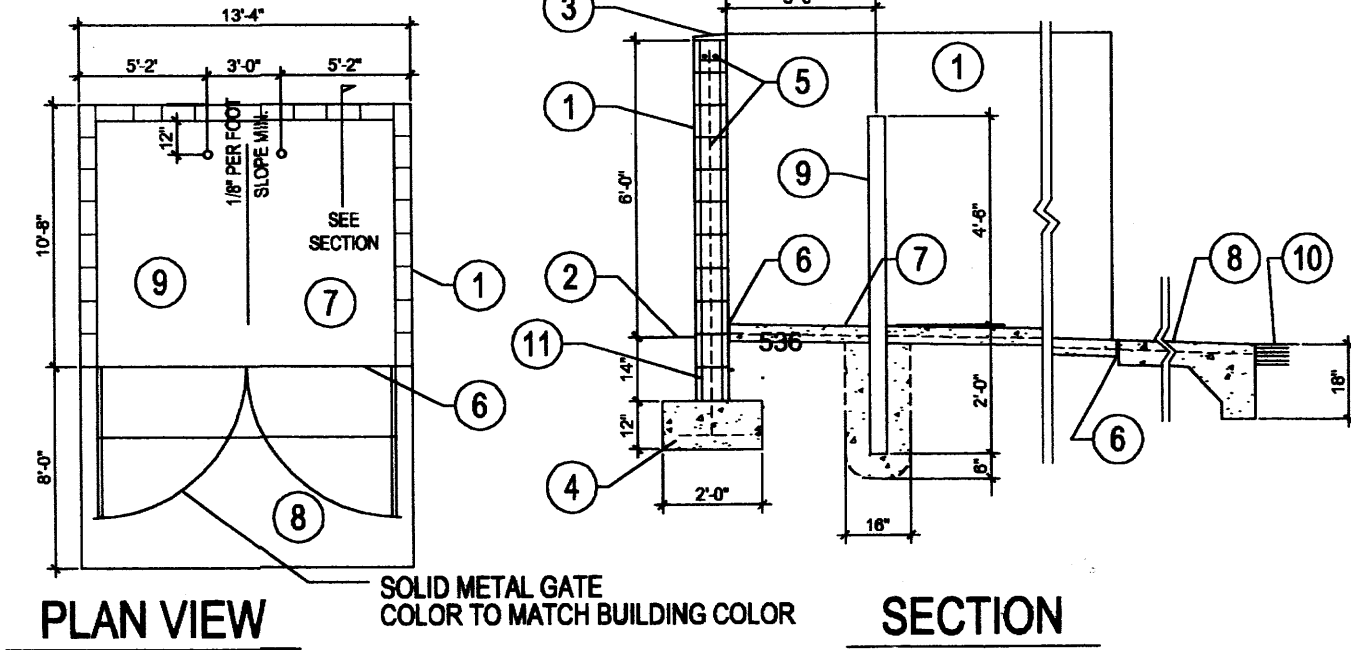
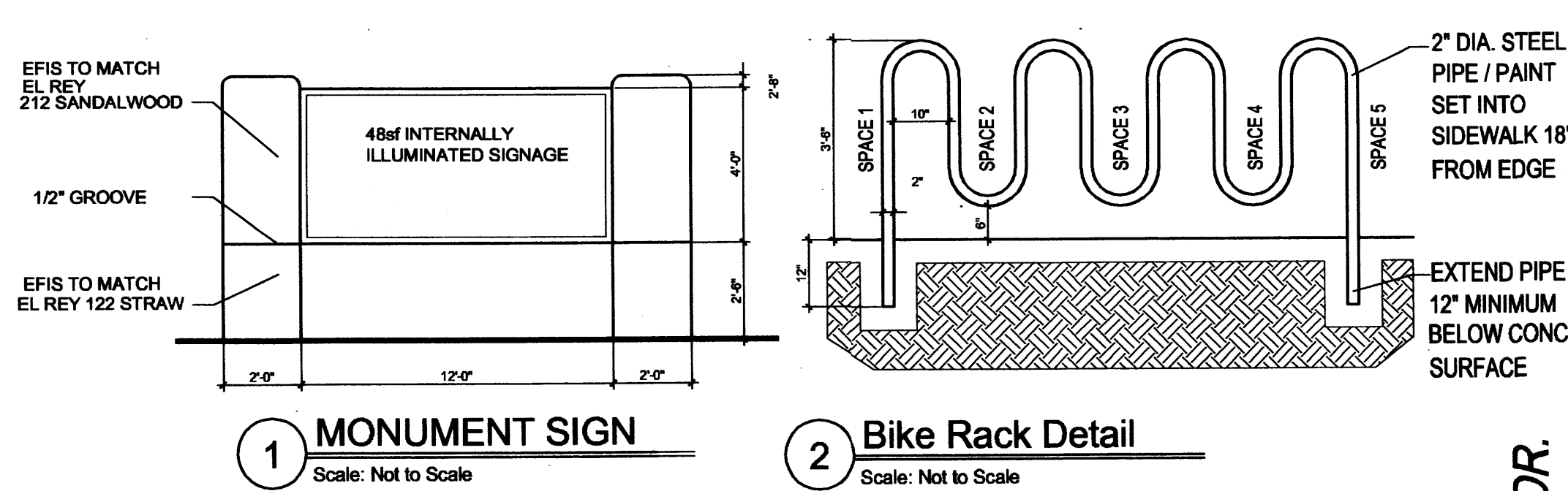
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12.13.02

SCALE
1"=40'-0"

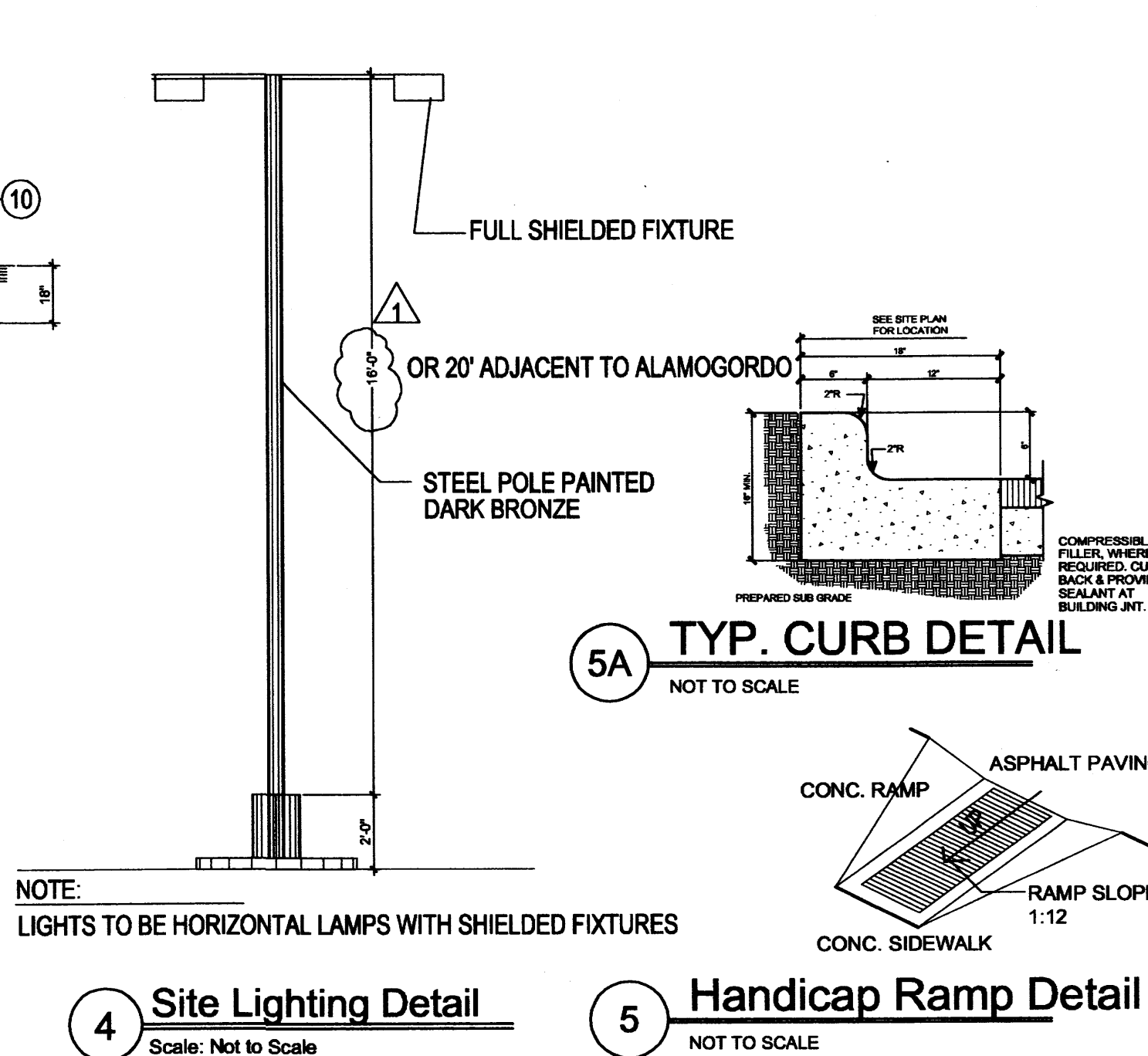
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DER

SHEET TITLE
GRADING & DRAINAGE PLAN

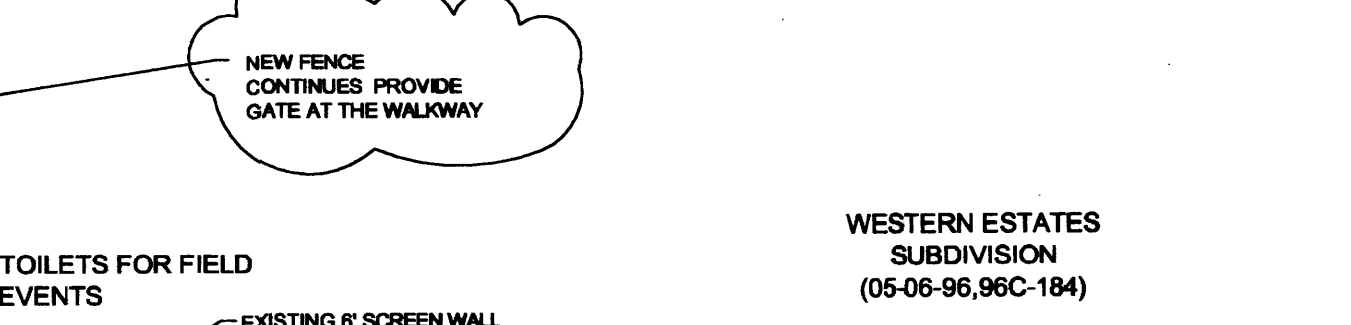
of



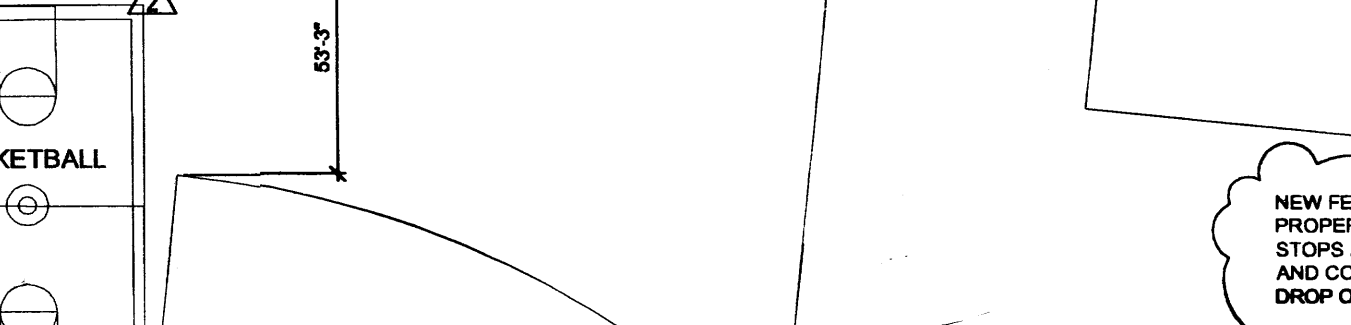
- KEYED NOTES**
- 8" CMU WALL WITH STUCCO SYSTEM OVER BUILDING PAPER. COLOR BY ARCHITECT.
 - FINISH GRADE.
 - SLOPE STUCCO CAP.
 - 4-#4 BARS CONT. @ BOTTOM OF FOOTING #4 @ 18" O.C. ACROSS BOTTOM OF FOOTING.
 - 2-#5 BARS @ TOP KNOCK-OUT BLOCK BOND BEAM, CONTINUOUS. #5 BARS @ 32" O.C. VERTICAL. GROUT REINFORCED CELLS. DRAINAGE @ 18" O.C. HORIZONTAL.
 - 1/2" EXPANSION JOINT MATERIAL.
 - 4" CONCRETE SLAB 3000 PSI 3/4" AGGREGATE WITH 6X6-10X10 WWM.
 - 6" CONCRETE APRON 3000 PSI 3/4" AGGREGATE WITH 6X6-10X10 WWM W/ TURNDOWN EDGE.
 - 4" CONCRETE FILLED PIPE IN 18" DIA. X 2'-6" DEEP CONC. FOOTING. PAINT TO MATCH STUCCO FINISH.
 - ASPHALT PAVING.
 - GROUT ALL CELLS SOLID BELOW GRADE, TYPICAL.



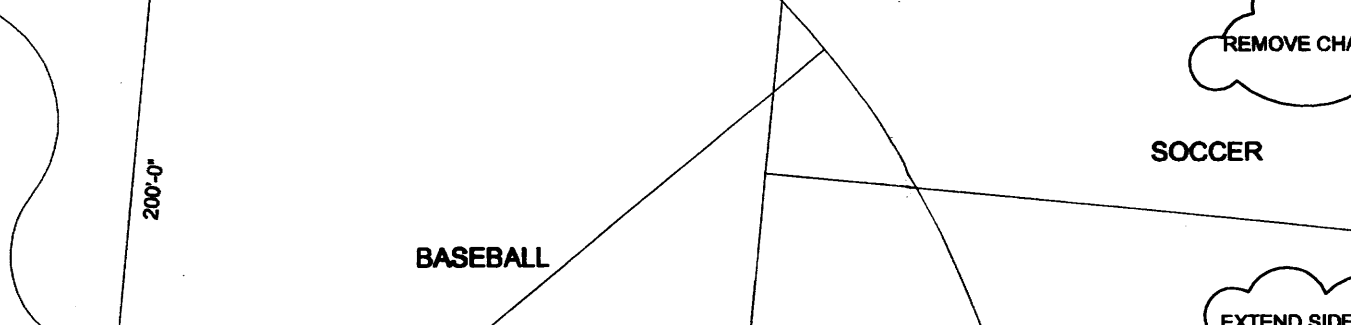
- 3 Refuse Enclosure**
Scale: Not to Scale EXISTING R-T TOWNHOMES



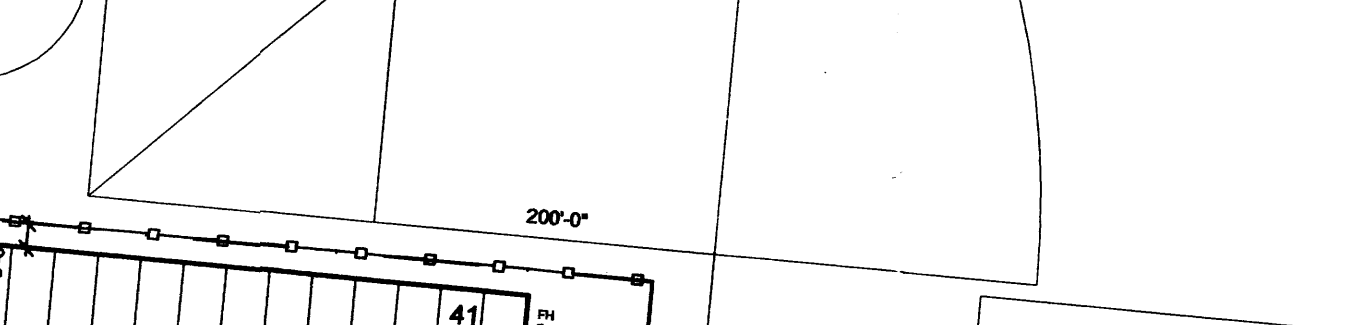
- 4 Site Lighting Detail**
Scale: Not to Scale



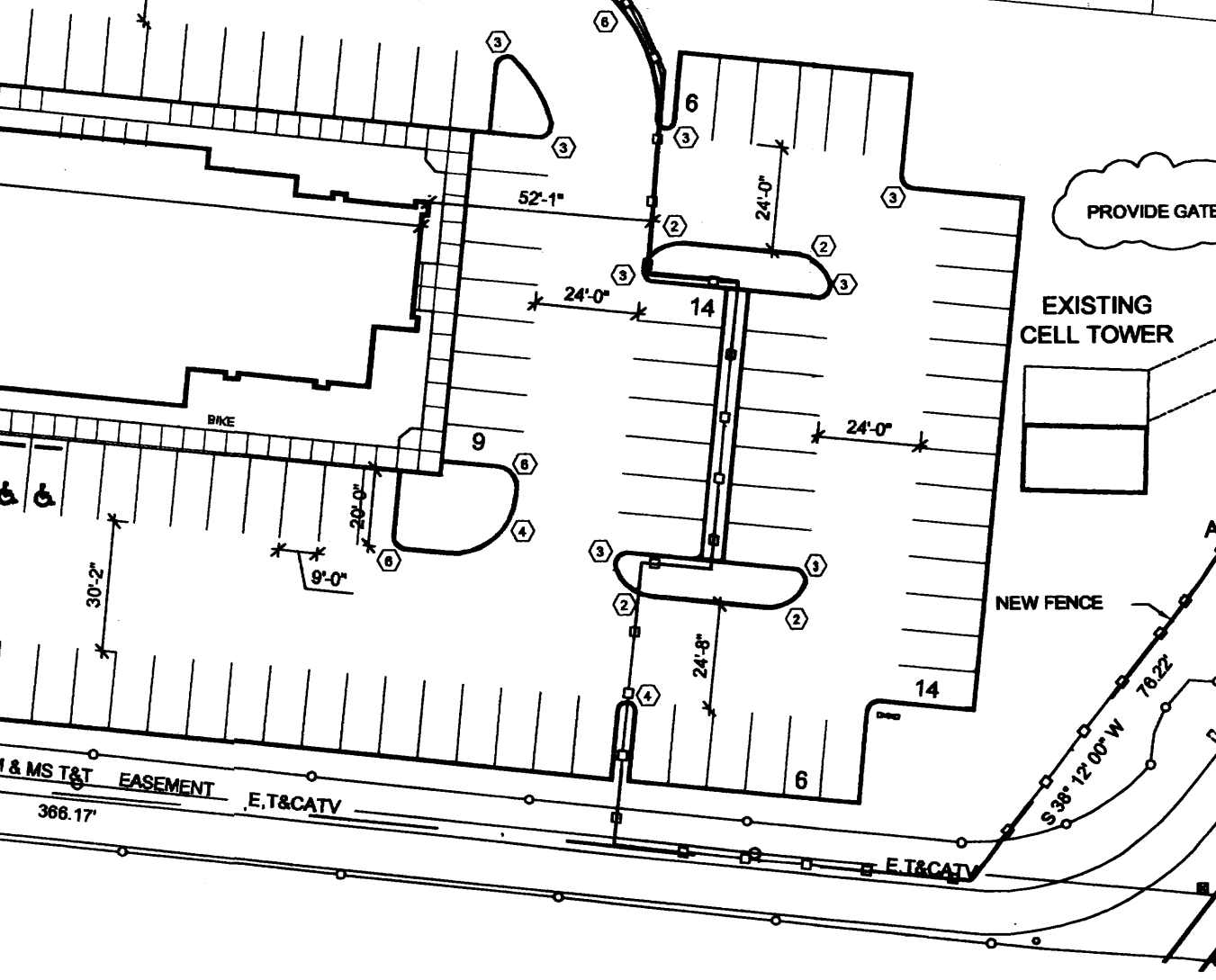
- 5 Handicap Ramp Detail**
NOT TO SCALE



- 9 FENCE DETAIL**
NTS



- 6 SITE PLAN**
1" = 40'-0"



LEGAL DESCRIPTION

LOT 6, WESTBLUFF CENTER
LOT A13, TOWN OF ATRISCO GRANT
LOT 9 BLOCK 9, PALISADES

CURRENT ZONING

SU-1 IP USES

ACRAGE

SCHOOL = 6.32ac
HOTEL = 2.5ac
TOTAL ac. = 8.82 ac.

PARKING REQUIRED:

HOTEL: 60,000 sqft 98 RM = 98 SPACES REQ.
MEETING RM'S 3,000 / 15 = 200 PERSONS
200 / 4 = 50 SPACES REQ.
H/C SPACES = 8 REQ. 8 PROVIDED
BIKE SPACE: NONE REQ. 6 PROVIDED
TOTAL SPACES REQ. = 148 PROVIDED = 149
TOTAL SPACES PROVIDED = 92

SCHOOL: 35,420sqft 24 EMPLOYEES
24 SPACES REQ. 62 PROVIDED
H/C SPACES = 4 REQ. 4 PROVIDED
BIKE SPACE: 20 REQ. 20 PROVIDED

TYPICAL PARKING SPACES

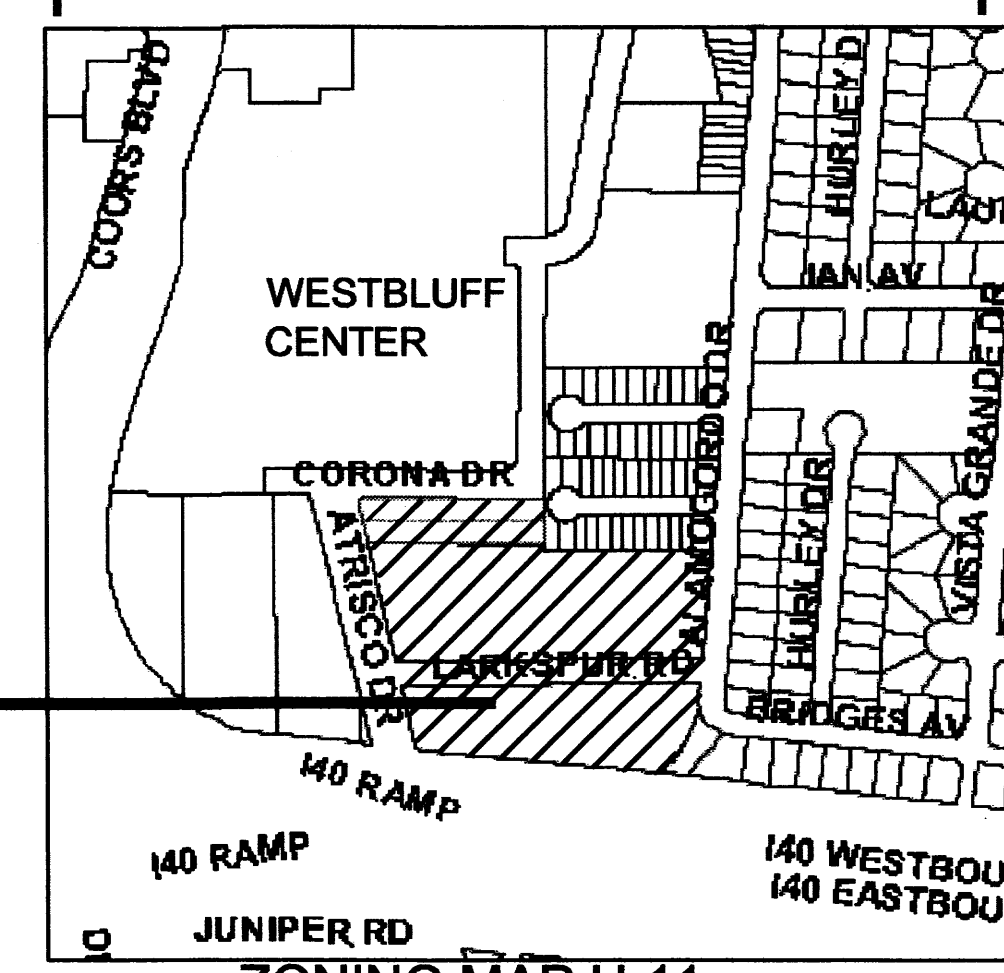
STANDARD—9'-0" x 20'-0"
SMALL CAR—7'-6" x 15'-0"
HANDICAP—8'-0" x 20'-0"
WITH 8'-0" ACCESS AISLE

* ALL SPACES ARE STANDARD W/ TYP.
4" PAINTED STRIP UNLESS OTHERWISE NOTED *

FAR LOT LOT=383,328sqft / BLDG=95,420= FAR 4.0

CURB RADIUS DESIGNATION

- 2 = 10' RADIUS
- 3 = 3' RADIUS
- 4 = 5' RADIUS
- 5 = 15' RADIUS
- 6 = 25' RADIUS



ZONING MAP H-11
SCALE 1" = 500' 03DRB - 00564 BP

EPC CASE # 00636-37 DRB CASE # 1000 331

This plan is consistent with the specific site development plan approved by the Environmental Planning Commission (EPC) on and that the findings and conditions in the Official Notice of Notification of Decision have been complied with:

SITE DEVELOPMENT PLAN

Rachel Danks 4/30/03
Traffic Engineer, Transportation Division
Date

Christina Randall 4/30/03
Public Works, General Services Department
Date

Roger A. Danks 4/30/03
Public Works, Water Utilities Division
Date

Brady L. Biker 8/19/03
City Engineer, Engineering Division PAMAFCA
Date

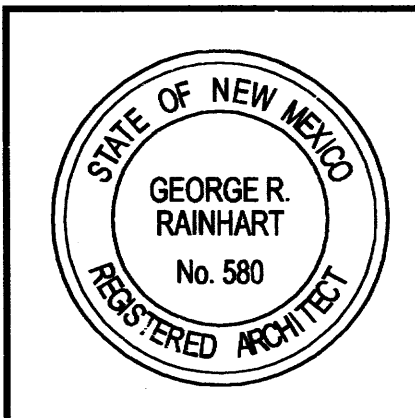
APPROVAL AND CONDITIONAL ACCEPTANCE: as specified by the Development Process Manual.

Sharon Matson 4/30/03
City Planner, Albuquerque / Bernalillo
Date

Michael Holton 4-28-03
Solid Waste, will comply w/ 1000 sq ft
Date

REVISION	DATE	BY
1		
2		
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GEORGE RAINHART, ARCHITECT AND ASSOCIATES P.C.
2325 SAN PEDRO NE, SUITE 2-B
ALBUQUERQUE, NEW MEXICO 87110
PHONE (505) 884-9110 FAX (505) 831-9877



PROJECT TITLE
HORIZON ACADEMY, WESTBLUFF

PROJECT LOCATION
140 + ATRISCO
ALBUQUERQUE, NM

PROJECT MANAGER
George Rainhart, AIA

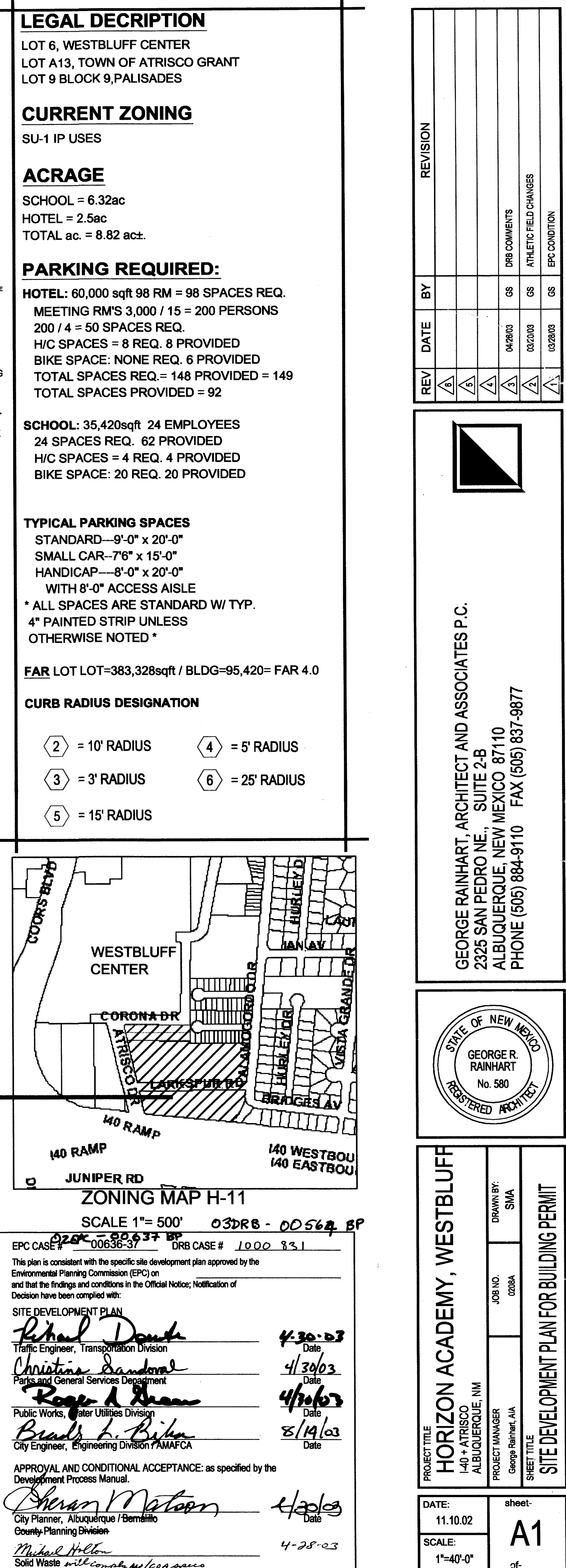
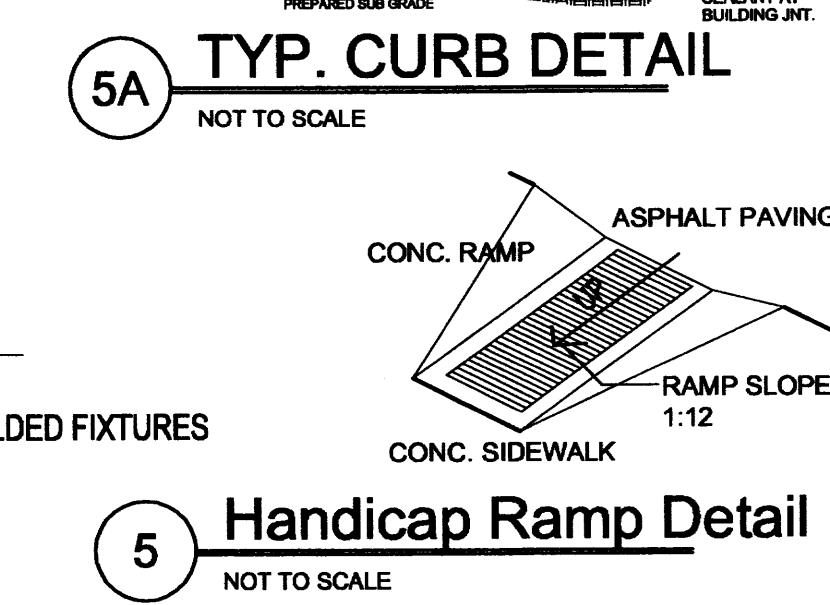
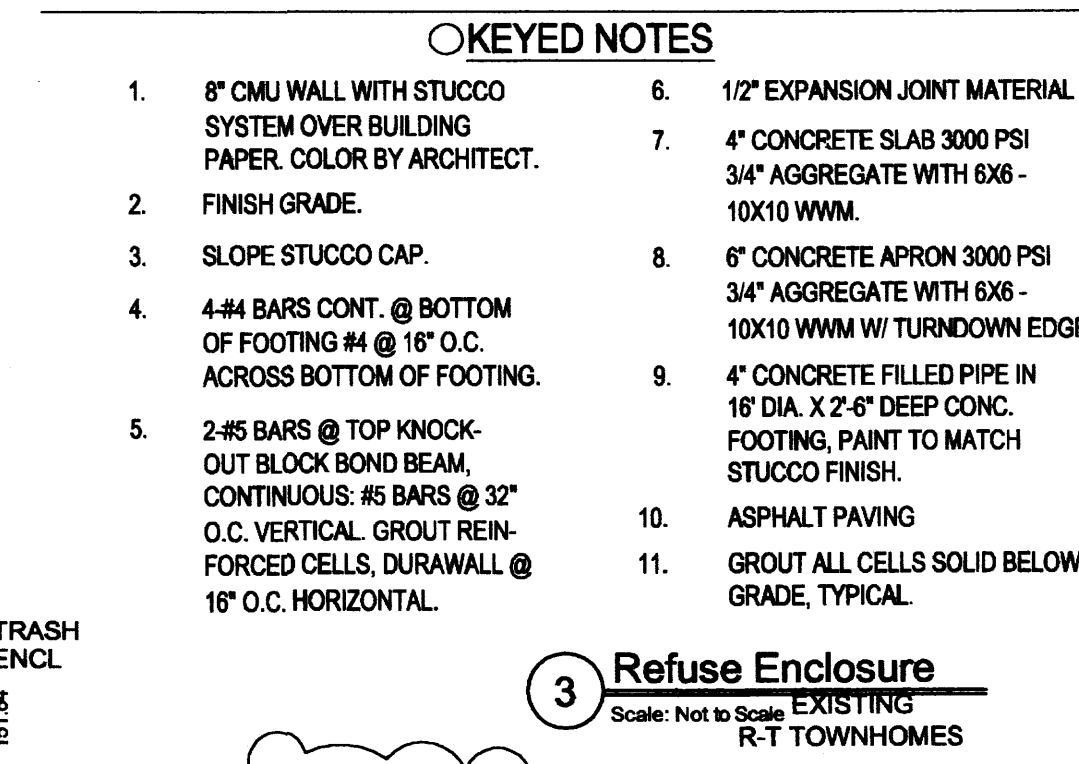
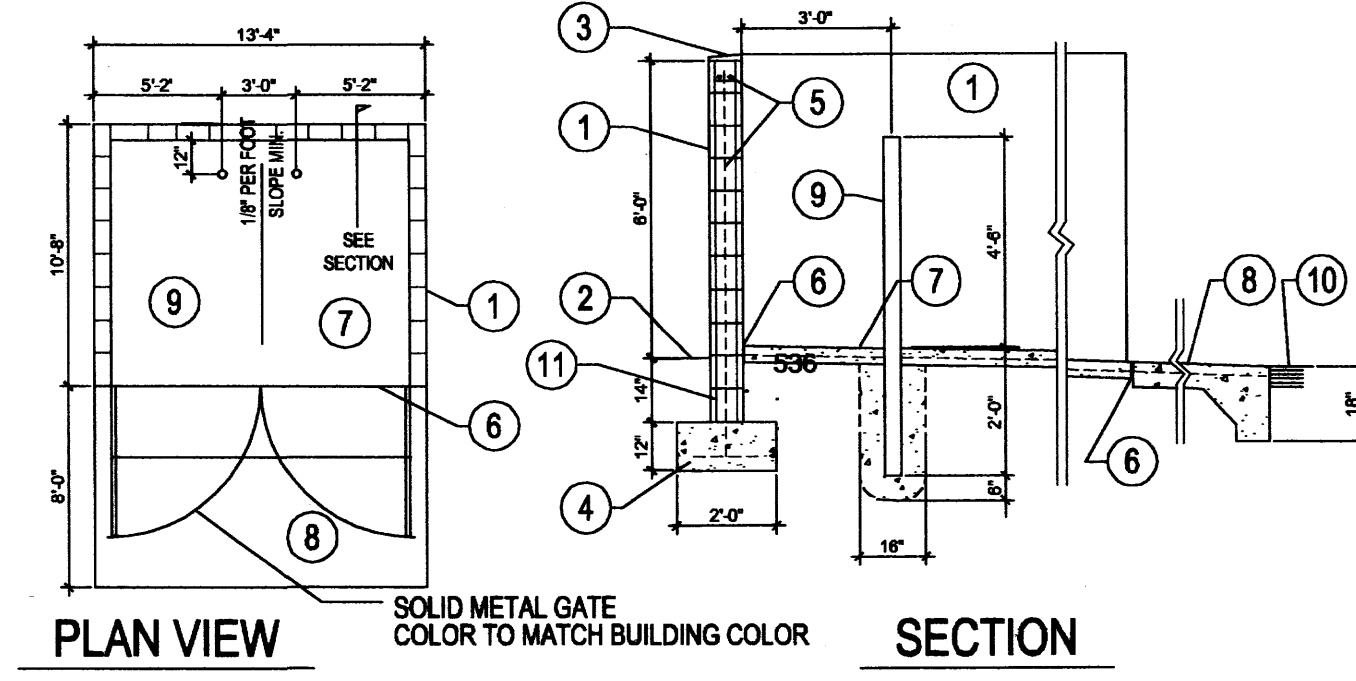
DRAWN BY
SVA

DATE
11.10.02

SCALE
1" = 40'-0"

SHEET
A1

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT



STREET TREE REQUIREMENTS

Street trees required under the City Of Albuquerque Street Tree Ordinance are as follows:

I-40, Alamogordo Drive, and Atrisco Road
Required 46 Provided 46

FINAL LANDSCAPING LAYOUT AND DESIGN TO BE DETERMINED UPON RECEIPT OF FINAL GRADING PLAN.

LANDSCAPE NOTES:

Landscape maintenance shall be the responsibility of the Property Owner.

It is the intent of this plan to comply with the City of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach.

Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance. Water management is the sole responsibility of the Property Owner.

All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

Grey Gravel over Filter Fabric shall be placed in all landscape areas which are not designated to receive native seed.

IRRIGATION NOTES:

Irrigation shall be a complete underground system with Trees to receive (5) 1.0 GPH Drip Emitters and Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end.

Run time per each drip valve will be approximately 15 minutes per day, to be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field.

Irrigation will be operated by automatic controller. Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

LANDSCAPE CALCULATIONS

NET LANDSCAPE AREA

TOTAL LOT AREA	2.5 ac.	6.32 ac.	square feet
TOTAL BUILDINGS AREA	20,955	34,984	square feet
OFFSITE AREA	0	0	square feet
NET LOT AREA	87,945	240,315	square feet
LANDSCAPE REQUIREMENT	15%	15%	
TOTAL LANDSCAPE REQUIREMENT	13,191	36,048	square feet
TOTAL LANDSCAPE PROVIDED	24,460	122,990	square feet
TOTAL BED PROVIDED	24,460	27,112	square feet
TOTAL SOD PROVIDED	0	78,275	square feet
TOTAL PLAYGROUND PROVIDED	0	17,603	square feet

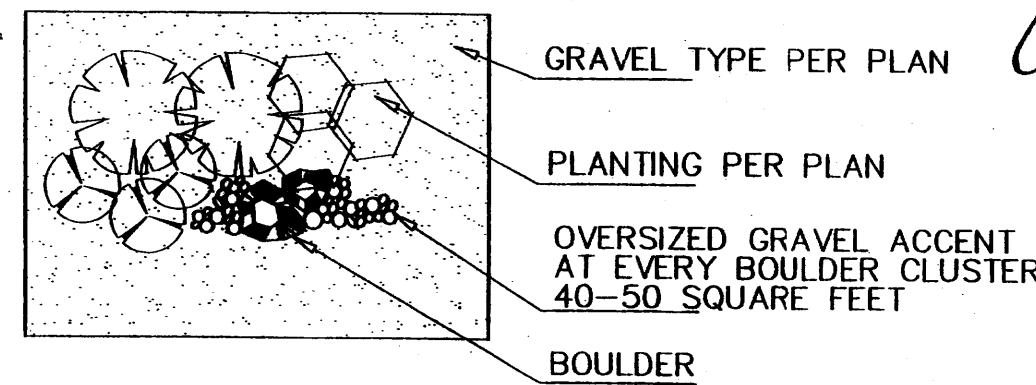
PLANT LEGEND

ARIZONA ASH (M) Fraxinus velutina 2" Cal.	45	HONEY LOCUST (H) Gleditsia triacanthos 2" Cal.	41
DESERT WILLOW (L) Chilopsis linearis 15 Gal.	21	AUSTRIAN PINE (H) Pinus nigra 6'-8'	19
PURPLE-LEAF PLUM (M) Prunus spp. 1 1/2" Cal.	12	FLOWERING PEAR (H) Pyrus calleryana 2" Cal.	22
PALM YUCCA (L) 4		APACHE PLUME (L) Fallugia paradoxa 5 Gal.	52
SILVERBERRY (M) Elaeagnus pungens 5 Gal.	16	BLUE MIST SPIREA (M) Caryopteris clandonensis 5 Gal.	24
CURLLEAF MOUNTAIN MAHOGANY (L) Carpinus ledifolius 5 Gal.	49	LANAS/ SCOTCH BROOM (M) Cytisus scoparius/ Genista hispanica 5 Gal.	30
JAPANESE EUONYMUS (M) Euonymus japonica 5 Gal.	23	ROSEMARY (M) Rosmarinus officinalis 2 Gal.	48
RED YUCCA (L) Hesperaloe parviflora 5 Gal.	21	POTENTILLA (M) Potentilla fruticosa 2 Gal.	73
NANDINA (M) Nandina domestica 5 Gal.	26	AUTUMN SAGE (M) Salvia greggii 2 Gal.	33
MAIDENGRASS (M) Miscanthus sinensis 5 Gal.	56	HONEYSUCKLE (M) Lonicera sempervirens 1 Gal.	84
INDIAN HAWTHORN (M) Raphiolepis indica 5 Gal.	80	CHAMISA (L) Chrysothamnus nauseosus 1 Gal.	96
RUSSIAN SAGE (M) Perovskia atriplicifolia 5 Gal.	39	WILDFLOWER 1 Gal.	107
		TAM JUNIPER (M) Juniperus sabina 5 Gal.	11
		CONCRETE TURN DOWN AT PLAY GROUND	
		OVERSIZED GRAVEL & 13 BOULDERS	

3/4" GRAY GRAVEL
WITH FILTER FABRIC

CRIMP STRAW/NATIVE SEED

GRAVEL ACCENT DETAIL



The Hilltop

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i@hilltoplandscaping.com

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PRELIMINARY
NOT FOR
CONSTRUCTION

PROJECT: LARKSPUR DEVELOPMENT
1-40 + ATRISCO
ALBUQUERQUE, NM
PROJECT MANAGER: CMD
JOB NO.: 0208
DATE: 03.10.02
SCALE: 1"=40'-0"

DATE: 03.10.02
SCALE: 1"=40'-0"